

PARCEL	AREA		% OF TOTAL AREA
	Square Feet	Acres	
A	7,059	0.162	12.56
B	8,100	0.186	14.43
C	8,100	0.186	14.43
D	8,100	0.186	14.43
E	8,100	0.186	14.43
F	8,100	0.186	14.43
G	8,579	0.197	15.28
Total	56,838	1.289	100.00



Scale: 1"=30'

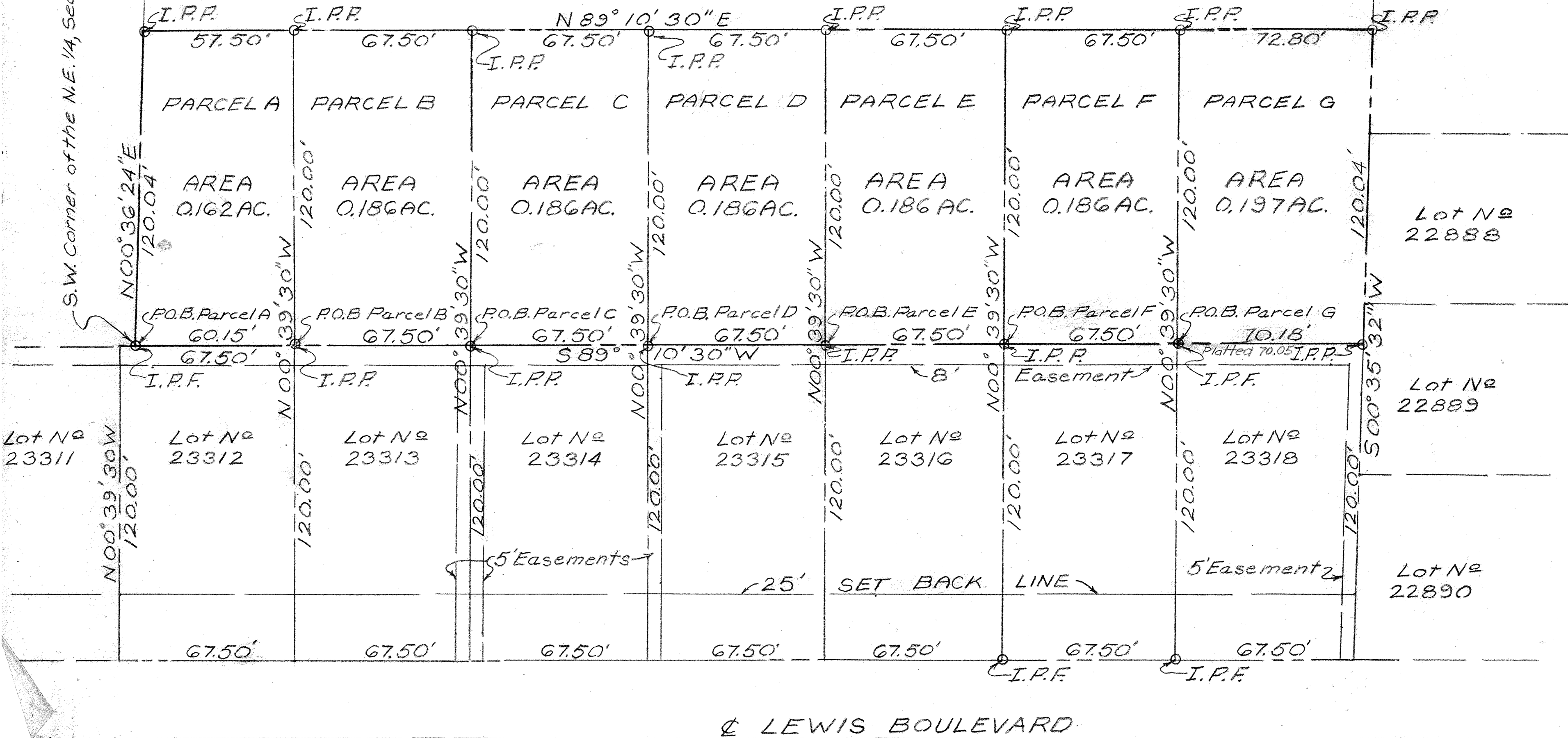
1/2 Sec. Line Sec 24 American Twp.

S.W. Corner of the N.E. 1/4, Sec. 24, American Twp.

CORPORATION LINE

304354

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 9:42 O'CLOCK a.m.
JUL 30 1973
FILED
JUL 30 1973
PAGE 1
Bernice Montague
JUL 8 30



Lot No 22888

Lot No 22889

Lot No 22890

LEWIS BOULEVARD

LEGEND

- Iron Pipe Found I.P.F.
- Iron Pipe Placed I.P.P.
- Place of Beginning P.O.B.

Theodore A. Metzger
Registered Surveyor No 5514

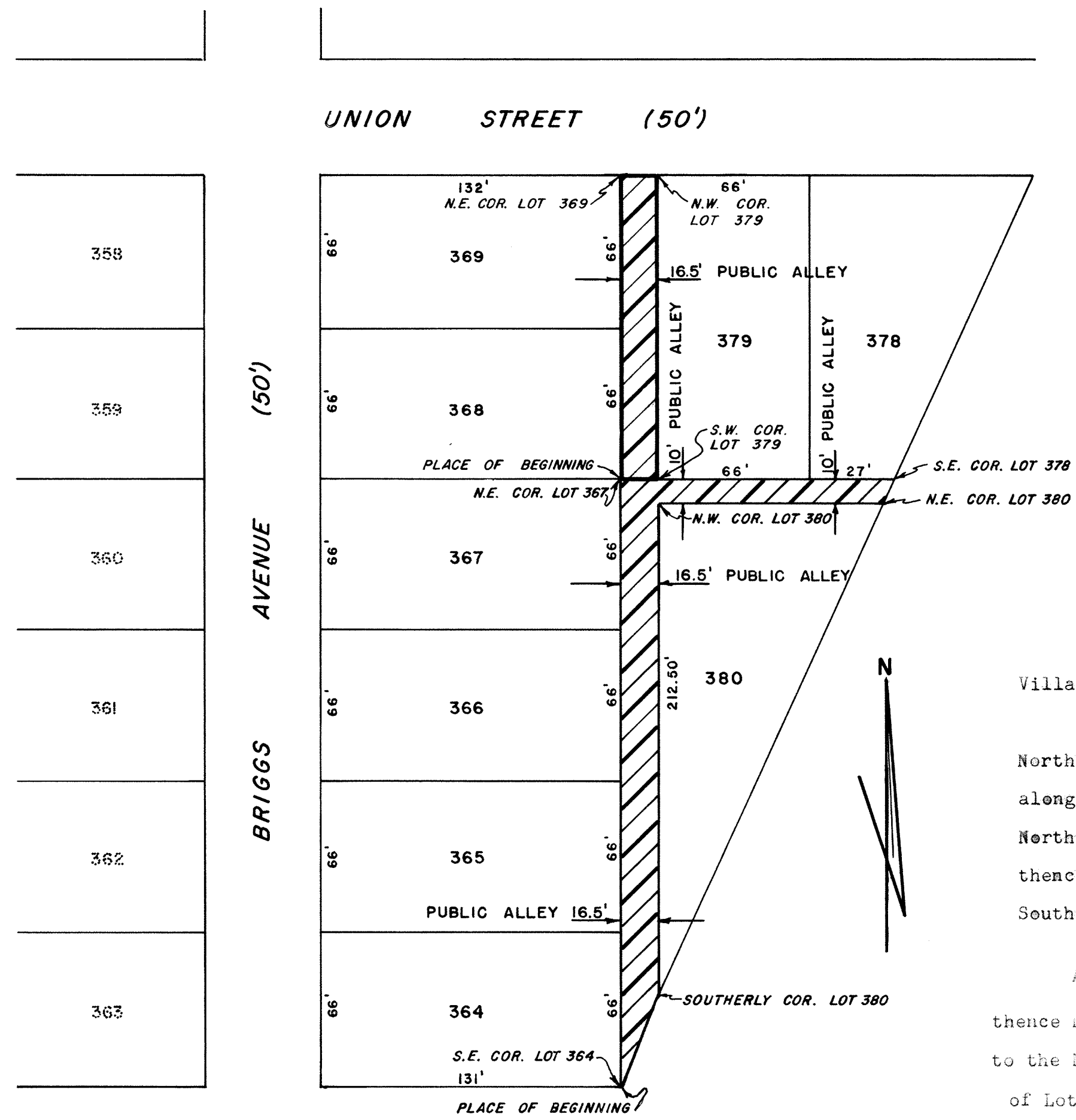


KOHLI AND KALIHER-ASSOCIATES
CONSULTING ENGINEERS
2 DOMESTIC BUILDING LIMA, OHIO

BOUNDARY SURVEY
PT. N.E. 1/4, SECTION 24
T-3-S, R-6-E, AMERICAN TWP.
FOR: MALCOLM BASINGER

SCALE	DATE	DRAWN BY	DRAWING NO.
1"=30'	6/27/73	B.A.H.	L-466

VACATION PLAT
 OF
 A 16.5' PUBLIC ALLEY
 &
 A 10' PUBLIC ALLEY
 IN BRIGGS ADDITION TO THE
 VILLAGE OF SPENCERVILLE,
 SPENCER TOWNSHIP,
 ALLEN COUNTY, OHIO



DESCRIPTION

Being part of a 16.5 foot public alley and a 10 foot public alley as platted in Briggs Addition, in the Village of Spencerville, Spencer Township, Allen County, Ohio and being further described as follows:

Beginning at the Southeast corner of Lot 364 in Briggs Addition to the Village of Spencerville; thence Northerly along the East lines of Lots 364, 365, 366 and 367 to the Northeast corner of Lot 367; thence Easterly along the South lines of Lots 379 and 378 to the Southeast corner of Lot 378; thence Southwesterly to the Northeast corner of Lot 380; thence Westerly along the North line of Lot 380 to the Northwest corner of Lot 380; thence Southerly along the West line of Lot 380 to the Southerly corner of Lot 380; thence Southwesterly to the Southeast corner of Lot 364 and the place of beginning.

Also beginning at the Northeast corner of Lot 367, in Briggs Addition to the Village of Spencerville; thence Northerly along the East line of Lots 368 and 369 to the Northeast corner of Lot 369; thence Easterly to the Northwest corner of Lot 379; thence Southerly along the westerly line of Lot 379 to the Southwest corner of Lot 379; thence Westerly to the Northeast corner of Lot 367 and the place of beginning.

ERIE - LACKAWANNA RAILROAD

SCALE: 1" = 50'
 SEPT. 27, 1972
 DWN BY DRF

REVISED: AUG. 24, 1973 - DRF - TO SHOW REMAINDER OF
 16.5' PUBLIC ALLEY BETWEEN LOTS 368, 369 & 379 TO BE VACATED

*For Ordinance to Vacate
 alley see Deed Vol. 542 Page 289.*



305679

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 8:47 O'CLOCK A.M.

SEP 12 1973

RECORDED *Sept 12 1973*
 Plat VOL 12 PAGE 2
Bernice Mortgagor
 RECORDER
Lee 8.30 By B.K.

Thomas C. Hubbell
 Thomas C. Hubbell
 Reg. Surveyor #5044

Sheldon & Assoc., Inc.
 1430 North Cole Street
 Lima, Ohio 45801

UNIVERSITY HEIGHTS CONDOMINIUM No 5

23

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

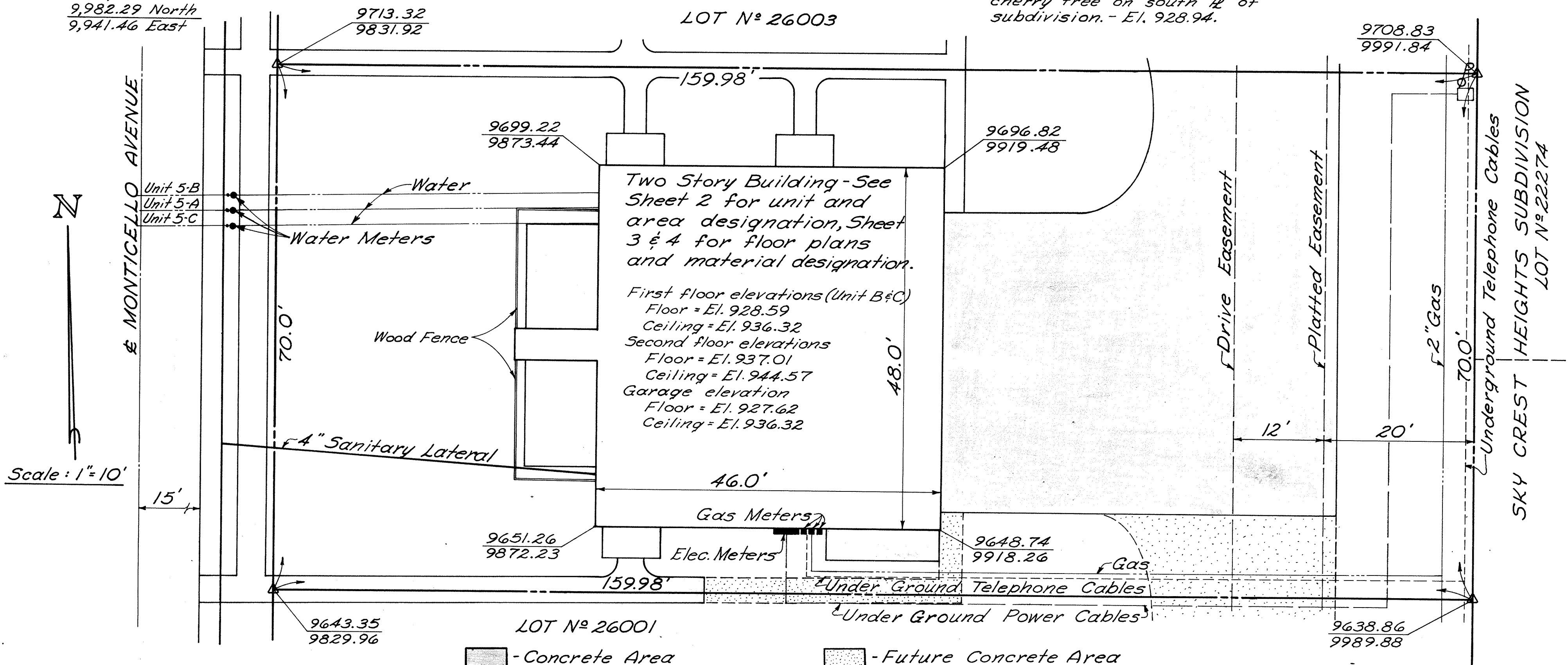
LOT No 26002, UNIVERSITY HEIGHTS SUBDIVISION No 1

SHEET 1 OF 4
EXHIBIT A

COORDINATE LOCATIONS
All coordinates are located
with the assumption that the
northeast corner of Lot No
26006 is 10,000.00, 10,000.00.

Example:
9,982.29 North
9,941.46 East

BENCH MARK: Spike in 12" wild
cherry tree on south 1/2 of
subdivision. - El. 928.94.



ENGINEER AND SURVEYOR'S CERTIFICATE

UNIVERSITY HEIGHTS CONDOMINIUM No.5 is situated in Lot No. 26002 of the University Heights Subdivision No.1 of the Southeast Quarter of Section 34, T-3-S, R-7-E, Bath Township, Allen County, Ohio.

Monuments placed as shown on this Sheet 1 of Exhibit A. Easements and Streets are as shown on said Sheet 1.

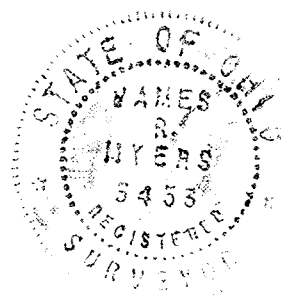
We certify that the within drawings designated Exhibit A and consisting of pages numbered consecutively from 1 to 4 correctly represent the buildings as constructed, unit dimensions, dimensions of common areas and dimensions of limited common areas so far as graphically possible and that there are no encroachments on any adjoining premises.

Dated at Lima, Ohio August 15, 1973.

Kohli and Kaliher Associates, Limited

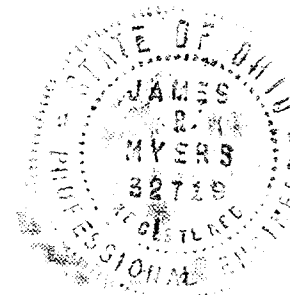
By James R. Myers
Reg. Surveyor

5453



James R. Myers
Reg. Engineer

32719



COUNTY RECORDER'S CERTIFICATE

No. 305720
Filed for record in the Allen County, Ohio, Recorder's Office
this 13th day of September 1973, at 9:51 o'clock A.. M.
and recorded in Allen County, Ohio Plat Book 13, Page 3

Fee: \$33.20

Bernice Montague
Recorder, Allen County, Ohio

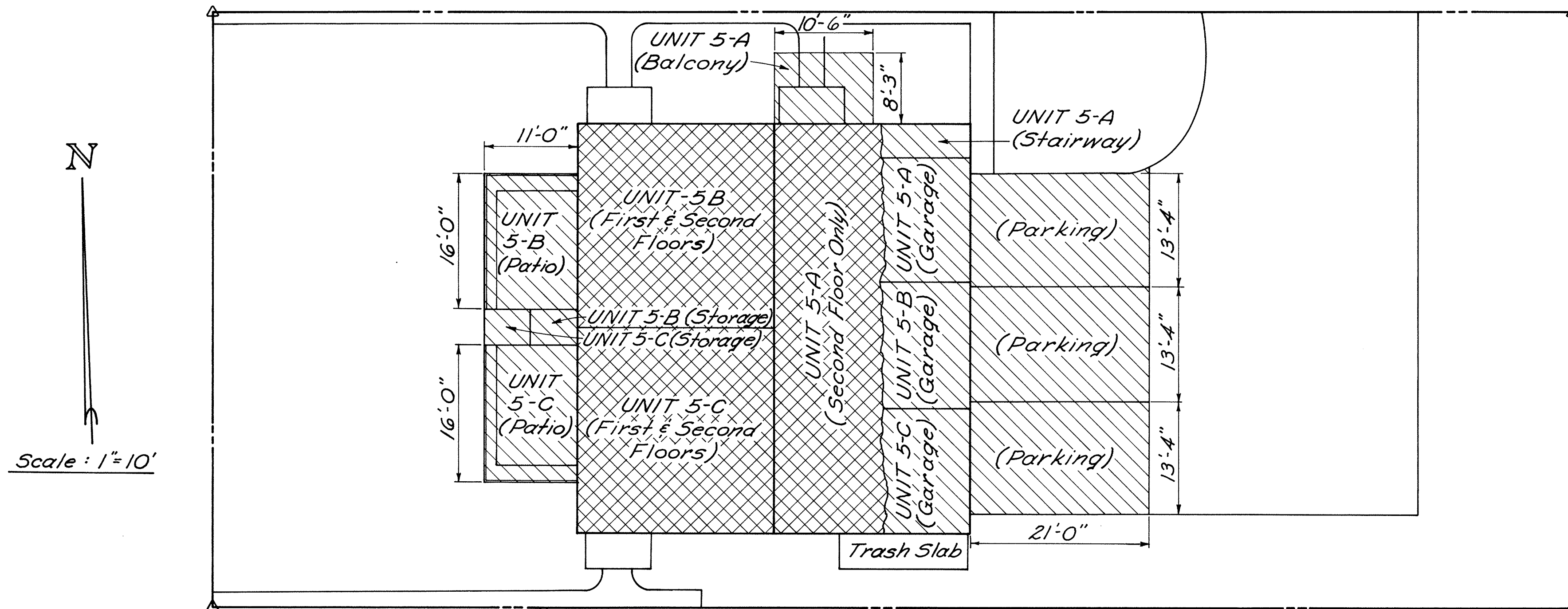
For Declaration see Deed Vol. 542 Page 333.

UNIVERSITY HEIGHTS CONDOMINIUM N^o 5

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 26002, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 2 OF 4
EXHIBIT A



□ Designates:
Common Area

▨ Designates:
Limited Common Area

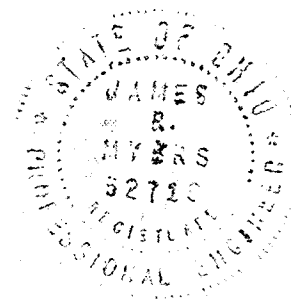
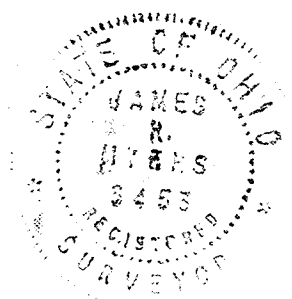
▩ Designates:
Unit Area

	<u>UNIT AREA</u>	
<u>Unit 5-A - 1065 S.F.</u>	<u>Unit 5-B - 1035 S.F.</u>	<u>Unit 5-C - 1035 S.F.</u>

Dated at Lima, Ohio August 15, 1973
Kohli and Kalher Associates, Limited

By James R. Myers
Reg. Surveyor 5453

James R. Myers
Reg. Engineer 32719



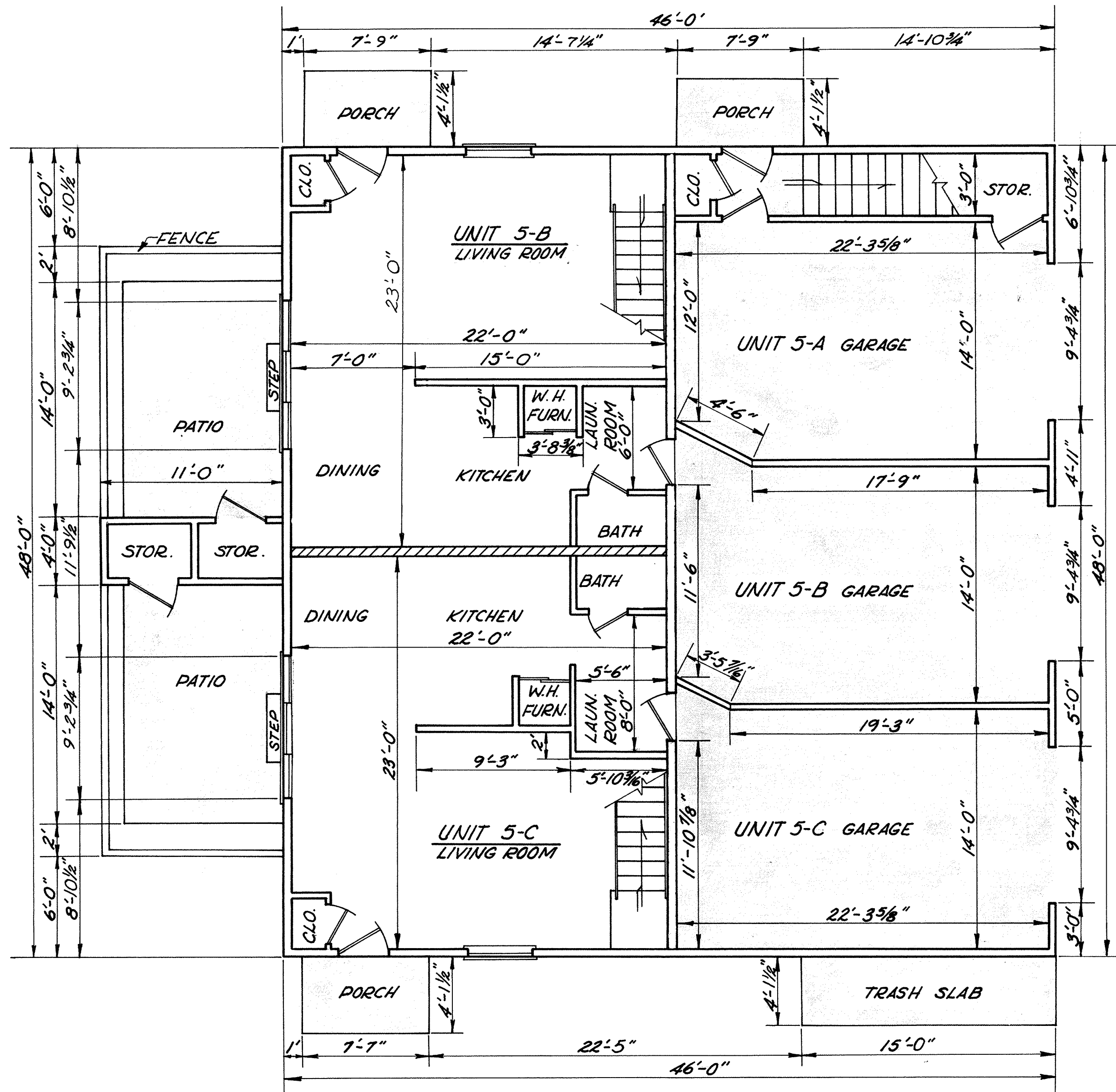
UNIVERSITY HEIGHTS CONDOMINIUM №5

5

S.E. ¼, Sec. 34, Bath Twp., Allen County, Ohio

LOT № 26002, UNIVERSITY HEIGHTS SUBDIVISION №1

SHEET 3 OF 4
EXHIBIT A



FOUNDATION - 10" x 18" Concrete footers; 8" Conc. block foundation wall. Crawl space under UNITS 5-B and 5-C

EXTERIOR WALLS - Typical 2"x4" Studs, 16" O.C. Insulation - 1/2" Insulation Board; 8" Horizontal Aluminum siding and Brick Facing

INTERIOR PARTITIONS - 2"x4" Stud Walls and Drywall Garage Partitions - 2"x4" Studs, 5/8" Drywall each side.

Designates Unit Partitions - 6" Insulated Wall, 2"x4" Staggered Studs 16" O.C., Drywall.

Designates Concrete

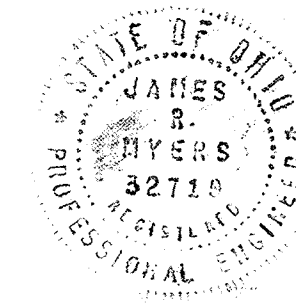
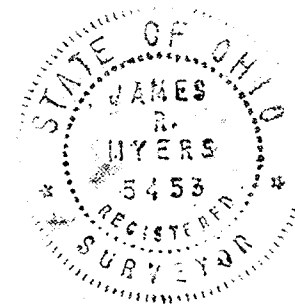
Scale: 3/16" = 1'-0"

Dated at Lima, Ohio August 15, 1973
Kohli and Kalher Associates, Limited

By James R. Myers
Reg. Surveyor 5453

James R. Myers
Reg. Engineer 32119

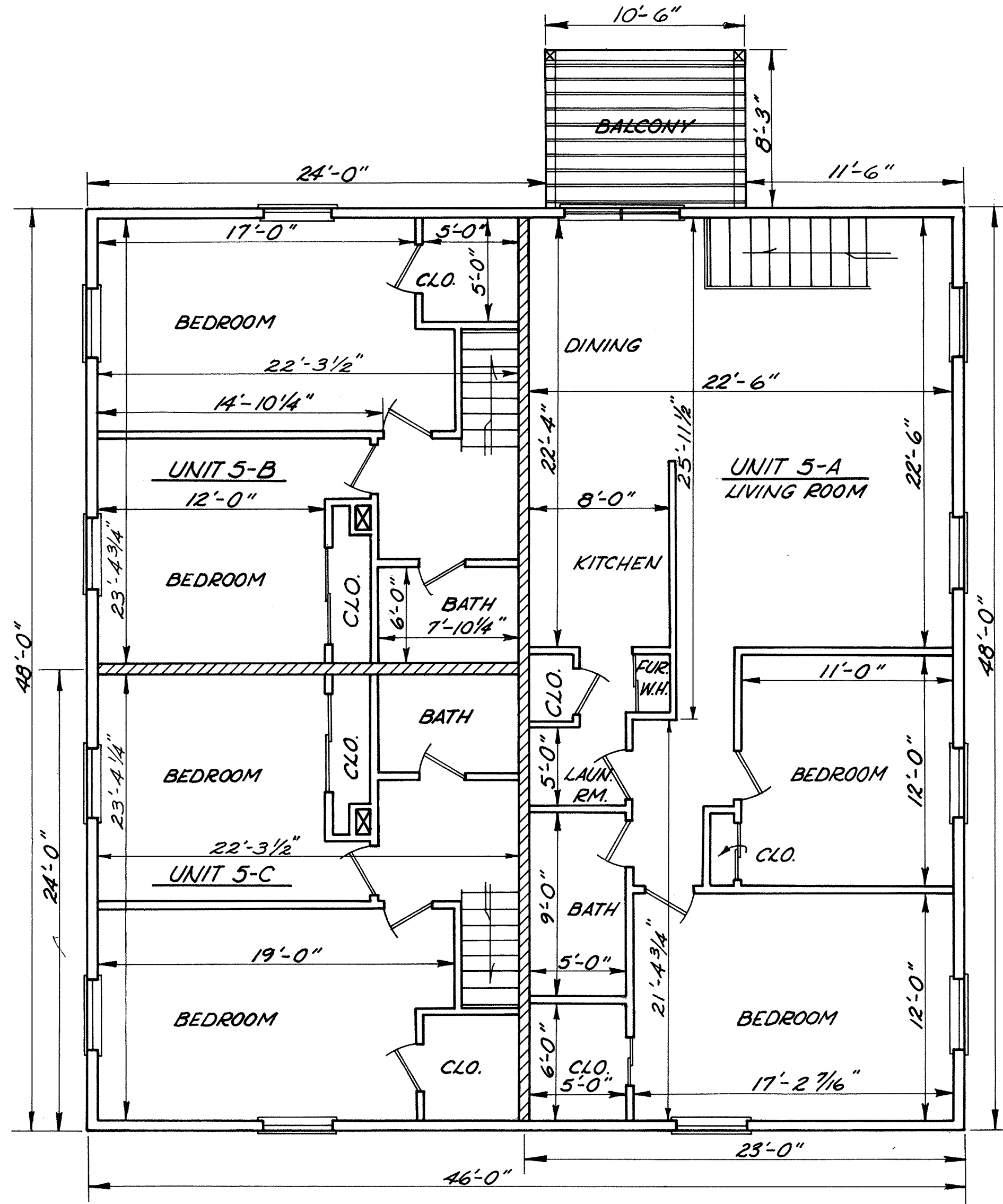
FIRST FLOOR



UNIVERSITY HEIGHTS CONDOMINIUM NO 5

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio
 LOT NO 26002, UNIVERSITY HEIGHTS SUBDIVISION NO 1

SHEET 4 OF 4
 EXHIBIT A



FLOOR JOISTS - 2"x8"
 16" O.C.; Flooring, 3/4" T. & G
 Plywood, Insulation;
 Ceiling - Drywall

ROOF TRUSSES - 24" O.C.,
 Insulation, Drywall ceiling.

ROOF SHEATHING - 5/8"
 Plywood; Roofing: Asphalt
 shingles.

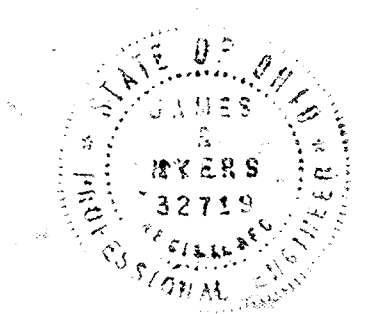
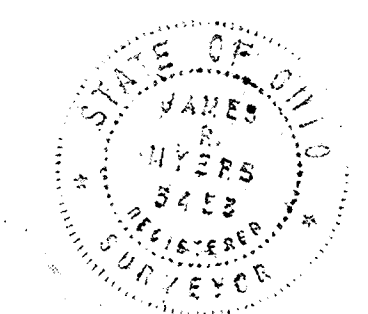
Designates Unit Par-
 tition... 6" Insulated Walls,
 2"x4" Staggered Studs,
 16" O.C., Drywall.

Scale: 3/16" = 1'-0"

Dated at Lima, Ohio August 15, 1973
 Kohli and Kalher Associates, Limited

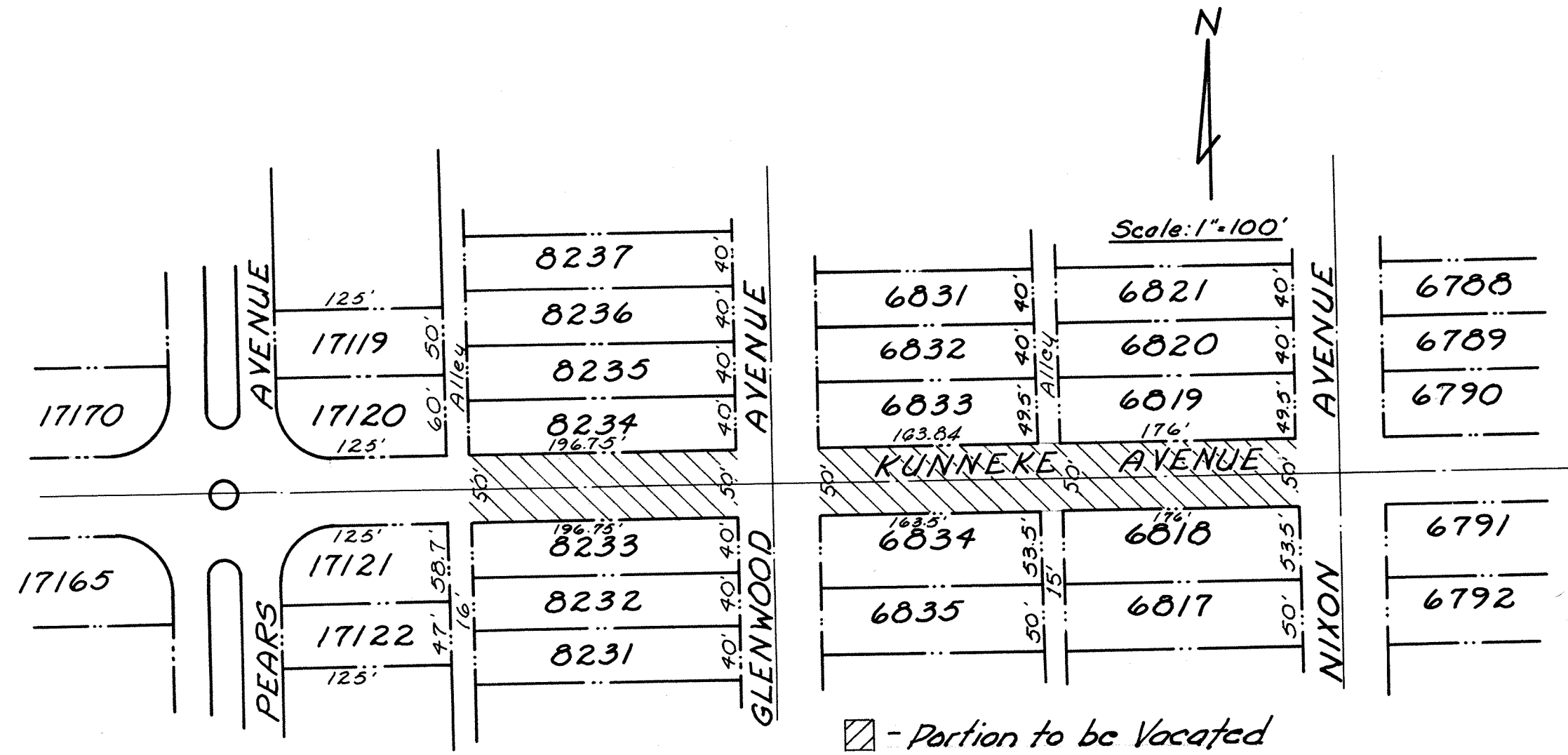
By James R. Myers
 Reg. Surveyor 5453

James R. Myers
 Reg. Engineer 32719



SECOND FLOOR

STREET VACATION PLAT



STREET VACATION DESCRIPTION

Being a 50.00 foot street between Lots 6818 and 6819 and between Lots 6833 and 6834, said lots being in the Park Side Addition to the City of Lima, Allen County, Ohio, more particularly described as follows:

BEGINNING at the northeast corner of said Lot 6818; thence West with the north lines of Lots 6818 and 6834, 354.50 feet to the northwest corner of Lot 6834; thence North with the west line of Lot 6834 extended, 50.00 feet to the southwest corner of Lot 6833; thence East with the south lines of Lots 6833 and 6819, 354.84 feet to the southeast corner of Lot 6819; thence South with the east line of Lot 6819 extended, 50.00 feet to the PLACE OF BEGINNING.

Also being a 50.00 foot street between Lots 8233 and 8234 in the Glenwood Avenue Addition to the City of Lima, Allen County, Ohio, more particularly described as follows:

BEGINNING at the northeast corner of Lot 8233; thence West with the north line of Lot 8233, 196.75 feet to the northwest corner of said Lot; thence north with the west line of said Lot extended, 50.00 feet to the southwest corner of Lot 8234; thence east with the south line of said Lot, 196.75 feet to the southeast corner of said Lot; thence South with the east line of said Lot extended, 50.00 feet to the PLACE OF BEGINNING.

James R. Myers
 Registered Surveyor 5453
 KOHLI AND KALIMER ASSOCIATES, LIMITED

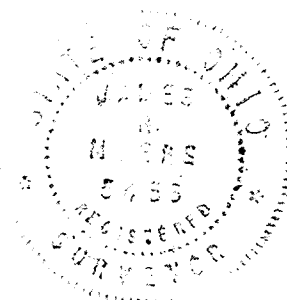
306110

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 2:10 O'CLOCK P.M.

SEP 26 1973

*For Ordinance to Vacate Street
 See Deed Vol. 543 Page 61.*

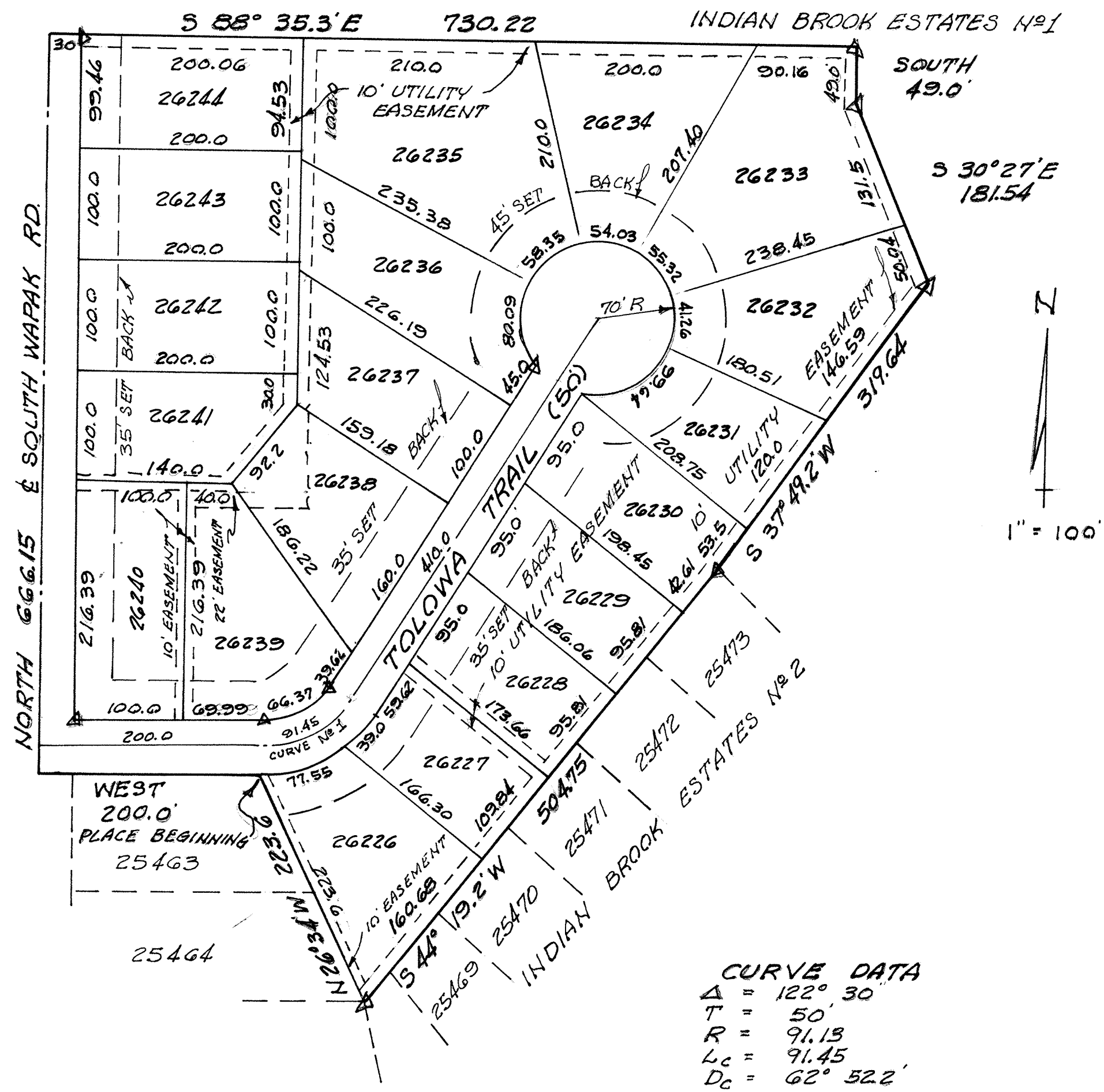
RECORDED *Sept 26 1973*
 Plat VOL 13 PAGE 7
Bernice Mattingly
 Fee \$1.30 *by B.H.*



INDIAN BROOK ESTATES No 4

For Agreement for Set Back Lines on Lot 26236
See Deed Vol# 763 page # 64

For Amendment to Deed Restrictions, See
Deed Vol 874, Pg 30



DEDICATION

INDIANBROOK WEST CO. A CORPORATION, BEING THE SOLE OWNER OF THE ABOVE DESCRIBED PREMISES, HEREBY DEDICATES THE STREETS AND UTILITY EASEMENTS AS SHOWN, TO THE PUBLIC FOR THEIR USE FOREVER. SIGNED THIS 4TH DAY OF OCTOBER 1973.

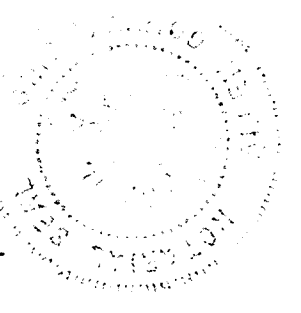
OWNER
Clair E. Butturff
 CLAIR E. BUTTURFF PRES. & TREAS.
Rosemary Butturff
 ROSEMARY BUTTURFF V.P. & SEC.

WITNESS
Dary A. Johnson
John C. Hobbs

ACKNOWLEDGEMENT

COUNTY OF ALLEN, STATE OF OHIO
 BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR THE ABOVE SIGNED OWNERS WHO ACKNOWLEDGED THIS DOCUMENT TO BE THEIR FREE ACT AND DEED, IN TESTIMONY WHEREOF I AFFIX MY HAND AND SEAL THIS 4th DAY OF October 1973.
 MY COMMISSION EXPIRES MARGARET A. WOLFE, Notary Public
 In and for Allen County, Ohio
 My Commission Expires Sept. 13, 1977

Margaret A. Wolfe
 NOTARY PUBLIC



APPROVAL OF CITY PLANNING COMMISSION

BEING THE DULY ELECTED MAYOR OF THE CITY OF LIMA, OHIO AND CHAIRMAN OF THE PLANNING COMMISSION, I HEREBY ACCEPT THIS PLAT FOR THE CITY.
Christopher P. Morris
 MAYOR AND CHAIRMAN OF PLANNING COMMISSION

FILED FOR TRANSFER THIS 16th DAY OF October 1973 AT 2:33 O'CLOCK P. M. IN THE OFFICE OF THE ALLEN COUNTY AUDITOR
Richard P. Ditt
 ALLEN COUNTY AUDITOR

NO. 306580
 FILED FOR RECORD THIS 16th DAY OF Oct 1973 AT 2:37 O'CLOCK P. M. IN THE OFFICE OF THE ALLEN COUNTY RECORDER AND RECORDED IN PLAT BOOK 13 PAGE 8
 FEE 16.60

Bernice Montague
 ALLEN COUNTY RECORDER
By Betty Kinosh, Deputy

SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT IN APRIL 1973, I SURVEYED THE FOLLOWING DESCRIBED, AND THAT IRON PIPES WERE PLACED AT ALL LOT CORNERS. MONUMENTS (Δ) ARE IN AS SHOWN

BEING A PART OF THE NW 1/4 OF SECTION 5, T4S, R6E, SHAWNEE TWP, ALLEN COUNTY OHIO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NE CORNER OF LOT 25463 IN INDIAN BROOK ESTATES No 2 ADDITION TO THE CITY OF LIMA OHIO AS RECORDED IN PLAT BOOK 11, PAGE 106 OF ALLEN COUNTY RECORDERS PLAT BOOK; THENCE WEST, 200.0 FT. TO THE CENTERLINE OF OLD WAPAK ROAD; THENCE NORTH ALONG THE CENTERLINE OF OLD WAPAK ROAD, 666.15 FT.; THENCE S 88° 35.3' E, 730.22 FT.; THENCE SOUTH, 49.0 FT.; THENCE S 30° 27' E, 181.54 FT.; THENCE S 37° 49.2' W, 319.64 FT.; THENCE S 44° 19.2' W, 504.75 FT.; THENCE N 26° 34' W, 223.6 FT. TO THE PLACE OF BEGINNING, CONTAINING 10.97 ACRES MORE OR LESS.

Thomas E. Kuck
 THOMAS E. KUCK
 REG. SURVEYOR # 4996



APPROVAL BY COUNTY ENGINEER

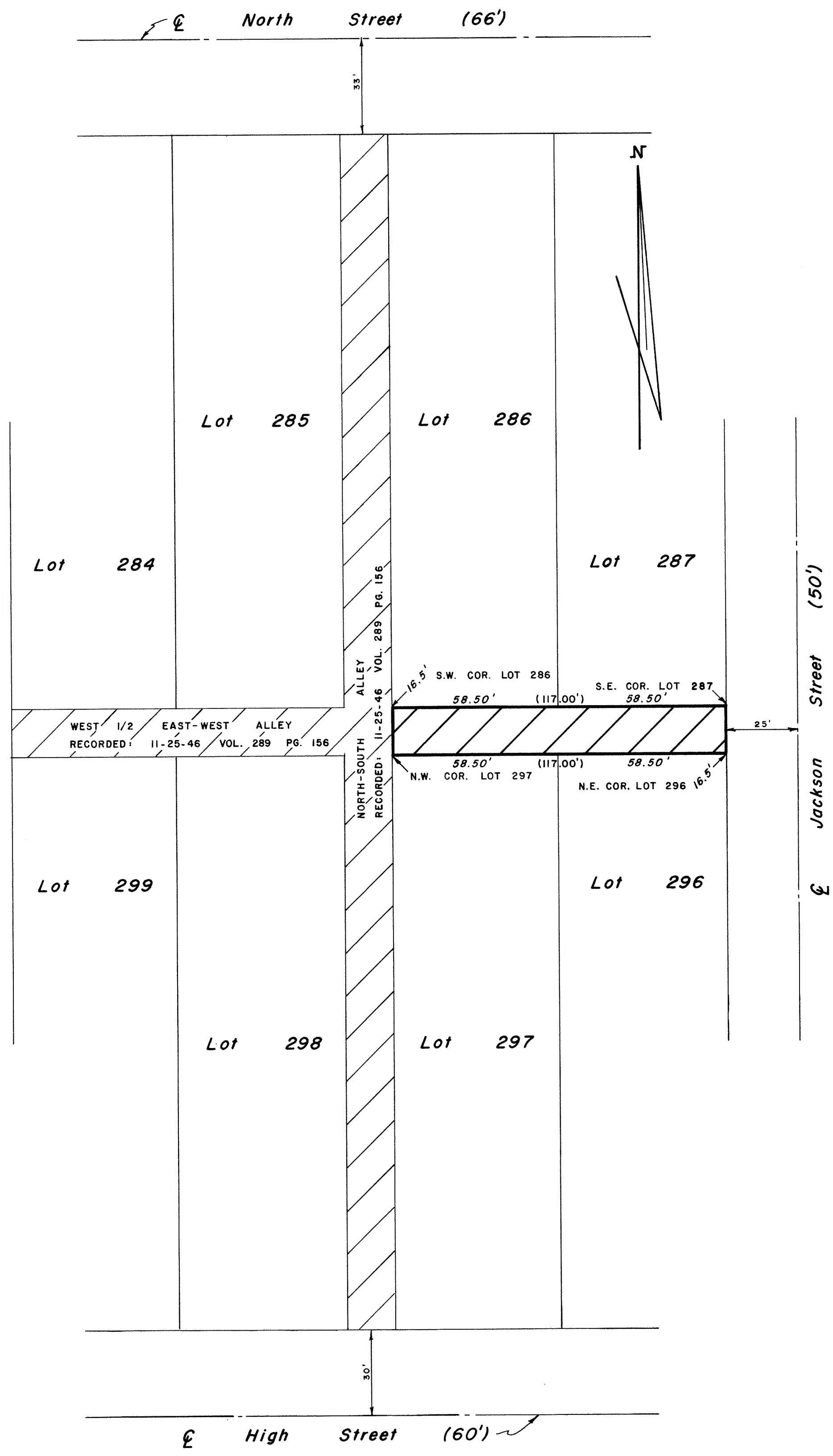
RESTRICTIONS AND EASEMENTS INDIAN BROOK ESTATES No 4

As a part of a general plan for the development of the real estate shown on the foregoing plat, as a residential area, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, easements, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property and each and every parcel thereof, and shall apply to and be binding upon the purchasers and their successors in interest; and the restrictions, covenants, reservations, easements, liens, and charges applicable to each tract, lot, or parcel, shall inure to the benefit of and be enforceable by the purchaser or purchasers of every other tract, lot, or parcel, and their successors in interest.

The tract, lots, and parcels of real estate shown and described on this plat are and shall be held, transferred, sold and conveyed subject to the following conditions, restrictions, covenants, reservations, easements, liens, and charges:

1. The words (lots) or (building site) shall be construed to mean and shall refer to one or more lots shown on the foregoing plat.
2. Said building sites shall be used and occupied solely and exclusively for private residential purposes by a single family, including family servants.
3. No buildings or structures other than one family residences not to exceed two and one-half stories in height, together with customary outbuildings such as private garages, home workshops and home greenhouses, incidental to the residential use of such building sites shall be erected, maintained or permitted upon any building site. Any out-buildings must conform in style & architecture to the appearance of the house.
4. All buildings shall be constructed of new material and no building or other structures whatsoever erected elsewhere shall be permitted to be moved upon any building site without the written permission of the Architectural Committee, hereinafter referred to.
5. No buildings or structures of any kind shall be located on any building site nearer than 35 feet from the front property line; or nearer than 10 feet from the side property line (except on corner lots where no structure shall be located nearer than 25 feet from the street side property line). The restrictions as to the distance at which buildings shall be placed from the front, side, and rear lot lines shall apply to include porches, port cocheres, and other similar projections. All residential structures located on building sites must front on a street, excepting that structures on the corner lots may be located diagonally thereon.
6. No one floor residential structure shall be erected on any building site, the habitable floor area of which exclusive of basement, open porches, and garages, with less than 1550 sq. ft., except lots facing on Wapak Road, which shall have a minimum of 1400 sq. ft. The same square footage shall be required on tri-level structures and the main floor plus the upper level shall be added to obtain square footage. Residential structures of two stories shall have a habitable floor area exclusive of basements, open porches, and garages on first floor plus second floor a total of 1800 sq. ft.
7. No building or other structure shall be erected, placed, or altered on any building site unless the building plans, specifications and plot plans, showing the location of such building have been approved in writing, as to the conformity and harmony of external design and color, with the existing structures in the subdivision, and as to the location of the building with references to topography and finished ground elevation, by an Architectural Committee composed of three individuals appointed by Clair E. Bulturff, the owner of the real estate shown on the foregoing plat, its successors or assigns. In the event of the death or resignation of any member of the Committee originally appointed, the remaining members or member of the Committee shall have the power to appoint new members to fill the vacancies.
8. No wall, fence, or hedge, except retaining walls not extending above ground level, shall be planted or erected on any building site between the front property line and the front set back line and it shall not exceed 3 feet in height above the top of the ground and it must be of the open wire type such as chain link fence. No fence will be erected farther forward than the rear wall of the residence.
9. No animals, livestock, or poultry shall be kept or maintained on any part of said building sites, except ordinary household pets which do not constitute an annoyance or nuisance; nor shall any house or travel trailers, campers or camper buses, or boat or boat trailers, or snowmobiles or snowmobile trailers be stored or permitted to remain upon any building site except inside of garage.
10. No signs, advertisements or billboards (except "For Sale" or "For Rent" signs) may be erected or maintained on any building site.
11. No oil or gas wells shall be drilled nor shall any mining or commercial excavating operation of any kind be conducted on any building site.
12. No trade or activity of a business nature shall be carried on upon any building site nor shall anything be done thereon which may be or may become an annoyance or nuisance.
13. Water used for air conditioning, water from downspouts or water from land tile drainage shall not be discharged into the sanitary effluent lines. All such water must be discharged into the storm sewer system or splash blocks.
14. The foregoing restrictions, covenants, and conditions shall run with the land and shall be binding on all future owners of all building sites, and all persons claiming under them, until January 1, 1990 after which time said covenants, conditions, and restrictions shall be automatically extended for successive periods of ten (10) years each; provided that the owners of three-fourths majority of the building sites may, in writing, change, modify, alter, amend, or annul any of the restrictions, reservations, or conditions at any time.
15. Should any one or more of the foregoing restrictions, covenants, or conditions, at any time in the future be held illegal, void or unenforceable, such fact shall not in any way impair the validity of any of the other restrictions, covenants or conditions, all of which shall remain in full force and effect.
16. An easement for utilities purposes is hereby expressly reserved to Indianbrook West Co. the present owner of all building sites, and to its successors and assigns, and to the purchasers of any building sites, their heirs, executors, administrators, and assigns, over and across the rear of all building sites, for the following respective distances from the rear lot lines of all building sites as shown on the plat sheet for Indian Brook Estates No 4.
17. No house may be occupied until completed.
18. Every home must be constructed by a building contractor engaged in the building business.

**VACATION PLAT
MULBERRY ALLEY,
A 16.5' PUBLIC ALLEY,
BETWEEN LOT'S 286, 287,
AND
LOT'S 296, 297,
IN EAST ADDITION,
TO THE CITY OF LIMA,
ALLEN COUNTY, OHIO**



DESCRIPTION

Being a 16.5 foot Public Alley (Mulberry Alley) as platted in East Addition to the City of Lima, Allen County, Ohio and being further described as follows:
Beginning at the S.E. corner of Lot 287 in East Addition to the City of Lima; thence Westerly along the Southerly line of Lot's 287 and 286 for a distance of 117.00 feet to the S.W. corner of Lot 286; thence Southerly for a distance of 16.5 feet to the N.W. corner of Lot 297; thence Easterly along the Northerly line of Lot's 297 and 296 for a distance of 117.00 feet to the N.E. corner of Lot 296; thence Northerly for a distance of 16.5 feet to the S.E. corner of Lot 287 and the place of beginning.

Norman R. Redick
Norman R. Redick
Reg. Surveyor #5942

307291

SHELDON & ASSOCIATES, INC.
1430 North Cole Street
Lima, Ohio

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 1:26 O'CLOCK P.M.

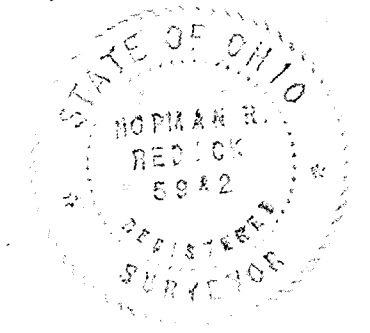
NOV 15 1973

July 3, 1973
dwn by DRF

*For Ordinance to vacate Alley
See Deed Vol. 544 Page 582.*

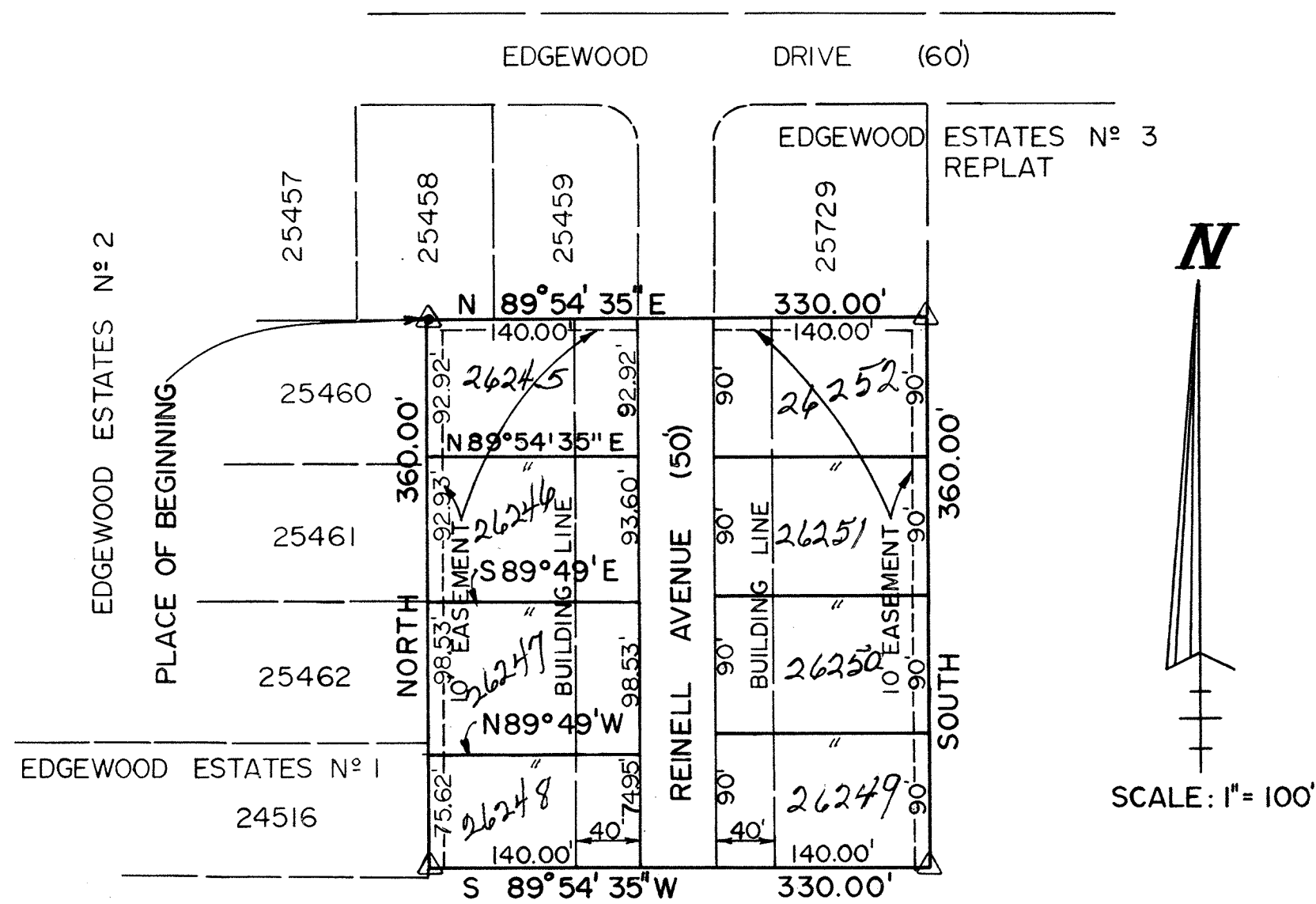
RECORDED *Nov 15 1973*
Pat VOL. 13, PAGE 10
Bernice Montague
RECORDER
Fee 8.30

SCALE: 1" = 30'



EDGEWOOD ESTATES No 5

//



DESCRIPTION

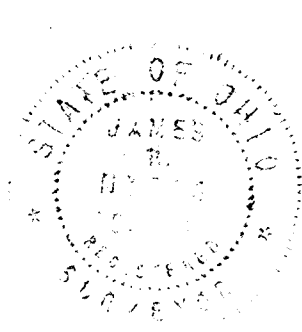
EDGEWOOD ESTATES No 5 is laid out on the following described lands situate in the north-east quarter of Section 23, T3S, R6E, American Township, Allen County, Ohio.

Beginning at the northeast corner of Lot No. 25460 of Edgewood Estates No. 2; thence N 89° 54' 35" E with the south line of Edgewood Estates No. 2 and No. 3 Subdivisions, 330.00 feet; thence SOUTH, 360.00 feet; thence S 89° 54' 35" W, 330.00 feet to the east line of Edgewood Estates No. 1; thence NORTH with the east line of Edgewood Estates No. 1 and No. 2 Subdivisions, 360.00 feet to the PLACE OF BEGINNING, containing 2.727 Acres more or less, of which 0.413 Acres more or less is dedicated for roadway purposes.

(Δ) denotes concrete monuments

I hereby certify that this plat represents a true and complete survey made under my supervision in July, 1973, and that all markers will be correctly shown as to material and location and will be in place by six (6) months from the date of recording of the plat.

James R. Myers
Registered Surveyor 5453
Kohli and Kalihor Associates, Limited
Lima, Ohio



DEDICATION

James R. Snyder, owner of Lot Number 26247 shown on the plat of Edgewood Estates No 5, and Harry H. Wagner Sr. being the owner of all of the remaining land shown on the plat of Edgewood Estates No. 5, hereby adopt the foregoing plat and dedicate the land contained within the streets shown thereon to the use and benefit of the public forever. Utility easements are established as shown on the plat.

In the presence of:

James R. Myers
Stanley J. Hill
James R. Myers
Stanley J. Hill
James R. Myers
Stanley J. Hill

James R. Snyder
James R. Snyder

Harry H. Wagner Sr.
Harry H. Wagner Sr.

Marjorie C. Wagner
Marjorie C. Wagner

ACKNOWLEDGEMENT

State of Ohio, Allen County, ss
Before me, a Notary Public in and for said state and county, personally appeared James R. Snyder, Harry H. Wagner, Sr. and Marjorie C. Wagner, who acknowledged that they did sign the hereon plat of Edgewood Estates No. 5

In Witness Whereof, I have set my hand and seal this 19th day of November, 1973.

My Commission expires: July 31, 1978

Kelen A. Kohli
Notary Public, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 20th day of November, 1973

Fee: \$ 2.00

Richard H. Pitt
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 307389

Filed for record in the Allen County, Ohio, Recorder's Office this 20th day of November, 1973, at 11:23 o'clock A. M. and recorded in Allen County, Ohio, Plat Book 13 on Page 11.

Fee: \$ 8.30

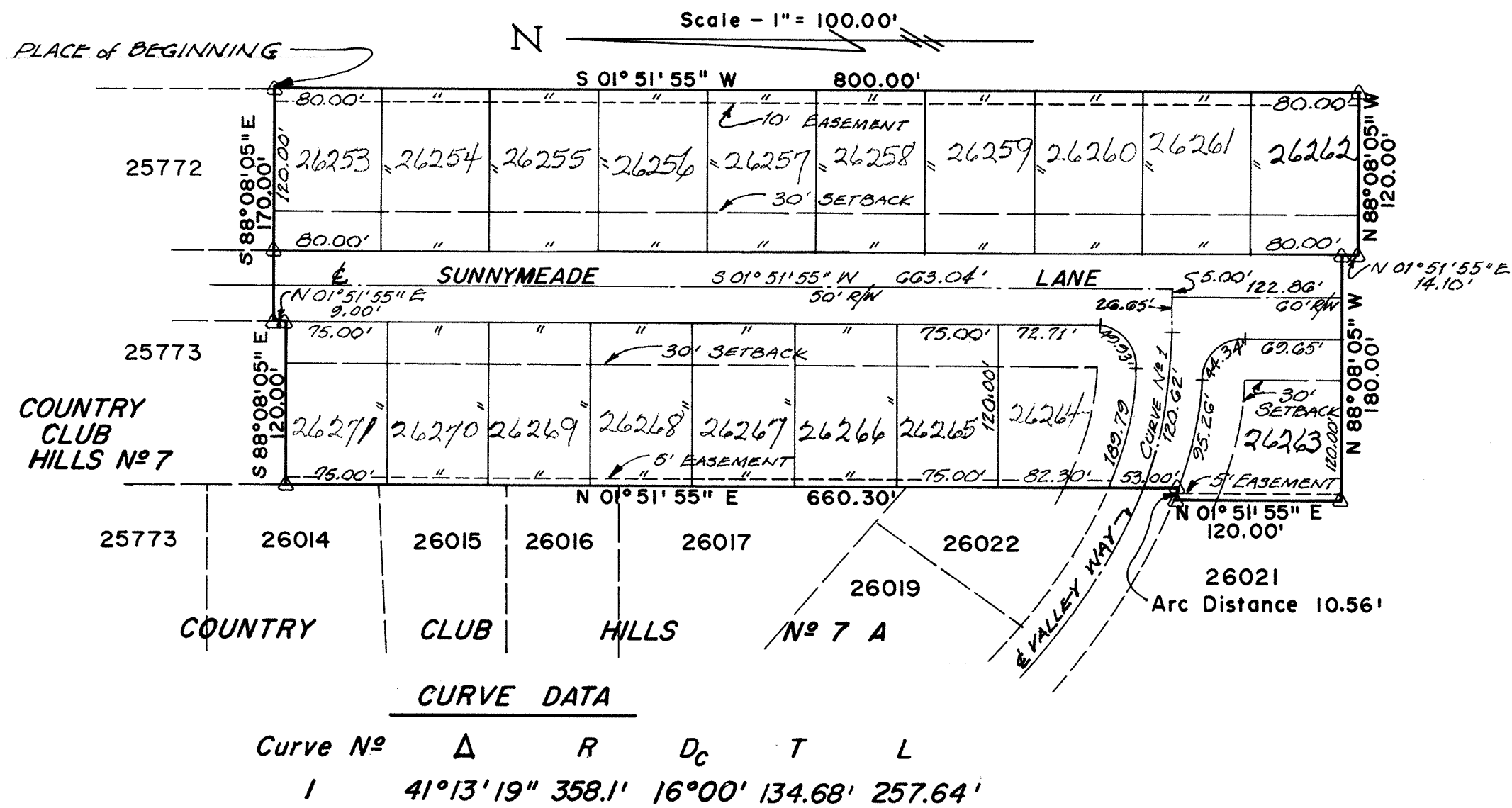
Bernice Montague
Recorder of Allen County, Ohio

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, approve and accept this plat this 19 day of Nov, 1973

Christian P. Morris
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

COUNTRY CLUB HILLS N^o 7 B



PROTECTIVE COVENANTS.

For Protective Covenants see Country Club Hills Subdivision No.7 Plat Book 12, Page 43.

DEDICATION

Country Club Hills, Inc., the owner of the land contained in the hereon plat, hereby adopts the said plat and dedicates the land contained within the streets to the use and benefit of the public forever, Utility easements are established as shown on the plat. In Witness Whereof, Paul Kessler and Roy E. Roeder, President and Secretary of the Country Club Hills, Inc. have hereunto signed their names this 12th day of November, 1973.

Witnesses:

COUNTRY CLUB HILLS, INC.

Jack L. McDonald

James A. Frederick

Theodore A. Metzger

Ronald L. Keller

Paul Kessler
Paul Kessler, President

Roy E. Roeder
Roy E. Roeder, Secretary

ACKNOWLEDGEMENT

State of Ohio, Allen County, ss:

Before me, a Notary Public in and for said state and county, personally appeared Paul Kessler and Roy E. Roeder, who acknowledged that they did sign the hereon plat of Country Club Hills Subdivision No. 7A and that the signing thereof was their free act and deed.

In Witness Whereof, I have set my hand and seal this 12th day of November, 1973.

My commission expires:

July 31, 1978

Stephen A. Kolli
Notary Public, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 20th day of November, 1973.

Fee: \$ 3.50

Richard L. Dittis
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 307390

Filed for record in the Allen County, Ohio, Recorder's Office this 20th day of November, 1973, at 11:25 o'clock . M. and recorded in Allen County, Ohio, Plat Book 13 on Page 12.

Fee: \$ 8³⁰

Bernice Montague
Recorder of Allen County, Ohio

APPROVAL OF CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City, and Commission, approve and accept this plat this 15 day of Nov 1973.

Christian P. Morris
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

Country Club Hills No. 7 B is laid out on the following described lands situate in the east half of the southeast quarter of Section 33, T-3-S, R-7-E, Bath Township, Allen County, Ohio, more particularly described as follows:

Beginning at the southeast corner of Lot No. 25772 of Country Club Hills No. 7 subdivision; thence S 01° 51' 55" W with the east line of said subdivision extended, 800.00 feet; thence N 88° 08' 05" W, 120.00 feet; thence N 01° 51' 55" E, 14.10 feet; thence N 88° 08' 05" W, 180.00 feet to the east line of Lot No. 26021 of Country Club Hills No. 7 A subdivision; thence N 01° 51' 55" E with said east line, 120.00 feet to the north line of said lot; thence southeasterly with a curve to the left, said curve having a radius of 383.10 feet an arc length of 10.56 feet to the east line of Country Club Hills No. 7A subdivision; thence N 01° 51' 55" E with said east line, 660.30 feet to southwest corner of Lot No. 25773 of Country Club Hills No. 7; thence S 88° 08' 05" E with the south line of said lot, 120.00 feet; thence N 01° 51' 55" E with the east line of said lot, 9.00 feet; thence S 88° 08' 05" E with the south line of Country Club Hills No. 7 subdivision, 170.00 feet to the PLACE OF BEGINNING containing 5.273 Acres more or less of which 1.074 Acres more or less is dedicated for roadway purposes.

(Δ) Denotes concrete monuments

Wood stakes will be placed on all lot corners.

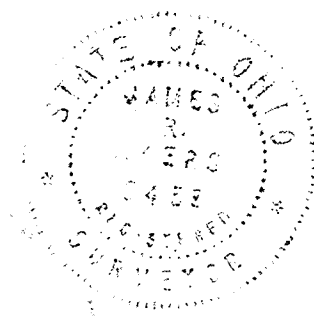
All easements are for utility purposes and are 5 feet in width unless otherwise shown.

Radii at lot corners are 30 feet. The dimensions shown on the property lines at corner lots are to the beginning of the 30 foot radius curve.

I hereby certify that this plat represents a true and accurate survey made under my supervision in September, 1973, and that all markers are or will be in place by six (6) months from the date of recording of the plat.

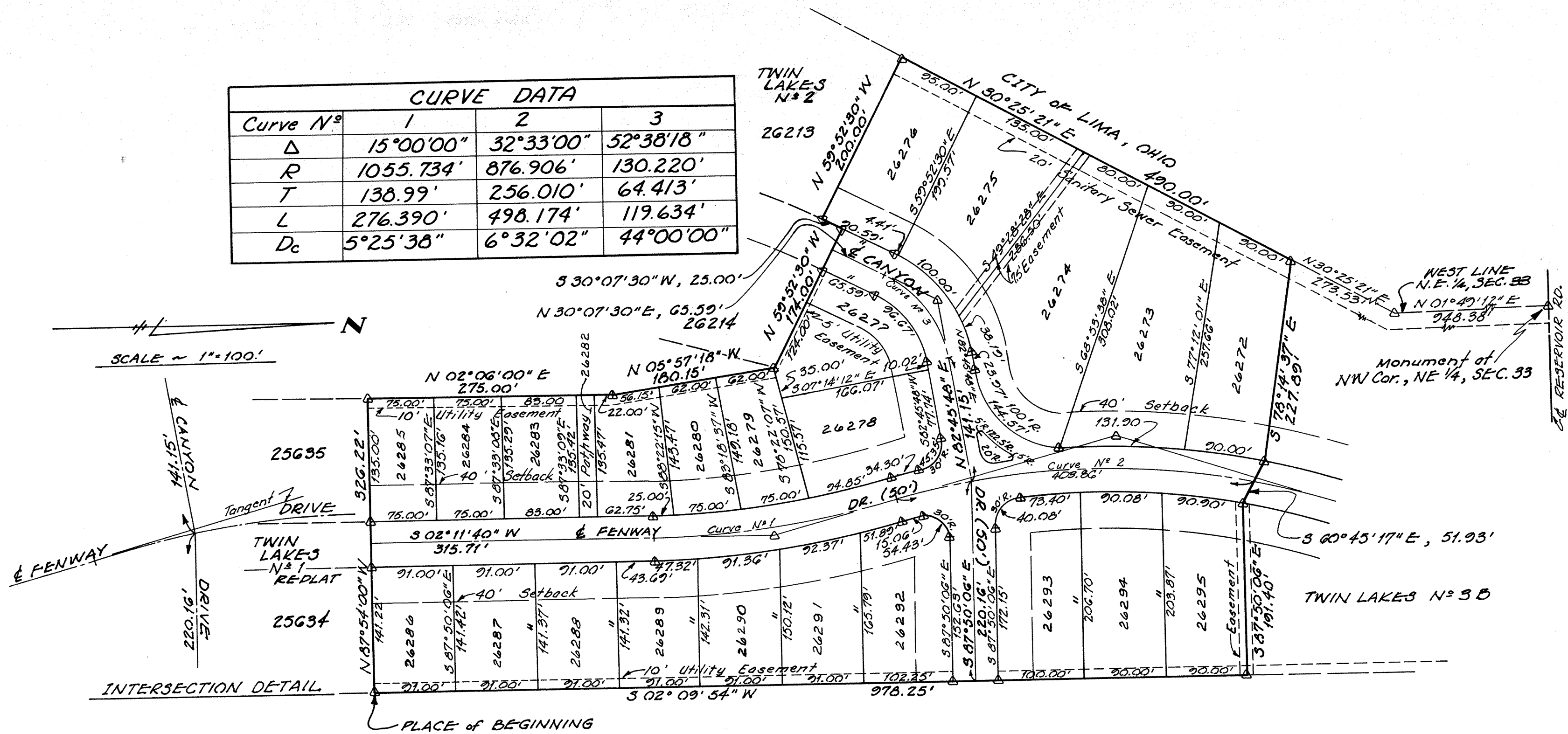
James R. Myers
Registered Surveyor 5453

KOHLI AND KALIHAR ASSOCIATES, LIMITED
Lima, Ohio



TWIN LAKES SUBDIVISION No 3 A

CURVE DATA			
Curve No	1	2	3
Δ	15°00'00"	32°33'00"	52°38'18"
R	1055.734'	876.906'	130.220'
T	138.99'	256.010'	64.413'
L	276.390'	498.174'	119.634'
Dc	5°25'38"	6°32'02"	44°00'00"



DESCRIPTION

Twin Lakes Subdivision No. 3A is laid out on the following described lands situate in the northwest quarter and the northeast quarter of Section 33, T3S, R7E, Bath Township, Allen County, Ohio, more particularly described as follows:

BEGINNING at the northeast corner of Lot No. 25634 of Twin Lakes Subdivision No. 1 Replat; thence N 87° 54' W with the north line of said subdivision, 326.22 feet to the east line of Twin Lakes Subdivision No. 2; thence N 02° 06' E with said east line, 275.00 feet; thence N 05° 57' 18" W with said east line, 180.15 feet to the northeast corner of Lot No. 26214 in said subdivision; thence N 59° 52' 30" W with the north line of said subdivision, 174.00 feet; thence S 30° 07' 30" W with said north line, 25.00 feet; thence N 59° 52' 30" W with said north line, 200.00 feet to the northwest corner of Lot No. 26213 of said subdivision; thence N 30° 25' 21" E, 490.00 feet; thence S 78° 14' 37" E, 227.89 feet; thence S 60° 45' 17" E, 51.93 feet; thence S 87° 50' 06" E, 191.40 feet; thence S 02° 09' 54" W, 978.25 feet to the PLACE OF BEGINNING containing 10.616 Acres more or less of which 1.821 Acres more or less is dedicated for roadway purposes.

(Δ) denotes concrete monuments.
 Wood stakes will be placed on all lot corners.
 All easements are for utility purposes and are 10 feet in width unless otherwise shown.

I hereby certify that this plat represents a true and complete survey made by me or under my supervision in September, 1973, and that all markers are or will be correctly shown as to material and location and are or will be in place by six (6) months after construction of the improvements are made.

Theodore A. Metzger
 Registered Surveyor 5514
 Kohli and Kalher Associates, Limited
 Lima, Ohio



PROTECTIVE COVENANTS

The Protective Covenants for Twin Lakes Subdivision No. 3A shall be the same as for Twin Lakes Subdivision No. 2 as recorded in Plat Book 12 page 179.

DEDICATION

Twin Lakes Subdivision Inc., being the owner of all of the land shown on the plat of Twin Lakes Subdivision No. 3A hereby adopt the foregoing plat (including the restrictions set forth thereon) and dedicate the land contained within the streets shown thereon to the use and benefit of the public forever. They hereby impose said restrictions on the land included in the plat and create and establish on the land included therein the utility easements shown thereon.

In the presence of:

Shirley J. Zell
Rose Limes

George T. Kocher
George T. Kocher President

Benjamin C. Hollinger

Mildred B. Kocher
Mildred B. Kocher Secretary

James R. Myers

ACKNOWLEDGEMENT

State of Ohio, Allen County, ss
Before me, a Notary Public in and for said state and county, personally appeared, George T. Kocher and Mildred B. Kocher who acknowledged that they did sign the hereon plat of Twin Lakes Subdivision No. 3A and that the signing thereof was their free act and deed.

In Witness Whereof, I have set my hand and seal this 15th day of November, 1973.

My Commission expires: July 31, 1978

Helen A. Kohli
Notary Public, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 21st day of NOVEMBER, 1973.

Fee: \$ 3.50

Richard A. Ditts
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 307452

Filed for record in the Allen County, Ohio, Recorder's Office this 21st day of November, 1973, at 2:39 o'clock P.M. and recorded in Allen County, Ohio, Plat Book 13 on Page 13.

Fee: \$ 16.60

Bernice Montague
Recorder of Allen County, Ohio
By Betty Kenittle, Deputy

APPROVAL OF THE CITY PLANNING COMMISSION

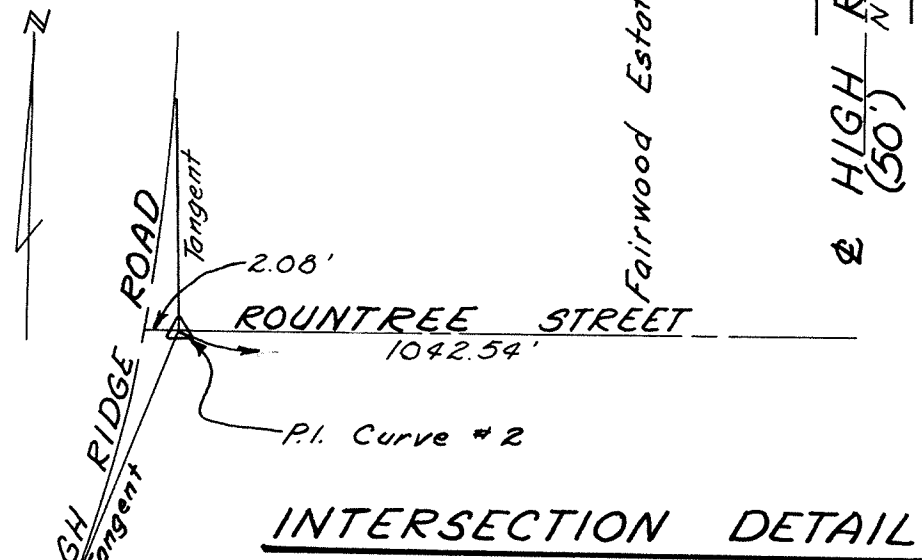
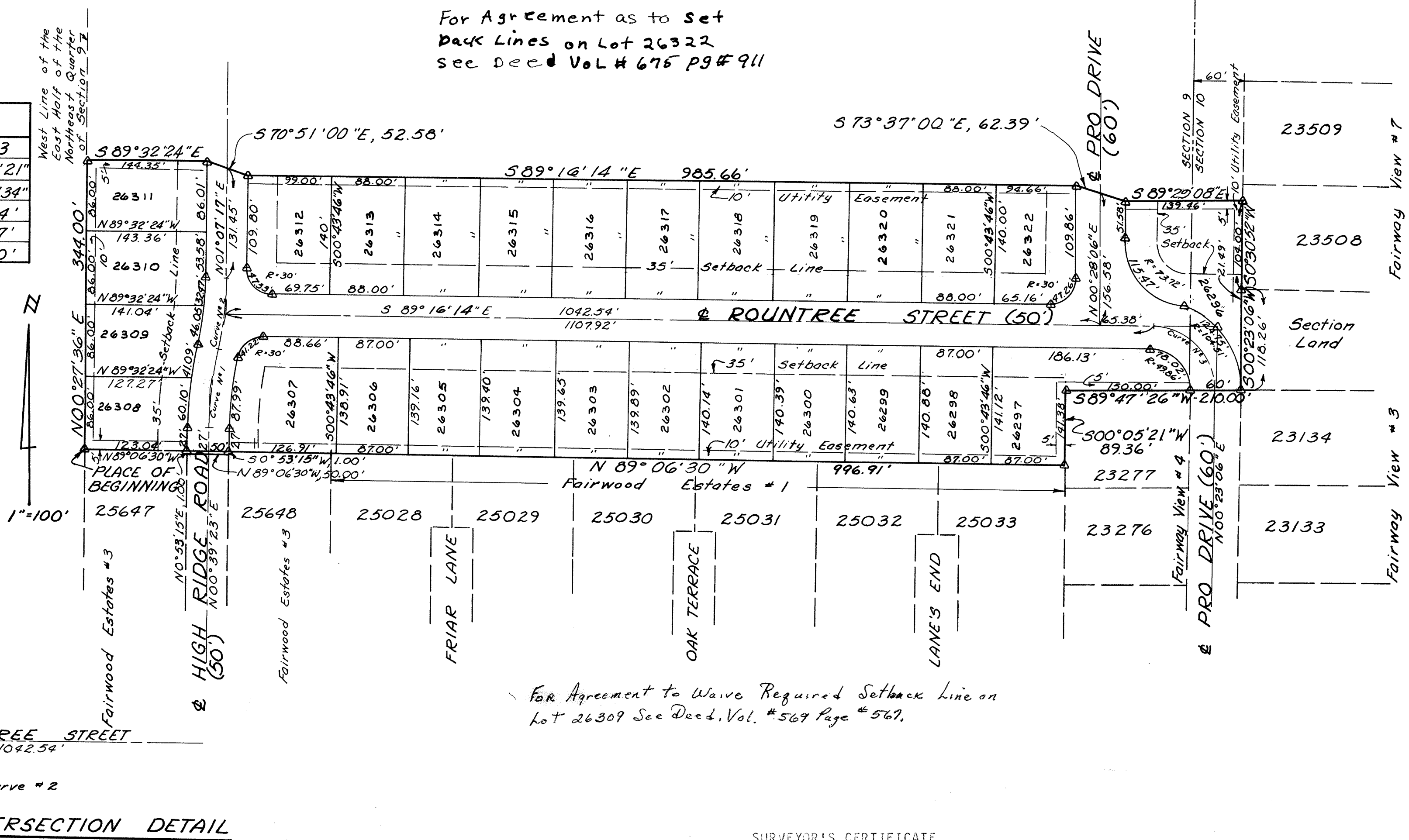
This plat having been approved by the City Planning Commission of the City of Lima, Ohio, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, approve and accept this plat this 21 day of November, 1973.

Christopher P. Morris
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

FAIRWOOD ESTATES SUBDIVISION No 4

For Agreement as to Set
Back Lines on Lot 26322
See Deed Vol # 675 pg # 911

CURVE DATA			
CURVE	No 1	No 2	No 3
Δ	11°31'22"	11°17'20"	89°39'21"
D	11°58'59"	13°31'40"	76°53'34"
R	478.136'	423.538'	74.514'
T	48.24'	41.86'	74.07'
L	96.16'	83.45'	116.60'



For Agreement to Waive Required Setback Line on
Lot 26309 See Deed, Vol. #569 Page #567.

SURVEYOR'S CERTIFICATE

Being part of the east half of the northeast quarter of Section 9, and the west half of the northwest of Section 10, T-4-S, R-6-E, Shawnee Township, Allen County Ohio, more particularly described as follows:

Beginning at the northwest corner of lot number 25647 in Fairwood Estates No 3 Subdivision said northwest corner being in the west line of the east half of the northeast quarter of said Section 9; thence N 00° 27' 36" E with said west line 344.00 feet; thence S 89° 32' 24" E, 144.35 feet; thence S 70° 51' 00" E, 52.58 feet; thence S 89° 16' 14" E, 985.66 feet; thence S 73° 37' 00" E, 62.39 feet; thence S 89° 29' 08" E, 139.46 feet to the west line of Fairway View No 7 Subdivision, thence S 00° 30' 52" W, with the west line of said Fairway View No 7 Subdivision 104.00 to the Southwest corner of lot number 23508 in said Fairway View No 7 Subdivision; thence S 00° 23' 06" W, 118.26 feet to the Northwest corner of Lot number 23134 in Fairway View No 3 Subdivision; thence S 89° 47' 26" W with the north line of Fairway View No 4 Subdivision 210.00 feet to the Northwest Corner of Lot number 23277 in said Fairway View No 4 Subdivision; thence S 00° 05' 21" W with the west line of said Lot number 23277, 89.36 feet to the Northeast corner of Lot number 25033 in Fairwood Estates No 1 Subdivision; thence N 89° 06' 30" W with the north line of said Fairwood Estates No 1 Subdivision and the North line of Fairwood Estates No 3 Subdivision 996.91 feet to the N.W. corner of Lot # 25648; thence S 0° 53' 15" W, 1.00 feet; thence N 89° 06' 30" W, 50.00 feet; thence N 0° 53' 15" E, 1.00 feet to the N.E. corner of Lot #25647; thence N 89° 06' 30" W, 123.04 feet to the PLACE OF BEGINNING containing 10.009 Acres more or less, 9.703 Acres in Section 9 and 0.306 Acres in Sec. 10 of which 2.007 Acres more or less is dedicated for roadway purposes.

(Δ) Denotes concrete monuments
Wood stakes will be placed on all lot corners.
All easements are for utility purposes and are 10 feet in width unless otherwise shown.
Radii at lot corners are 30 feet. The dimensions shown on the property lines at corner lots are to the beginning of the 30 foot radius curve.

I hereby certify that this plat represents a true and accurate survey made by me or under my supervision in Oct. 1973 and that all markers are or will be in place by six (6) months from the date of recording of the plat.

Therese A. Metzger
Registered Surveyor 5514
Kohli and Kalher Associates, Limited



PROTECTIVE COVENANTS

As a part of a general plan for the development of the real estate in the residential area on the foregoing plat, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, easements, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property and each and every parcel thereof, and shall apply to and be binding upon the purchasers and successors in interest; and the restrictions, covenants, reservations, easements, liens and charges applicable to each tract, lot or parcel, shall inure to the benefit of and be enforceable by the purchasers of every tract, lot or parcel, and their successors in interest.

The tracts, lots and parcels of real estate shown and described on this plat are and shall be held, transferred, sold and conveyed subject to the following conditions, restrictions, covenants, reservations, easements, liens and charges:

1. Said lots shall be used for residence purposes only and not for any purpose of business or trade or public entertainment or resort; and no nuisance, advertising sign, billboard or other advertising device shall be erected or permitted upon said lots or any of them be used in any way which may endanger health or unreasonably detract from the quiet of adjacent lots or premises.
2. One lot as platted shall constitute a building site and no building or structure shall be erected, placed, maintained or permitted to remain upon any such lot in said Subdivision other than one single-family dwelling house and private garage for not more than three cars.
3. No buildings or structures other than one-family residences not to exceed 2-1/2 stories in height, together with customary outbuildings, such as private garages, home workshops and greenhouses, incidental to the residential use, of such building sites shall be erected, maintained or permitted upon any building site.
4. All buildings shall be constructed of new material and no building or other structure whatsoever erected elsewhere shall be permitted to be moved upon any building site.
5. The building setback line, for residential building sites, shall be thirty-five feet from the street line as shown on the plat. No building or structure shall be located nearer than ten feet from the interior side property line.
6. No residential structure shall be erected on any building site of which the habitable floor area thereof, exclusive of, open porches and garages, is less than 1600 square feet for a one-story house with 100 square feet credit given for each 600 square feet of Basement Area and 2000 square feet for a two story house with 200 square feet credit for a full basement.
7. Only open type fence or hedge not to exceed four (4) feet in height above ground level shall be erected or planted on any building site and shall not extend closer to the street than the front wall of the house.
8. No animals, livestock or poultry shall be kept or maintained on any part of said building sites, except ordinary household pets which do not constitute an annoyance or nuisance; nor shall any house trailer or Motor Home Coach be stored or permitted to remain upon any building site.
9. No sign of any kind shall be displayed to the public view on any lot except one professional sign of not more than one square foot, one sign of not more than five square feet advertising the property for sale or rent, or signs used by a builder to advertise the property during the construction and sale period.
10. No oil or gas wells shall be drilled nor shall any mining or commercial excavating operating of any kind be conducted on any building site.
11. No trade or activity of a business nature shall be carried on upon any building site nor shall anything be done thereon which may be or become an annoyance or nuisance.
12. Easements for utility purposes as delineated on the foregoing plat are hereby expressly reserved to C. V. Land, Inc., the present owner of all lots and building sites, and its successors and assigns.
13. No lot shall be used or maintained as a dumping ground for rubbish. Trash, garbage or other waste shall not be kept except in sanitary containers. All incinerators or other equipment for storage or disposal of such material shall be kept in a clean and sanitary condition and shall be kept in a location which is not exposed to the public view.
14. The foregoing restrictions, covenants, and conditions shall run with the land and shall be binding on all future owners of all building sites, and all persons claiming under them, until January 1, 2000.
15. Should any one or more of the foregoing restrictions, covenants or conditions at any time in the future be held to be illegal, void or unenforceable, such fact shall not in any way impair the validity of any of the other restrictions, covenants or conditions, all of which shall remain in full force and effect.

DEDICATION

C. V. Land, Inc., the owners of the land contained in the hereon plat, hereby adopts the said plat and dedicates the land contained within the streets to the use and benefit of the public forever.

In Witness Whereof, Orin E. Morris, Gilbert L. Styer, President and Secretary of the C. V. Land, Inc., have hereunto signed their names the 22nd day of OCTOBER, 1973

C. V. Land, Inc.

Witnesses

Bruce S. Perry

Eugene R. Perry

Orin E. Morris
Orin E. Morris, President

Gilbert L. Styer
Gilbert L. Styer, Secretary

ACKNOWLEDGEMENT

State of Ohio, County of Franklin ss
Before me, a Notary Public in and for said state and county, personally appeared Orin E. Morris and Gilbert L. Styer, who acknowledged that they did sign the hereon plat of Fairwood Estates Subdivision No 4 and that the signing thereof was their free act and deed.

In Witness Whereof, I have set my hand and seal this 22nd day of OCTOBER, 1973.

My Commission Expires:

Eugene R. Perry
Notary Public, Franklin County, Ohio
Eugene R. Perry

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 21st day of NOVEMBER, 1973.

Fee: \$ 3.50

Richard D. Dillo
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 307453
Filed for record in the Allen County, Ohio, Recorder's Office this 21st day of November, 1973 at 2:40 o'clock P.M. and recorded in Allen County, Ohio, Plat Book 15 on Page 15.

Fee: \$ 16.60

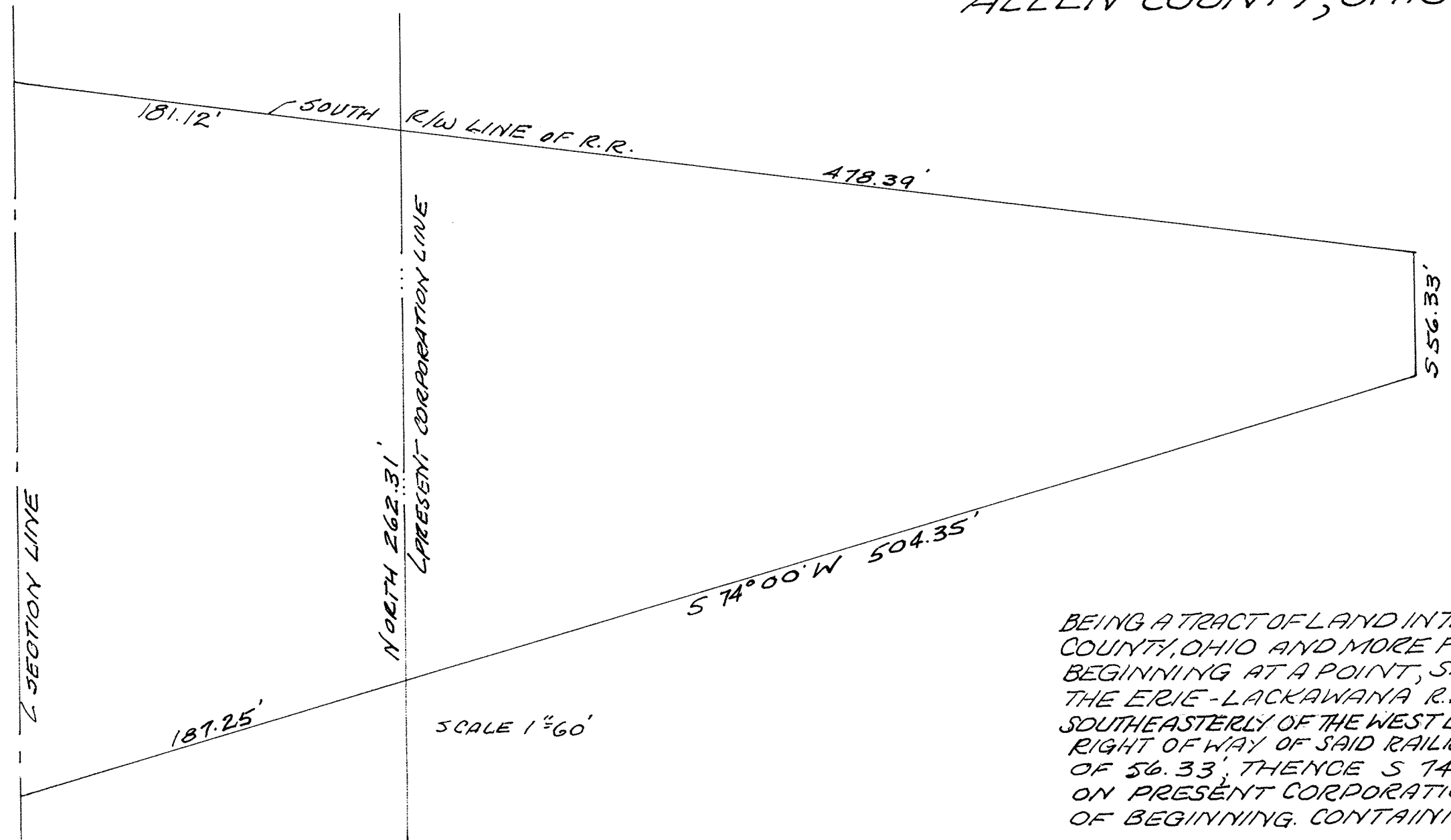
Bernice Montague
Recorder of Allen County, Ohio
Betty Kineth
Deputy

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, approve and accept this plat this 20 day of November, 1973.

Christine P. Morris
Mayor of the City of Lima, Ohio and
Chairman of the City Planning Commission

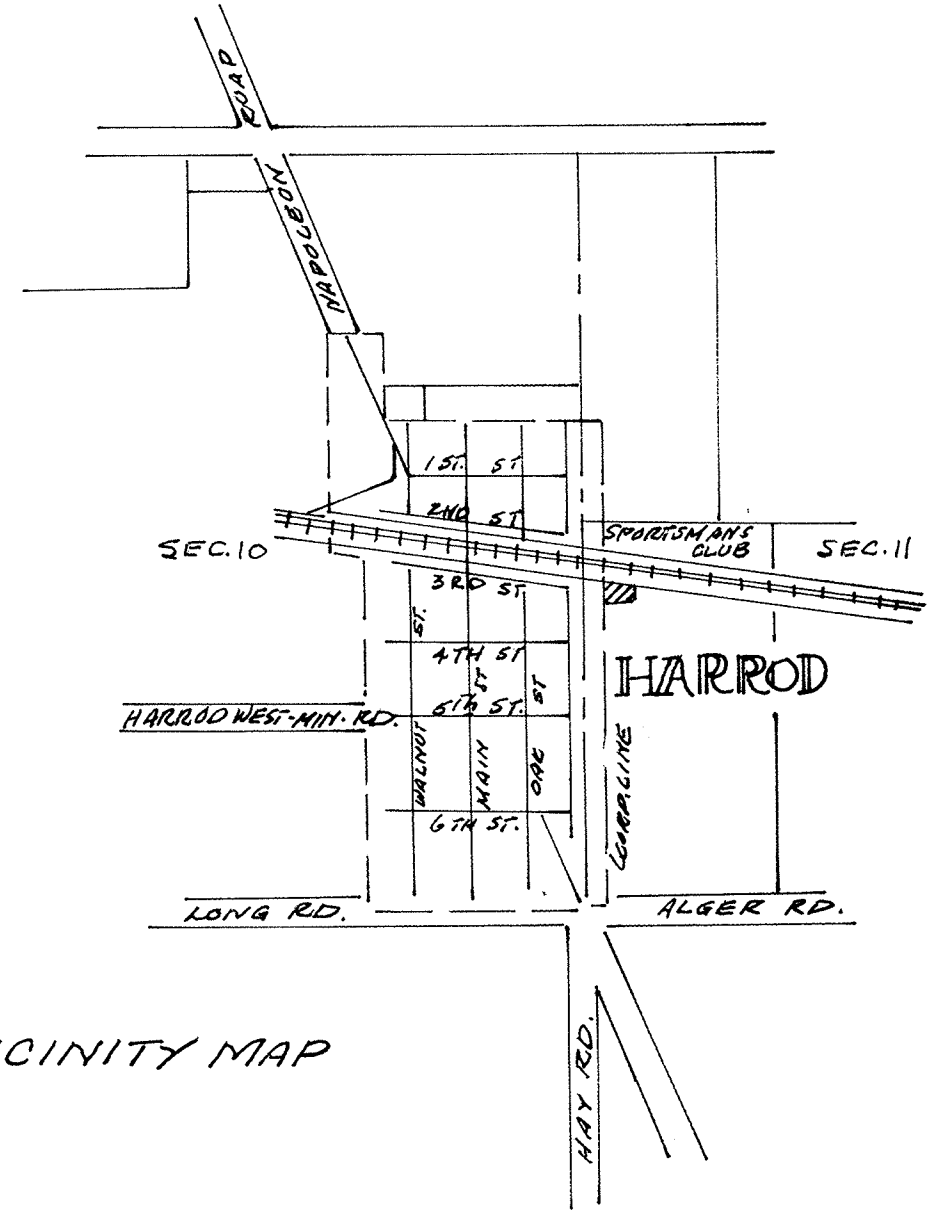
ANNEXATION TO THE VILLAGE OF HARROD
SW 1/4 - SEC. 11 - T4S, R8E AUGLAIZE TWP.
ALLEN COUNTY, OHIO



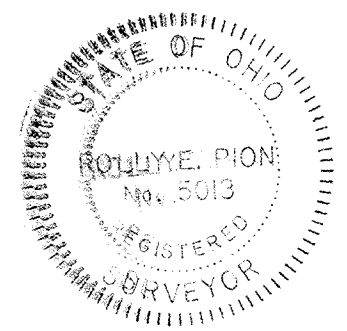
BEING A TRACT OF LAND IN THE SW 1/4 - SEC. 11 - T4S, R8E - AUGLAIZE TWP. - ALLEN COUNTY, OHIO AND MORE FULLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT, SAID POINT LIES ON THE SOUTH RIGHT OF WAY LINE OF THE ERIE - LACKAWANA R.R. A DISTANCE ALONG SAID RIGHT OF WAY LINE OF 181.12' SOUTHEASTERLY OF THE WEST LINE OF SEC. 11; THENCE CONTINUING ALONG THE SOUTH RIGHT OF WAY OF SAID RAILROAD A DISTANCE OF 478.39'; THENCE SOUTH A DISTANCE OF 56.33'; THENCE S 74°00'W A DISTANCE OF 504.35'; THENCE NORTH ON PRESENT CORPORATION LINE A DISTANCE OF 262.31' TO THE POINT OF BEGINNING. CONTAINING 1.74 ACRES MORE OR LESS.

FEB. 9, 1973

Rolly E. Pion
 ROLLY E. PION
 SURVEYOR NO. 5013



VICINITY MAP



307718

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 8:41 O'CLOCK A.M.

DEC 4 1973

RECORDED *Dec 19 1973*
 Vol. 13 PAGE 17
Bernice Montague
 RECORDER
 Feb 32, 30 by *Betty Kinzle*
 Deputy

AUTHENTICATION

I, Ivan Clouse, Clerk of the Village of Harrod, Ohio certify that attached to this Authentication are the records; true and exact copies of :

- Petition for Annexation on Application of Owners
- Letter dated June 6, 1973 from Raymond R. Kohli, Allen County Engineer
- Letter dated May 29, 1973 from Allen County Board of County Commissioners
- Resolution to set hearing date on Annexation dated May 30, 1973.
- Notice of Filing of Annexation Petition
- Legal Notice
- Transmittal of Notice of Petition for Annexation
- Affidavit of Service of Notice - 2 Dated April 20th, 1973
Dated June 13th, 1973
- Letter dated June 4, 1973 from Board of Allen County Commissioners
- Ordinance for Annexation -- Ordinance No. 73-3
- Order on Petition for Annexation-- Dated August 6, 1973.
- Letter dated August 9, 1973 from Allen County Commissioners' Office

I further certify that I am the Clerk for the Village of Harrod, Ohio and am the officer appointed to certify such records for the Village of Harrod.

ATTEST:
 E.
 /s/ Ivan Clouse
 /t/ Ivan Clouse
 Village Clerk

/s/ Leonard Dale
 /t/ Leonard Dale, Mayor

SEAL

For Recorder

PETITION FOR ANNEXATION ON APPLICATION OF OWNERS

To: Board of County Commissioners of Allen County, Ohio

We, the undersigned, being a majority of the owners of real estate in the territory hereinafter described, hereby petition for the annexation of the following described territory to the Village of Harrod, Allen County, Ohio:

Being a tract of land in the S.W. ¼ of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio and more fully described as follows:

Beginning at a point, said point lies on the South right of way line of the Erie-Lackawana Railroad a distance along said right of way line of 181.12 feet Southeasterly of the West line of Section 11; thence continuing along the South right of way of said railroad a distance of 478.39 feet; thence South a distance of 56.33 feet; thence S 74° 00' W a distance of 504.35 feet; thence North on present corporation line a distance of 262.31 feet to the point of beginning, containing 1.74 acres more or less.

The above described territory is adjacent and contiguous with the said Village of Harrod.

Petitioners have attached hereto and made a part of this petition, an accurate plat showing the boundaries of the territory to be annexed, marked "Annexation to the Village of Harrod - Plat".

There are two owners of real estate in the above described territory which is sought to be annexed to the Village of Harrod.

The above described property to be annexed is titled in the name of Vistron Corporation as recorded in Allen County's Deed of Records Volume 518, Page 219 and also recorded in the name of Solar-Nitrogen Chemicals, Inc., an Ohio Corporation, as recorded in the Allen County Recorder's Office in Volume 471, Page 198. Both corporations are part of the Vistron Complex.

H.W. Goodnight, District Manager, is hereby appointed agent for the undersigned petitioners as required by R.C. 709.02, with full power and authority hereby granted to said agent to amend, alter, change, correct, withdraw, refile, substitute, compromise, increase or delete the area, to do any and all things essential thereto, and to take any action necessary for obtaining the granting of this petition. Said amendment, alteration, change

ALLEN CO. COMMISSIONERS
 RECEIVED
 May 29 1973
 RECEIVED
 Lima, - Ohio

correction, withdrawal, refile, substitution, compromise, increase or deletion, or other things or action for the granting of this petition shall be made in the petition, description, and/or plat by said agent without further expressed consent of the petitioners.

VISTRON CORPORATION

By /s/ H. W. Goodnight
 /t/ H. W. Goodnight, Agent

SOLAR NITROGEN CHEMICALS, INC.

By /s/ H. W. Goodnight
 /t/ H. W. Goodnight, Agent

VISTRON CORPORATION

By/s/ D. G. Stevens
 /p/ D.G. Stevens President
 By /s/ A.P. Mekedis
 Assistant Secretary
 /p/ A.P. Mekedis

SEAL

Form Approved
 JKR
 Legal Department
 Sohio

Seal

SOLAR NITROGEN CHEMICALS, INC.

By /s/ J.L. Locker
 President
 /p/J.L. Locker

By /s/ A.P. Mekedis
 Assistant Secretary
 /p/ A.P. Mekedis

Telephone 228-3196

RAYMOND R. KOHLI, P.E.
 Allen County Engineer
 P.O. Box 1138
 1501 North Sugar Street
 Lima, Ohio 45802

June 6, 1973

Board of Allen County Commissioners
 Allen County Court House
 Lima, Ohio 45801

Re: Your letter May 29, 1973
 Annexation of 1.74 Acres of Land
 in Section 11, Auglaize Township
 to the Village of Harrod

Gentlemen:

We have verified the information furnished in the above mentioned petition and plat.

The statements contained in the petition appear to be correct and the plat and legal description are correctly prepared and acceptable for recording.

The west portion of the area sought to be annexed immediately adjoins the existing corporation line of the Village of Harrod.

Petition and plat returned to your office with this letter.

Very truly yours,

/s/ Raymond R. Kohli, RES
 /t/ Raymond R. Kohli, P.E.
 ALLEN COUNTY ENGINEER

RRK/ RES: ds

Enclosure

cc: Raymond R. Kohli
 Tony DeMeo
 file

NOTED:

X
 X
 X

ALLEN CO. COMMISSIONERS

RECEIVED
 June 6 1973
 Received
 Lima, - Ohio

May 29, 1973

Adopted this 30th day of May, 1973.

BOARD OF COUNTY COMMISSIONERS ALLEN COUNTY, OHIO

C Mr. Raymond R. Kohli
O Allen County Engineer
P Box 1138
Y Lima, Ohio 45802
Attention: Mr. Ralph Steiner

/s/ Richard E. Thompson
/t/ Richard E. Thompson

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Margaret Bowdle
/t/ (Mrs.) Margaret Bowdle
Clerk of Board

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

Gentlemen:

Enclosed is the original Petition for Annexation with plat attached concerning the proposed annexation of territory in the SW 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, to the Village of Harrod, whereon H.W. Goodnight is appointed agent for the petitioners.

JR. 71 PAGE 22-A

NOTICE OF FILING OF ANNEXATION PETITION

Please check the validity of the signatures and verify the accuracy of the plat of the territory and description set forth in said petition, as provided in Section 709.031 Ohio Revised Code.

To: Ivan Clouse, Clerk of the Village of Harrod
George Stevens, Clerk of Auglaize Township

You will hereby take notice that certain petitioners seeking the annexation of certain territory located in the Township of Auglaize, County of Allen, State of Ohio, to the Village of Harrod, County of Allen, State of Ohio, filed a petition for the annexation of such territory in the office of the Board of County Commissioners of Allen County, Ohio, on the 29th day of May, 1973.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

(Mrs.) Margaret Bowdle
Clerk of Board

This notice is given by the undersigned agent of such petitioners pursuant to R.C. 709.03.

Said petition contains a full description of the territory sought to be annexed and other matters required by law and is signed by a majority of the owners of real estate in such territory.

/s/ H.W. Goodnight
/t/ W.H. Goodnight, Agent for Petitioners
for Annexation

Enc.
cc: file
transcript file
mb

County Commissioners' Office
Allen County, Ohio
May 30, 1973 #248-73

NOTICE OF PETITION FOR ANNEXATION BY OWNERS OF
REAL ESTATE
(RC 709.031)
Legal Notice

RE: SET HEARING DATE ANNEXATION OF TERRITORY IN AUGLAIZE TOWNSHIP, VILLAGE OF HARROD, ALLEN COUNTY, OHIO, H. W. GOODNIGHT DESIGNATED AGENT FOR PETITIONERS: August 6, 1973, AT 10:30 A.M., COUNTY COMMISSIONERS OFFICE.

The Board of County Commissioners of Allen County, Ohio, met in regular session on the 30th day of May, 1973, with the following members present: Richard E. Thompson, James T. Shafer, and Robert L. Townsend, Jr.

Mr. Shafer moved the adoption of the following:

RESOLUTION

WHEREAS, on May 29, 1973, a petition was filed for the annexation of certain territory located in Auglaize Township, Allen County, Ohio, to the Village of Harrod, Ohio, herewith H.W. Goodnight is designated as agent for the petitioners, which was presented to the Board of Allen County Commissioners at a meeting following the receipt thereof; and

WHEREAS, the territory petitioned for annexation to the Village of Harrod, Ohio, by said petition, is described as being a tract of land in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, containing 1.74 acres more or less, more particularly described in annexation petition and attached plat; now

THEREFORE, BE IT RESOLVED, by the Board of Allen County Commissioners of Allen County, Ohio, that the 6th day of August, 1973, at 10:30 A.M., in the County Commissioners' office, Allen County Court House, Lima, Ohio, be the date, time, and place for holding the hearing on said petition. This action is taken in compliance with Section 709.031 Ohio Revised Code; and

BE IT FURTHER RESOLVED, that the Clerk of this Board shall cause said petition for annexation together with attached plat to be filed in the office of the Allen County Auditor and said petition shall be entered in the record of this Board, pursuant to Section 709.03 Ohio Revised Code, and

BE IT FURTHER RESOLVED, that in accordance with Section 709.031 of the Revised Code of Ohio, the Clerk of the Board of County Commissioners is hereby directed to communicate with the agent of the petitioner H. W. Goodnight, informing him by letter of the date, time, and place of said hearing. A notice is to be given as provided by law, Section 709.031 of the Ohio Revised Code, by the agent of the petitioners.

Notice is hereby given, that there was filed with the Board of County Commissioners of Allen County, Ohio, on the 29th day of May, 1973, a petition signed by a majority of the owners of real estate in the hereinafter described territory praying that said territory be annexed to the Village of Harrod in the manner provided by law. The territory so sought to be annexed is described as follows:

Being a tract of land in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio and more fully described as follows: Beginning at a point, said point lies on the South right of way line of the Erie-Lackawana Railroad a distance along said right of way line of 181.12 feet Southeasterly of the West line of Section 11; thence continuing along the south right of way of said railroad a distance of 478.39 feet; thence South a distance of 56.33 feet; thence S 74 degrees 00' W a distance of 504.35 feet; thence North on present corporation line a distance of 262.31 feet to the point of beginning, containing 1.74 acres more or less.

The undersigned is named in said petition as the agent of the petitioners in accordance with law; and such petition contains a full description and an accurate plat of the territory sought to be annexed, and such petition states that two owners of real estate in said territory.

The said Board of County Commissioners has fixed the 6th day of August, 1973 at 10:30 a.m. as the time for the hearing on the aforesaid petition, said hearing to be held at the County Commissioners' Office in the Allen County Court House, Lima, Ohio.

/t/ H.W. Goodnight,
Agent
/t/ Anthony J. DeMeo,
Attorney
206 Dominion Building
Lima, Ohio

LEGAL NO. 728 - July 16,23,30, Aug. 6, 1973 (4t).

JR. 71 PAGE 22

THE STATE OF OHIO, ALLEN COUNTY, SS:

Res. #248-73
May 30, 1973
Page 2

Leo J. Otto, being sworn says that (he) is Bookkeeper of the Lima News, publishers of The Lima News, a newspaper printed in said County, and of general circulation throughout said County and State; and that said newspaper had a bona fide circulation of more than twenty-five thousand at the time this advertisement, notice or proclamation was published; that the notice, of which the annexed is a true copy, was for four consecutive weeks published in said newspaper, beginning on the 16th day of July, A.D. 1973.

Mr. Townsend seconded the Resolution and the roll being called upon its adoption, the vote resulted as follows: Mr. Thompson, Yes; Mr. Shafer, Yes; and Mr. Townsend, Yes.

/s/ Leo J. Otto

Sworn to before me and subscribed before me this 7th day August, A.D. 1973.

June 4, 1973

Seal /s/ Nancy L. Pratt
Notary Public, Allen County, Ohio

Printer's fee \$51.30

NANCY L. PRATT, Notary Public
In and for Allen County, Ohio
My Commission Expires July 14, 1977

H. W. Goodnight, District Manager
Vistron Corporation
Fort Amanda Road
Lima, Ohio

Re: Petition - Annexation of territory to
Village of Harrod, Ohio

TRANSMITTAL OF NOTICE OF PETITION FOR ANNEXATION

To: Ivan Clouse, Clerk of the Village of Harrod, Ohio

You will hereby take notice that the undersigned as agent for certain petitioners seeking the annexation of certain territory located in the Township of Auglaize, County of Allen, State of Ohio, to the Village of Harrod, County of Allen, State of Ohio, is causing a notice containing the substance of the petition and the time and place where said petition will be heard by the Board of County Commissioners of Allen County, Ohio, to be published as required by law, and that a copy of such notice is hereby attached and delivered to you as required by RC 709.031.

The matters contained in the annexation petition will come on for hearing before the Board of County Commissioners of Allen County, Ohio on the 6th day of August, 1973, at 10:30 a.m. Said hearing will be held at the Allen County Commissioners' Office in the Allen County Court House, Lima, Ohio.

/s/ W. H. Goodnight
/t/ W.H. Goodnight, Agent for
Petitioners for Annexation

By /s/ A.J. DeMeo, Attorney
By /p/Anthony J. DeMeo, Attorney

AFFIDAVIT OF SERVICE OF NOTICE

County of Allen
State of Ohio

The undersigned, being first duly sworn, deposes and says that he is agent for the petitioners seeking annexation of certain territory located in the Township of Auglaize, County of Allen, State of Ohio, to the Village of Harrod, County of Allen, State of Ohio, and further says that he did personally deliver the attached "Notice of Filing of Annexation Petition" to Ivan Clouse, Clerk of the legislative authority of the Village of Harrod by handing him a copy thereof on the 20th day of April, 1973.

Further affiant saith not.

/s/ H.W. Goodnight
/t/ W.H. Goodnight, Agent for Petitioners
for Annexation

Sworn to before me, and subscribed in my presence this 20th day of April, 1973.

/s/ Adeline Marie Nelson
NOTARY PUBLIC
Adeline Marie Nelson, Notary Public
In and for Allen County, Ohio
My Commission Expires July 27, 1977.

My commission expires July 27, 1977

AFFIDAVIT OF SERVICE OF NOTICE

County of Allen
State of Ohio

The undersigned, being first duly sworn, deposes and says that he is agent for the petitioners seeking annexation of certain territory located in the Township of Auglaize, County of Allen, State of Ohio, to the Village of Harrod, County of Allen, State of Ohio, and further says that he by registered mail delivered the attached "Notice of Filing of Annexation Petition" to George Stevens, Clerk of the legislative authority of the Township of Auglaize by mailing him a copy thereof on the 13th day of June, 1973.

Further affiant saith not.

/s/ H. W. Goodnight
/t/ W.H. Goodnight, Agent for
Petitioners for Annexation

Sworn to before me, and subscribed in my presence this 13th day of June, 1973.

/s/ Adeline Marie Nelson
NOTARY PUBLIC

My commission expires July 27, 1977

Adeline Marie Nelson, Notary Public
In and for Allen County, Ohio
My Commission Expires July 27, 1977

C
O
P
Y

Dear Mr. Goodnight,

This letter is being directed to you as agent for the petitioners seeking annexation of territory located in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, to the Village of Harrod, Allen County, Ohio.

The Board of Allen County Commissioners adopted Resolution #248-73, on May 30, 1973, fixing August 6, 1973, at 10:30 A.M., in the office of this Board, Allen County Court House, Lima, Ohio, as the date, time and place for the holding of the hearing on this annexation petition.

This Board requests that you furnish this office with three copies of the proof of publication, together with three copies of your affidavit attesting that your notification was given to the clerk of the legislative authority of the municipal corporation and the clerk of the township affected by the proposed annexation.

A thermo-fax copy of Resolution #248-73 is enclosed for your records.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/t/ (Mrs.) Margaret Bowdle,
Clerk of Board

Enc.
cc: transcript file
file
mb

ORDINANCE NO. 73-3

PASSED: Oct 11, 1973

/t/ Billy L. Gossard	/s/ <u>Billy L. Gossard</u>
/t/ Vernon E. Fricke	/s/ <u>Vernon Fricke</u>
/t/ Chester Rex	/s/ <u>Chester Rex</u>
/t/ Harry F. Corbet	/s/ <u>Harry F. Corbet</u>
/t/ Dale Jordan	_____ x
/t/ Jerry Burden	_____ x

To accept the application for the annexation of certain territory containing 1.74 acres in Auglaize Township to the Village of Harrod.

WHEREAS, a petition for the annexation of certain territory in Auglaize Township was duly filed by H. W. Goodnight, Agent for Vistron Corporation, and solar-Nitrogen Chemicals, Inc.; and,

WHEREAS, the said petition was duly considered by the Board of County Commissioners of Allen County, Ohio, on the 6th day of August, 1973; and,

WHEREAS, the Board of County Commissioners has approved the annexation of said territory to the Village of Harrod as hereinafter described; and,

Whereas, the Board of County Commissioners certified the transcript of the proceedings in connection with said annexation with the map and petition required in connection therewith to the Village Clerk who received the same on the 10th day of August, 1973; and,

WHEREAS, sixty days from the date of said filing have now elapsed in accordance with the provisions of RC 709.04; now, therefore,

BE IT ORDAINED by the Council of the Village of Harrod:

1. That the proposed annexation as applied for in the petition of Vistron Corporation and Solar-Nitrogen Chemicals, Inc., and a majority owners of real estate in the territory sought to be annexed and filed with the the Board of County Commissioners of Allen County, Ohio, on the 29th day of May, 1973, and which said petition prayed for annexation to the Village of Harrod, Ohio, of certain territory adjacent thereto as hereinafter described, and which said petition was approved for annexation to the Village of Harrod by the Board of County Commissioners on the 6th day of August, 1973, be and the same is hereby accepted. Said territory is described as follows:

Being a tract of land in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, and more fully described as follows:

Beginning at a point, said point lies on the South right of way line of the Erie-Lackawana Railroad a distance along said right of way line of 181.12 feet Southeasterly of the West line of Section 11; thence Continuing along the South right of way of said railroad a distance of 478.39 feet; thence South a distance of 56.33 feet; thence S 74° 00' W a distance of 504.35 feet; thence North on present corporation line a distance of 262.31 feet to the point of beginning, containing 1.74 acres more or less.

The certified transcript of the proceedings for annexation with an accurate map of said territory, together with the petition for its annexation, and other papers relating to the proceedings thereto of said County Commissioners are all on file with the Clerk of this Village and have been for more than sixty days.

2. That the Village Clerk be and he is hereby authorized and directed to make three copies of this ordinance to each of which shall be attached a copy of the map accompanying the petition for annexation, a copy of the transcript of proceedings of the Board of County Commissioners relating thereto and a certificate as to the correctness thereof. The Village Clerk shall then forthwith deliver one copy to the County Auditor, one copy to the County Recorder and one copy to the Secretary of State and shall file notice of this annexation with the Board of Elections within thirty days after it becomes effective, and said Clerk shall do all other things required by law.

WHEREAS, this ordinance constitutes an emergency measure providing for the usual daily operation of the Village and shall take effect and be in force from and after its passage and approval by the Mayor.

Authentication

Passed: Oct. 11, 1973

/s/ Billy L. Gossard
President of Council

Attest:

/p/ Billy L. Gossard

/s/ Ivan E. Clouse
Clerk of Council
/p/ Ivan E. Clouse

Approved: Oct 11, 1973

/s/ Leonard Dale
Mayor
/p/ Leonard Dale

Village of Harrod

County Commissioners' Office
Allen County, Ohio
August 6, 1973 #350-73

RE: ORDER ON PETITION FOR ANNEXATION OF TERRITORY IN AUGLAIZE TOWNSHIP, ALLEN COUNTY, OHIO, TO THE VILLAGE OF HARROD, OHIO. HAROLD GOODNIGHT, AGENT FOR THE PETITIONERS.

The Board of County Commissioners of Allen County, Ohio met in regular session on the 6th day of August, 1973 with the following members present: Richard E. Thompson; James T. Shafer and Robert L. Townsend, Jr.

Mr. Townsend moved the adoption of the following:

RESOLUTION

WHEREAS, on the 29th day of May, 1973, a Petition for Annexation being a tract of land in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, wherein Harold Goodnight is designated as agent for the Petitioners, was presented to the Board of County Commissioners of Allen County, Ohio; and

WHEREAS, on the 1st day of June, 1973, the Clerk of Said Board did cause the said Petition to be entered upon the record of proceedings of the Board and did cause said Petition to be filed in the office of the County Auditor; and

WHEREAS, on the 30th day of May, 1973, in accordance with Section 709.031 Ohio Revised Code, the Board of County Commissioners, by Resolution #248-73, did set the 6th day of August, 1973, at 10:30 A.M. as the time and the County Commissioners' Office in the Allen County Court House, Lima, Ohio, as the place for hearing the said Petition; and

WHEREAS, said Board of County Commissioners did refer the description and plat of the territory sought to be annexed to the County Engineer for a report on the accuracy thereof and the County Engineer did make a report in writing to the Board upon his findings; and

WHEREAS, said agent for the Petitioners did cause to be published the Notice as required by Section 709.031 Ohio Revised Code, and did deliver copies of said Notice as required by said Section; and

WHEREAS, on the 6th day of August, 1973, at 10:30 A.M., being the date and time fixed for hearing on said Petition, a public hearing was held in the Office of the Allen County Commissioners. All parties present at said hearing were afforded full opportunity to present evidence on behalf of or opposed to said Petition. The Petitioners were represented by Leonard Dale, Mayor of Harrod, Ivan Clouse, Clerk of Harrod and Billy L. Gossard, Councilman of the Village of Harrod; and

Resolution #350-73
August 6, 1973
Page 2

WHEREAS, on the 6th day of August, 1973, the report of the County Engineer, the record of the proceedings of the Board and the evidence adduced at said hearing, including testimony and exhibits and the affidavits presented the Board finds that:

- (a) The Petition contains all matter required in Section 709.02 of the Ohio Revised Code.
- (b) Notice has been published as required in Section 709.031 of the Ohio Revised Code.
- (c) The persons whose names are subscribed to the Petition are owners of real estate located in the territory in the Petition; and as of the time the Petition was filed with the Board of County Commissioners, the number of valid signatures on the Petition constituted a majority of the owners of real estate in the territory proposed to be annexed.
- (d) The territory included in the Annexation Petition is not unreasonably large; the plat is accurate; and the general good of the territory sought to be annexed will be served if the Annexation Petition is granted; now

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of Allen County, Ohio, that the Petition presented to the Board on May 29, 1973, for the annexation of a tract of land in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, wherein Harold Goodnight is designated as agent for the Petitioners, be and the prayer of the Petition hereby is granted; and be it further

RESOLVED, that this Board does hereby order the land described herein be annexed to the Village of Harrod, Ohio, and become a part thereof, as provided by law:

Being a tract of land in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio and more fully described as follows:

BEGINNING at a point, said point lies on the South right of way line of the Erie-Lackawana Railroad a distance along said right of way line of 181.12 feet Southeasterly of the West Line of Section 11; thence continuing along the South right of way of said railroad a distance of 478.39 feet; thence South a

Resolution #350-73
August 6, 1973
Page 3

distance of 56.33 feet; thence S 74 degrees 00' W a distance of 504.35 feet; thence North on present corporation line a distance of 262.31 feet to the point of beginning, containing 1.74 acres more or less

BE IT FURTHER RESOLVED, that this Board deposit with the Clerk of the Village of Harrod, Ohio, the final transcript of these proceedings and the original Petition above referred to, together with the accompanying plat for further proceedings as provided by law.

Mr. Shafer seconded the Resolution and the Roll being called upon its adoption the vote resulted as follows: Mr. Thompson, Yes; Mr. Shafer, Yes and Mr. Townsend, Yes.

Adopted this 6th day of August, 1973

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Richard E. Thompson
/t/ Richard E. Thompson

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

/s/ Mary L. Lucas
/t/ Mary L. Lucas, Assistant
Clerk of Board

ALLEN COUNTY
1831
STATE OF OHIO

COMMISSIONERS' OFFICE
Allen County
P.O. Box 1243
Lima, Ohio 45802
Phone (419) 229-9015

Board of Commissioners
Richard E. Thompson
President
James T. Shafer
Vice-President
Robert L. Townsend, Jr.
Member
Margaret Bowdle
Clerk of Board

August 9, 1973

Ivan Clouse, Clerk
Village of Harrod
145 S. Main St.
Harrod, Ohio

RE: Auglaize Township Annexation-
Transcript File-Harold Goodnight
Agent for Petitioners

Dear Mr. Clouse:

On the 6th day of August, 1973, the Board of County Commissioners of Allen County, Ohio, granted the annexation of a tract of land located in the S.W. 1/4 Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, to the Village of Harrod, Ohio.

Enclosed is the complete transcript file (outlined below) for further proceedings according to law.

- (1) Original Petition with Plat attached.
- (1) Copy of letter dated May 29, 1973, to the Allen County Engineer.
- (1) Copy of Notice of filing of Annexation Petition.
- (1) Copy of Affidavit of Service of Notice
- (1) Copy of Letter from the County Engineer dated June 6, 1973, relative to review thereof.
- (1) Copy of Resolution #248-73, dated May 30, 1973 establishing August 6, 1973 at 10:30 A.M. in the County Commissioners Office as the date, time and place for hearing.
- (1) Copy of Letter to Agent informing him of hearing date.
- (1) Copy of Legal Notice
- (1) Copy of Transmittal Notices of Petition for Annexation.
- (1) Copy of Affidavit of Service of Notice.
- (1) Copy of Affidavit of Service of Notice.

Page -2-

You are hereby notified of the granting of the Annexation Petition of territory in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio more fully described in Resolution #350-73, to the Village of Harrod, Ohio.'

As soon as legislation hereon is enacted by the Village of Harrod, Ohio, please forward to this Board a copy of the ordinance.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board

Enc.

cc: Harold Goodnight
George Steiner
Mayor of Village

CERTIFICATE:

I, Mary L. Lucas, Clerk of Board of Allen County Commissioners, do hereby certify that the foregoing proceedings represent all orders of this Board hereon,

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board

County Commissioners' Office
Allen County, Ohio
November 19, 1973 #536-73

RE: COUNTY COMMISSIONERS ORDER CHANGE IN BOUNDARY LINES BY REASON OF ANNEXATION OF TERRITORY ADJACENT TO THE VILLAGE OF HARROD, ALLEN COUNTY, OHIO, ORDINANCE 73-3.

The Board of County Commissioners of Allen County, Ohio met in regular session on the 19th day of November, 1973, with the following members present: Richard E. Thompson; James T. Shafer and Robert L. Townsend, Jr.

Mr. Townsend moved the adoption of the following:

RESOLUTION

WHEREAS, by proceedings heretofore, concluded the following described land presently located in the S.W. 1/4 of Section 11, T-4-S, R-8-E, Auglaize Township, Allen County, Ohio, did pursuant to Ordinance 73-3, passed by the Village of Harrod, Allen County, Ohio, become annexed to and became a part of the Village of Harrod, Allen County, Ohio.

Being a tract of land in the S.W. 1/4 of Section 11, T4S, R8E, Auglaize Township, Allen County, Ohio, and more fully described as follows:

Beginning at a point, said point lies on the South right of way of the Erie-Lackawana Railroad a distance along said right of way line of 181.12 feet Southeasterly of the West line of Section 11, thence continuing along the South right of way of said railroad a distance of 478.39 feet; thence South a distance of 56.33 feet; thence S 74 degrees 00' W a distance of 504.35 feet; thence North on present corporation line a distance of 262.31 feet to the point of beginning.

Containing 1.74 acres more or less.

An accurate map of which territory, together with the petition for its annexation and other papers relating hereto a certified transcript of the proceedings of the County Commissioners in relation thereto, is on file with the Clerk of the Village of Harrod, Ohio, be and that the same is hereby accepted; now

THEREFORE, BE IT RESOLVED, BY the Board of County Commissioners of Allen County, Ohio, that the boundaries of the Village of Harrod, Ohio, be and the same are hereby changed in accordance with Ordinance No. 73-3 passed by the Village of Harrod, Allen County, Ohio, October 11, 1973 so that the lands herebefore described be and the same are hereby within the Corporate Boundaries of the said Village of Harrod, Allen County, Ohio; and be it further

JR 72 PAGE 159

Resolution #536-73
November 19, 1973
Page 2

RESOLVED, that copies of this Resolution be certified by the Clerk of the Board, to the Village of Harrod, Allen County, Ohio, to the Auditor, Allen County, Ohio, and also the Recorder, Allen County, Ohio, for recording in appropriate records.

Mr. Shafer seconded the resolution and the roll being called upon its adoption the vote resulted as follows: Mr. Thompson, Yes; Mr. Townsend, Yes and Mr. Shafer, Yes.

Adopted this 19th
day of November, 1973

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Richard E. Thompson

/t/ Richard E. Thompson

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

CERTIFICATE:

I, Mary L. Lucas, Clerk of the Board of County Commissioners, Allen County, Ohio, do hereby certify that the foregoing is a true and accurate copy of said Resolution as adopted by the Board of County Commissioners, Allen County, Ohio, on November 19, 1973 and entered upon the Journal of Commissioners' Records, No. 72 Pages 159.

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board
Allen County Commissioners

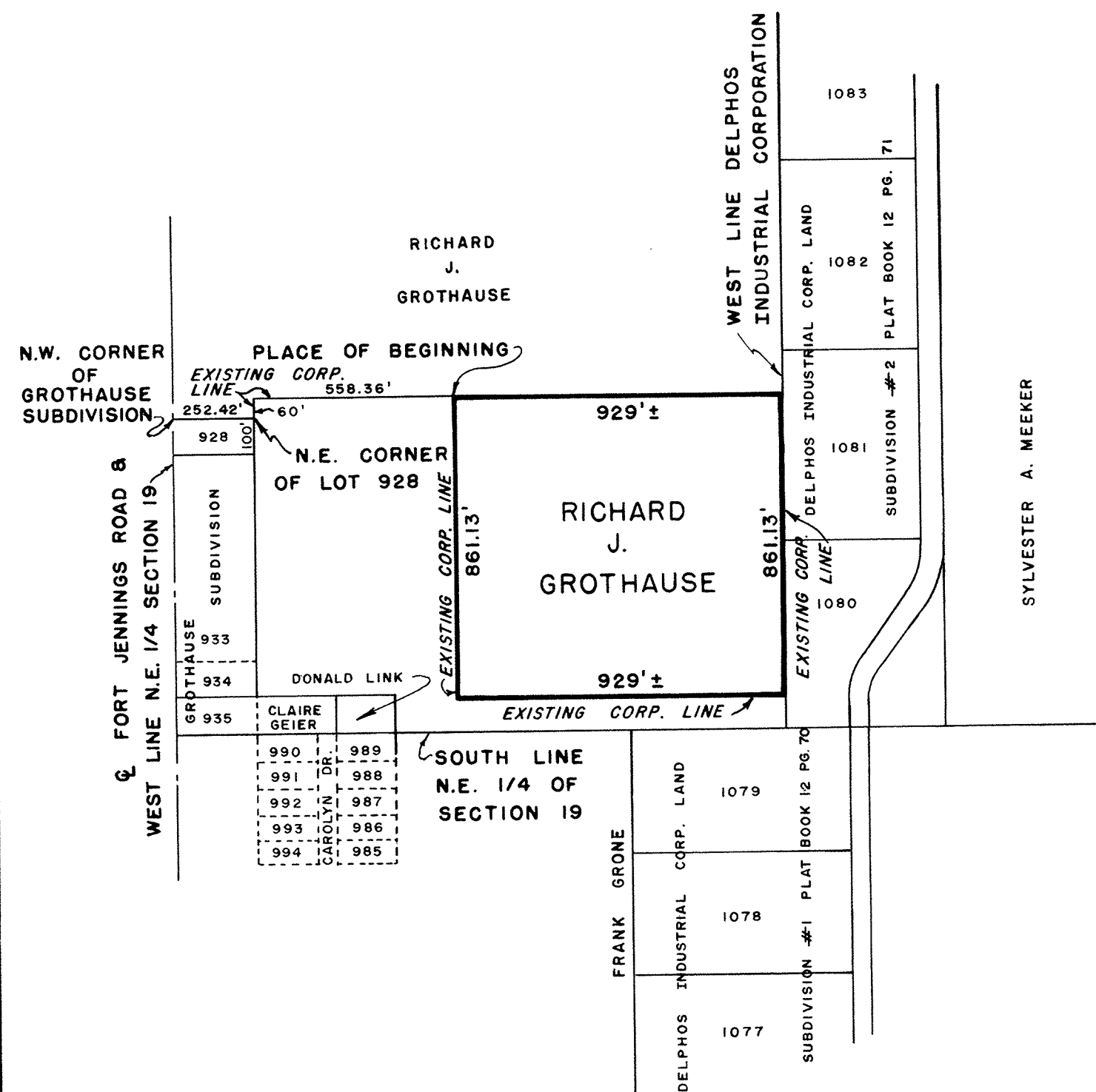
JR. 72 PAGE 159-A

Received December 4, 1973
at 8:41 O'Clock A.M.
Recorded December 4, 1973
Fee \$32.30

Bernice Montague
Recorder

by B.K.

ANNEXATION PLAT IN THE N.E. 1/4 OF SECTION 19, T2S-R5E, MARION TOWNSHIP, ALLEN COUNTY, OHIO

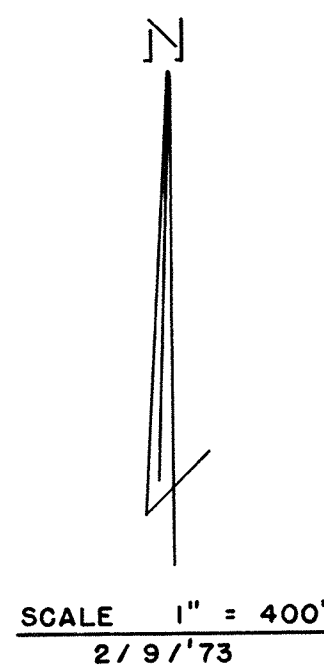


DESCRIPTION OF LAND TO BE ANNEXED

Being a tract of land in the Northeast 1/4 of Section 19, T2S-R5E, Marion Township, Allen County, Ohio and being further described as follows:

Starting at the Northwest corner of Grothouse Subdivision, as recorded in Plat Book 9, page 173-174, this point also being on the centerline of Fort Jennings Road and the west line of the Northeast 1/4 of Section 19; thence Easterly, 252.42 feet to the Northeast corner of Lot 928 as platted in Grothouse Subdivision, and the existing corporation line of the City of Delphos; thence North along said existing corporation line, 60 feet; thence Easterly along the existing corporation line of the City of Delphos, 558.36 feet to the place of beginning; thence Easterly, from this place of beginning, 929 feet more or less to the west line of Delphos Industrial Corp., land and the existing corporation line of the City of Delphos; thence Southerly along said west line and corporation line, 861.13 feet; thence Westerly along the existing corporation line of the City of Delphos, 929 feet more or less; thence North along the existing corporation line of the City of Delphos, 861.13 feet to the place of beginning.

Containing in all 18± acres of land to be annexed.



307917

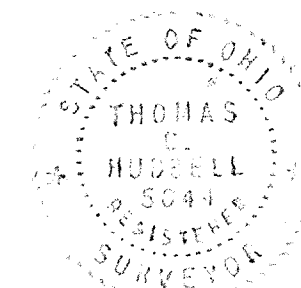
Thomas C. Hubbell
Thomas C. Hubbell
Reg. Surveyor #5044

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 2:31 O'CLOCK P.M.

DEC 12 1973

RECORDED *Dec 18 1973*
Plat VOL 13 PAGE 23
Bernice Montague
RECORDED
Feb 29 30 *By Betty Kinitt*
Deputy

SHELDON & ASSOCIATES, INC.
LIMA, OHIO



#307917

PETITION FOR ANNEXATION OF TERRITORY TO THE CITY OF DELPHOS

We the undersigned, being the only land owners, of real estate hereinafter described respectfully petition the Board of County Commissioners of Allen County, in the State of Ohio, to release to the City of Delphos from the Township of Marion, and County of Allen, real estate described as follows: to-wit:

Being a tract of land in the Northeast quarter (1/4) of Section 19, Township two (2) south, range five (5) East, Marion Township, Allen County, Ohio and being further described as follows:

Starting at the Northwest corner of Grothouse Subdivision, as recorded in Plat Book nine (9), page 173-174, this point also being on the center-line of Fort Jennings Road and the West line of the Northeast quarter (1/4) of Section nineteen (19); thence Easterly, two hundred fifty two and forty two hundredths (252.42) feet to the Northeast corner of Lot nine hundred twenty eight (928) as platted in Grothouse Subdivision, and the existing corporation line of the City of Delphos; thence North along said existing corporation line, sixty (60) feet; thence Easterly along the existing corporation line of the City of Delphos, five hundred fifty eight and thirty six hundredths (558.36) feet to the place of beginning; thence Easterly, from this place of beginning, nine hundred twenty nine (929) feet more or less to the west line of Delphos Industrial Corporation land and the existing corporation line of the City of Delphos; thence Southerly along said West line and corporation line, eight hundred sixty one and thirteen hundredths (861.13) feet; thence Westerly along the existing corporation line of the City of Delphos, nine hundred twenty nine (929) feet more or less; thence North along the existing corporation line of the City of Delphos, eight hundred sixty one and thirteen hundredths (861.13) feet to the place of beginning.

Containing in all eighteen (18) acres more or less of land to be annexed.

A plat of such territory is attached hereto and made a part of this petition.

We state that we are the only land owners in this territory which we wish to have annexed to the City of Delphos. We request that Paula Minzing act as our agent in and for the proper notices and requirements as set forth in Ohio Revised Code Section 709.02 which was effective the 21st day of November, 1969.

Respectfully submitted this 13th day of February, 1973.

/s/ Richard J. Grothouse
/t/ Richard J. Grothouse

/s/ Marie E. Grothouse
/t/ Marie E. Grothouse

Received February 15, 1973
Richard L. Ditto, County Auditor
by R H Holmes
4:17 P.M.

ALLEN CO. COMMISSIONERS
RECEIVED
Feb 13 1973
RECEIVED
LIMA, OHIO

February 13, 1973

C Mr. Raymond R. Kohli
O Allen County Engineer
P Box 1138
Y Lima, Ohio 45802

Attention: Mr. Ralph Steiner

Gentlemen:

Enclosed is the original petition concerning the proposed annexation of territory in the Northeast 1/4 of Section 19, Township 2 South, Range 5 East, Marion Township, Allen County, Ohio, to the City of Delphos, Ohio, whereon Paula Minzing is designated as Agent for the petitioners.

Please check the validity of the signatures and verify the accuracy of the plats of the territory and description set forth in said petition, as provided in Section 709.031 Ohio Revised Code.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

Enc.
cc: Paula Minzing
transcript file
file

/t/(Mrs.) Margaret Bowdle,
Clerk of Board

mh

Telephone 228-3196

RAYMOND R. KOHLI, P.E.
Allen County Engineer
P.O. Box 1138
1501 North Sugar Street
LIMA, OHIO 45802

February 14, 1973

Allen County Board of Commissioners
Allen County Court House
Lima, Ohio 45801

Re: Your letter 2/13/73
Delphos Annexation Petition
NE 1/4, Section 19, Marion Township
Containing 18 acres.

Gentlemen:

The above stated annexation petition for 18 acres of land, owned by Richard J. Grothouse, has been prepared in a satisfactory manner and the statements contained therein appear to be correct.

The description for this 18 acre tract is prepared contingent on the acceptance and approval of the 84 acres previously presented to your board for annexation. Since, the East, South and West boundaries of this 18 acres are referred to as being the presently existing corporation line of Delphos.

We are returning plat and petition with this letter.

Yours very truly,

/s/ Raymond R. Kohli, RES
/t/ Raymond R. Kohli, P.E.
ALLEN COUNTY ENGINEER

RRK/RES:ds

Enclosure

cc: Raymond R. Kohli
File

ALLEN CO. COMMISSIONERS
Received
Feb 14 1973
Received
LIMA, - OHIO

NOTED:

x

x

x

County Commissioners' Office
Allen County, Ohio
February 14 1973 #80-73

RE: SET HEARING DATE FOR ANNEXATION OF TERRITORY IN MARION TOWNSHIP, ALLEN COUNTY, OHIO, TO THE CITY OF DELPHOS, OHIO; PAULA MINZING AGENT FOR THE PETITIONERS; APRIL 25, 1973 AT 10:30 A.M. COUNTY COMMISSIONERS' OFFICE.

The Board of County Commissioners of Allen County, Ohio, met in adjourned regular session on the 14th day of February, 1973, with the following members present: Richard E. Thompson, James T. Shafer and Robert L. Townsend, Jr.

Mr. Townsend moved the adoption of the following:

RESOLUTION

Whereas, on February 13, 1973, a petition was filed for the annexation of certain territory located in Marion Township, Allen County, Ohio, to the City of Delphos, Ohio, wherein Paula Minzing is designated as agent for the Petitioners, which was presented to the Board of Allen County Commissioners at a meeting following the receipt thereof; and

WHEREAS, the territory petitioned for annexation to the City of Delphos, Ohio is described as being a tract of land in the Northeast quarter(1/4) of Section 19, Township two (2) south, range five (5) east, Marion Township, Allen County, Ohio, containing in all eighteen (18) acres more or less, and more particularly described in Petition for Annexation attached hereto; now

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of Allen County, Ohio, that the 25th day of April, 1973, at 10:30 A.M. in the County Commissioners' Office in the Allen County Court House, Lima, Ohio, be the date, time and place for holding of the hearing on said petition. This action is taken in compliance with Section 709.031 of the Ohio Revised Code; and be it further

RESOLVED, that the Clerk of this Board shall cause said petition for annexation together with map to be filed in the office of the Allen County Auditor and said petition shall be entered in the records of this Board, pursuant to Section 709.03 Ohio Revised Code; and be it further

RESOLVED, that in accordance with Section 709.031 of the Revised Code of Ohio, the Clerk of the Board of County Commissioners is hereby directed to communicate with the agent of the petitioners, Paula Minzing, informing her, by letter, of the date, time and place of said hearing. Notice is to be given as provided by law, Section 709.031 of the Revised Code of Ohio, by the agent for the petitioners.

Mr. Shafer seconded the Resolution and the roll being called upon its adoption, the vote resulted as follows: Mr. Thompson, Yes; Mr. Shafer, Yes and Mr. Townsend, Yes.

Adopted this 14th day of February, 1973.

/s/ Margaret Bowdle
/t/ (Mrs.) Margaret Bowdle
Clerk of Board

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Richard E. Thompson
/s/ James T. Shafer
/s/ Robert L. Townsend, Jr.

JR 69 PAGE 128

March 6, 1973

C
O
P
Y

Paula Minzing
Attorney at Law
Commercial Bank Building
Delphos, Ohio

Dear Madam,

This letter is being directed to you as agent for the petitioners seeking annexation of territory located in Marion Township, in the NE 1/4 of Section 19, T2S, R5E, to the City of Delphos, Ohio.

The Board of Allen County Commissioners adopted Resolution #80-73, fixing April 25, 1973, at 10:30 A.M., in the offices of this Board, Allen County Court House, Lima, Ohio, as the date, time and place for the holding of the hearing on these annexation petitions.

This Board requests that you furnish this office with three copies of the proof of publication, together with three copies of your affidavit attesting that your notification was given to the clerk of the legislative authority of the municipal corporation and the clerk of the Township affected by the proposed annexation.

Enclosed are the following: (1) Resolution #80-73; (2) copy of the letter directed to the County Engineer for the review of the petition as provided in Section 709.031 Ohio Revised Code; and (3) copy of the letter of reply from the Allen County Engineer.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/t/ (Mrs.) Margaret Bowdle,
Clerk of Board

Enc.
cc: transcript file
file

mb

PUBLIC NOTICE

Notice is hereby given that on the 13th day of February, 1973, there was presented to the Board of County Commissioners, in the County of Allen, State of Ohio, a petition signed by the only land owners who own certain real estate described as follows:

Being a tract of land in the Northeast quarter (1/4) of Section nineteen (19), Township Two (2) South, range five (5) East, Marion Township, Allen County, Ohio, and being further described as follows:

Starting at the Northwest corner of Grothouse Subdivision, as recorded in Plat Book nine (9), page 173-174, this point also being on the centerline of Fort Jennings Road and the West line of the Northeast quarter (1/4) of Section nineteen (19); thence Easterly, two hundred fifty two and forty two hundredths (252.42) feet to the Northeast corner of Lot nine hundred twenty eight (928) as platted in Grothouse Subdivision, and the existing corporation line of the City of Delphos; thence North along said existing corporation line, sixty (60) feet; thence Easterly along the existing corporation line of the City of Delphos, five hundred fifty eight and thirty six hundredths (558.36) feet to the place of beginning; thence Easterly, from this place of beginning, nine hundred twenty nine (929) feet more or less to the west line of Delphos Industrial Corporation land and the existing corporation line of the City of Delphos; thence Southerly along said west line and corporation line, eight hundred sixty one and thirteen hundredths (861.13) feet; thence Westerly along the existing corporation line of the City of Delphos, nine hundred twenty nine (929) feet more or less; thence North along the existing corporation line of the City of Delphos, eight hundred sixty one and thirteen hundredths (861.13) feet to the place of beginning.

Containing in all eighteen (18) acres more or less of land to be annexed.

Said petition prayed that said territory be annexed to the City of Delphos, County of Allen, Ohio in the manner provided by law and designating the undersigned as their agents in securing such annexation. The Board of County Commissioners by resolution dated the 13th day of February, 1973 has fixed the 25th day of April 1973 at 10:30 A.M. o'clock at the office of the Board of County Commissioners in the Court House of Allen County, Ohio, at Lima, Ohio, as the time and the place of hearing said petition for the above tract.

/t/ Paula Minzing
Attorney at Law
Commercial Bank Building
Delphos, Ohio 45833
Agent for Petitioners

3-13,3-20,3-27, 4-3

THE STATE OF OHIO, ALLEN COUNTY, SS.

Before me notary public of said county, personally appeared Barbara Schmidt who being solemnly sworn, deposed that the annexed advertisement was duly published in the Delphos Daily Herald once every seventh day for the space of four consecutive weeks from and after the 13th day of March, A.D., 1973, and that the said Delphos Daily Herald was at that time a newspaper printed and published in Allen County and of general circulation in said county.

/s/ Barbara Schmidt

Sworn to and subscribed before me at Delphos, Ohio, this 4th day of April 1973

/s/ Marilyn Kramer

Seal

Printer's Fee, \$60.12
Affidavit \$.80

Marilyn Kramer
My Commission Expires 6-9-77

Case No.-----

Proof of Publication

The Delphos Daily Herald
Delphos, Ohio

March 27, 1973

C
O
P
Y

City Council,
City Building,
Delphos, Ohio 45833.

Gentlemen:

On the 13th day of February, 1973, as agent for the majority of land owners in Marion Township, Allen County, Ohio, I have filed with the County Commissioners of Allen County, Ohio, a petition for annexation to the City of Delphos, Ohio as provided in Ohio Revised Code Section 709.03.

Under the terms of said provision, I hereby give you notice of the filing of said petition and am informing you that on April 25, 1973, at 10:30 A.M., in the office of this Board of County Commissioners, Allen County, Ohio, the petition will be heard.

This is the annexation of the Richard J. Grothouse and Marie E. Grothouse.

Very truly yours,

/t/ Paula Minzing, Agent for
Richard J. Grothouse and
Marie E. Grothouse.

JAMjr:mh

Annexation - Grothouse

Sender: Be sure to follow instructions on other side
Please Furnish Service(s) indicated by Checked Block(s)
(Additional charges required for these services)

Show to whom, date and address where delivered Deliver Only to Addressee

RECEIPT
Received the numbered article described below

Registered No	Signature or name of Addressee (Must always be filled in)
1	/s/ City Council
CERTIFIED NO	Signature of Addressee's Agent, if Any
849889	/s/ G.W. Otte
Insured No.	Show Where Delivered (Only if requested, and include ZIP Code)
3	125 E. 2nd
Date Delivered	
3/28/73	

U.S. Postal Service
Official Business

Mar
AM
1973
459

Penalty for Private
Use to Avoid Payment
of Postage \$300

US Mail

Postmark of Delivering Office
Sender Instructions
Print in the space below your name, address, including ZIP Code if special services are desired, check block(s) on other side. Moisten gummed ends and attach to back of article

PS Form 3811 Nov. 1970
c55-16-81277-1

Miss Paula Minzing, Attorney
Marsh, Minzing & Metzner
Commercial Bank Building
Delphos, Ohio, 45833

March 27, 1973

C Marion Township Trustees,
126 S. Main Street,
Delphos, Ohio 45833

Gentlemen:

On the 13th day of February, 1973, as agent for the majority of land owners in Marion Township, Allen County, Ohio, I have filed with the County Commissioners of Allen County, Ohio, a petition for annexation to the City of Delphos, Ohio as provided in Ohio Revised Code Section 709.03.

Under the terms of said provision, I hereby give you notice of the filing of said petition and am informing you that on April 25, 1973 at 10:30 A.M., in the office of this Board of County Commissioners, Allen County, Ohio, the petition will be heard.

This is the annexation of the Richard J. Grothouse and Marie E. Grothouse.

Very truly yours,

/t/ Paula Minzing, Agent for
Richard J. Grothouse and
Marie E. Grothouse.

JAMjr:mh

Annexation - Grothouse
Sender: Be sure to follow instructions on other side

Please Furnish Service(s) Indicated by checked Block(s)
(Additional charges required for these services)

Show to whom, date and address where delivered Deliver Only to addressee

RECEIPT
Received the numbered article described below
Signature or Name of Addressee (Must always be filled in)

Registered No.	1 /s/ Marian County Trustees
Certified No.	2 /s/ Jerome A. Puffing
849890	
Insured No.	3 Show Where Delivered (Only if requested, and include ZIP Code)

Date Delivered
4-2-73

U.S. Postal Service
Official Business

Penalty for Private
Use to Avoid Payment
of Postage \$300

U.S. Mail

Postmark of Delivering Office
Sender Instructions
Print in the space below your name, address, including ZIP Code. If Special services are desired, check block(s) on other side. Moisten gummed ends and attach to back of article.

PS Form 3811
Nov 1970 C55-16-81277 1

Paula Minzing
Marsh, Minzing & Metzner
Commercial Bank Bldg.
Delphos, Ohio 45833

County Commissioners' Office
Allen County, Ohio
May 9, 1973 #213-73

RE: ORDER ON PETITION FOR ANNEXATION OF TERRITORY IN MARION TOWNSHIP, ALLEN COUNTY, OHIO, TO THE CITY OF DELPHOS, OHIO. PAULA MINZING, AGENT FOR THE PETITIONERS.

The Board of County Commissioners of Allen County, Ohio, met in Adjourned Regular Session on the 9th day of May, 1973, with the following members present: Richard E. Thompson, James T. Shafer and Robert L. Townsend, Jr.

Mr. Shafer moved the adoption of the following:

RESOLUTION

WHEREAS, on the 13th day of February, 1973, a Petition for Annexation of eighteen (18) acres of land, more or less, in the N.E. 1/4 of Section 19, T2S, R5E, Marion Township, Allen County, Ohio, wherein Paula Minzing is designated as agent for the Petitioners, was presented to the Board of County Commissioners of Allen County, Ohio; and

WHEREAS, on the 15th day of February, 1973, the Clerk of said Board did cause the said Petition to be entered upon the record of proceedings of the Board and did cause said Petition to be filed in the office of the County Auditor; and

WHEREAS, on the 14th day of February, 1973, in accordance with Section 709.031 Ohio Revised Code, the Board of County Commissioners, by Resolution #80-73, did set the 25th day of April, 1973, at 10:30 A.M. as the time and the County Commissioners' Office in the Allen County Court House, Lima, Ohio, as the place for hearing the said Petition; and

WHEREAS, SAID Board of County Commissioners did refer the description and plat of the territory sought to be annexed to the County Engineer for a report on the accuracy thereof and the County Engineer did make a report in writing to the Board upon his findings; and

WHEREAS, said agent for the Petitioners did cause to be published the Notice as required by Section 709.031 Ohio Revised Code, and did deliver copies of said Notice as required by said Section; and

WHEREAS, on the 25th day of April, 1973, at 10:30 A.M., being the date and time fixed for hearing on said Petition, a public hearing was held in the Office of the Allen County Commissioners. All parties present at said hearing were afforded full opportunity to present evidence on behalf of or opposed to said Petition. The Petitioners were represented by their agent, Paula Minzing; and

Resolution #213-73
May 9, 1973
Page 2

WHEREAS, at the conclusion of said hearing, the prayer of said Petition was taken under advisement by said Board of County Commissioners; and

WHEREAS, on the 9th day of May, 1973, the Petition came on for further consideration by said Board and from the Petition, the report of the County Engineer, the record of the proceedings of the Board and the evidence adduced at the public hearing on April 25, 1973, including the testimony and exhibits and the affidavits presented, the Board finds that:

- (a) The Petition contains all matter required in Section 709.02 of the Ohio Revised Code.
- (b) Notice has been published as required in Section 709.031 of the Ohio Revised Code,
- (c) The persons whose names are subscribed to the Petition are owners of real estate located in the territory in the Petition; and as of the time the Petition was filed with the Board of County Commissioners, the number of valid signatures on the Petition constituted a majority of the owners of real estate in the territory proposed to be annexed.
- (d) The territory included in the Annexation Petition is not unreasonably large; the plat is accurate; and the general good of the territory sought to be annexed will be served if the Annexation Petition is granted; now

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of Allen County, Ohio, that the Petition presented to the Board on February 13, 1973, for the annexation of eighteen (18) acres of land, more or less, in the N.E. 1/4 of Section 19, T2S, R5E, Marion Township, Allen County, Ohio, wherein Paula Minzing is designated as agent for the Petitioners, be and the prayer of the Petition hereby is granted; and be it further

RESOLVED, that this Board does hereby order the land described herein be annexed to the City of Delphos, Ohio, and become a part thereof, as provided by law;

Being a tract of land in the Northeast quarter (1/4) of Section 19, Township two (2) South, Range five (5) East, Marion Township, Allen County, Ohio and being further described as follows:

Starting at the Northwest corner of Grothouse Subdivision,

JR.70 PAGE 131-A

Resolution # 213-73
May 9, 1973
Page 3

as recorded in Plat Book nine (9), Pages 173-174, this point also being on the centerline of Fort Jennings Road and the West line of the Northeast quarter (1/4) of Section nineteen (19); thence Easterly, two hundred fifty-two and forty-two hundredths (252.42 feet to the North-east corner of Lot nine hundred twenty-eight (928) as platted in Grothouse Subdivision, and the existing corporation line of the City of Delphos; thence North along said existing corporation line, sixty (60) feet; thence Easterly along the existing corporation line of the City of Delphos, five hundred fifty-eight and thirty-six hundredths (558.36) feet to the place of beginning; thence Easterly, from this place of beginning, nine hundred twenty-nine (929) feet more or less to the West line of Delphos Industrial Corporation land and the existing corporation line of the City of Delphos; thence Southerly along said West line and corporation line, eight hundred sixty-one and thirteen hundredths (861.13) feet; thence Westerly along the existing corporation line of the City of Delphos, nine hundred twenty-nine (929) feet more or less; thence North along the existing corporation line of the City of Delphos, eight undred sixty-one and thirteen hundredths (861.13) feet to the place of beginning.

Containing in all eighteen (18) acres, more or less, of land to be annexed.

BE IT FURTHER RESOLVED, that this Board deposit with the Clerk of the City of Delphos, Ohio, the final transcript of these proceedings and the original Petition above referred to, together with the accompanying plat for further proceedings as provided by law.

Mr. Townsend seconded the Resolution and the roll being called upon its adoption, the vote resulted as follows: Mr. Thompson, Yes; Mr. Shafer, Yes and Mr. Townsend, Yes.

Adopted this 9th day of May, 1973

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Richard E. Thompson
/t/ Richard E. Thompson

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

/s/ Margaret Bowdle
/t/(Mrs.) Margaret Bowdle
Clerk of Board

JR. 70 PAGE 131-B

ALLEN COUNTY
1831
State of Ohio

COMMISSIONERS' OFFICE
ALLEN COUNTY
P.O. Box 1243
Lima, Ohio 45802
-
Phone (419) 229-9015
May 24, 1973

Board of Commissioners
Richard E. Thompson
President
James T. Shafer
Vice-President
Robert L. Townsend, Jr.
Member
Margaret Bowdle
Clerk of Board

Doris A. Dienstberger, Auditor
City of Delphos
125 East 2nd
Delphos, Ohio

Re: Marion Township Annexation--transcript file--Paula Minzing, Agent for petitioners.

Dear Ms. Dienstberger,

On the 9th day of May, 1973, the Board of County Commissioners of Allen County, Ohio, granted the annexation of certain lands located in the N.E. 1/4 of Section 19, T2S,R5E, Marion Township, Allen County, Ohio, to the City of Delphos, Ohio.

Enclosed is the complete transcript file (outlined below) for further proceedings according to law.

- (1) Original Petition with plat attached.
- (1) Copy of letter, dated, February 13, 1973, to the Allen County Engineer referring the petition for report on the accuracy thereof.
- (1) Original letter, dated February 14, 1973, from the Allen County Engineer, relative to review thereof.
- (1) Copy of Resolution #80-73, establishing April 25, 1973, at 10:30 A.M., in the County Commissioners' Office as the date, time and place for hearing.
- (1) Copy of letter to Agent informing her of hearing date.
- (1) Copy of Legal Notice.
- (1) Copy of notice to City Council, City of Delphos, Ohio.
- (1) Copy of notice to Board of Marion Township Trustees.
- (1) Copy of Resolution #213-73, dated May 9, 1973, granting annexation.

You are hereby notified of the granting of the Annexation Petition of territory in the N.E. 1/4 of Section 19, T2S, R5E, Marion Township, Allen County, Ohio, more fully described in Resolution #213-73, to the City of Delphos, Ohio.

Page 2,
Transcript file-Delphos Annexation
May 24, 1973

As soon as legislation hereon is enacted by the City of Delphos, Ohio, please forward to this Board a copy of the ordinance.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Margaret Bowdle

/t/(Mrs.)Margaret Bowdle,
Clerk of Board

Enc.

cc: Paula Minzing
City Council
John A. Metzner
Mayor Wagner
file

CERTIFICATE:

I, Margaret Bowdle, Clerk of Board of Allen County Commissioners, do hereby certify that the foregoing proceedings represent all orders of this Board hereon.

/s/ Margaret Bowdle
/t/ (Mrs.) Margaret Bowdle,
Clerk of Board.

ORDINANCE NUMBER 1137 B

ACCEPTING APPLICATION FOR ANNEXATION OF TERRITORY

BE IT ORDAINED BY THE COUNCIL of the City of Delphos, County of Allen, and Van Wert, State of Ohio.

SECTION ONE: That the application of Richard J. Grothouse and Marie Grothouse for the annexation of the following described territory in the County of Allen, and adjacent to the City of Delphos, Allen County, Ohio to-wit:

Being a tract of land in the Northeast quarter (1/4) of Section nineteen (19), Township two (2) south, range five (5) East, Marion Township, Allen County, Ohio, and being further described as follows:

Starting at the Northwest corner of Grothouse Subdivision, as recorded in Plat Book nine(9), page 173-174, this point also being on the centerline of Fort Jennings Road and the West line of the Northeast quarter (1/4) of Section nineteen (19); thence Easterly, two hundred fifty two and forty two hundredths (252.42) feet to the Northeast corner of Lot nine hundred twenty eight (928) as platted in Grothouse Subdivision, and the existing corporation line of the City of Delphos; thence North along said existing corporation line, sixty (60) feet; thence Easterly along the existing corporation line of the City of Delphos, five hundred fifty eight and thirty six hundredths (558.36) feet to the place of beginning; thence Easterly from this place of beginning, nine hundred twenty nine (929) feet more or less to the west line of Delphos Industrial Corporation land and the existing corporation line of the City of Delphos, thence Southerly along said West line and corporation line, eight hundred sixty one and thirteen hundredths (861.13) feet; thence Westerly along the existing corporation line of the City of Delphos, nine hundred twenty nine (929) feet more or less; thence north along the existing corporation line of the City of Delphos, eight hundred sixty one and thirteen hundredths (861.13) feet to the place of beginning

Containing in all eighteen (18) acres more or less of land to be annexed.

An accurate map of which such territory, together with the petition for its annexation and other papers relating thereto, and a certified transcript of the proceedings of the county commissioners in relation thereto are on file with the clerk of council of said City of Delphos, County of Allen and Van Wert, and the annexation of the same be and is hereby accepted.

SECTION TWO: This ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed this 11 day of Sept, 1973.

/s/ Roger Hedrick
President of Council

ATTEST:

/s/ Marsha Mueller
Clerk of Council

Approved by me this 11 day of Sept., 1973.

/s/ Ralph E. Wagner
Mayor

I, Marsha Mueller, Clerk of Delphos City Council, Delphos Ohio, certify the above to be a true and a complete copy of the proceedings covering the above ordinance.

/s/ Marsha Mueller
/t/ Marsha Mueller
Clerk, Delphos City Council

ORDINANCE #1136B

AN ORDINANCE CORRECTING ORDINANCE #1133B dated September 11, 1973 to ORDINANCE #1137B

Be it ordained by the Council of the City of Delphos, Allen and Van Wert Counties, Ohio:

SECTION ONE: That Ordinance #1133B, dated September 11, 1973 is hereby corrected to Ordinance #1137B.

SECTION TWO: That this ordinance shall take effect and be in force from the earliest period allowed by law.

PASSED this 25 day of September, 1973.

/s/ Roger Hedrick
Pres. Council

ATTEST:

/s/ Marsha Mueller
Clerk

APPROVED by me this 25 day of September, 1973.

/s/ Ralph E. Wagner
Mayor

County Commissioners' Office
Allen County, Ohio
December 10, 1973 #566-73

RE: COUNTY COMMISSIONERS ORDER CHANGE IN BOUNDARY LINE BY REASON OF ANNEXATION OF TERRITORY ADJACENT TO THE CITY OF DELPHOS, ALLEN COUNTY, OHIO.

The Board of County Commissioners of Allen County, Ohio, met in regular session on the 10th day of December, 1973, with the following members present: Richard E. Thompson; James T. Shafer and Robert L. Townsend, Jr.

Mr. Shafer moved the adoption of the following:

RESOLUTION

WHEREAS, by proceedings heretofore, concluded the following described land presently located in the Northeast quarter 1/4 of Section nineteen (19), Township two (2) South, Range Five (5) East, Marion Township, Allen County, Ohio, did pursuant to Ordinance 1137, passed by the Council of the City of Delphos, Allen County, Ohio.

Being a tract of land in the Northeast quarter (1/4) of Section nineteen (19), Township two (2) South, Range Five (5) East, Marion Township, Allen County, Ohio, and being further described as follows:

Starting at the Northwest corner of Grothouse Subdivision, as recorded in Plat Book nine(9), page 173-174, this point also being on the centerline of Fort Jennings Road and the West line of the Northeast quarter (1/4) of Section nineteen (19); thence Easterly, two hundred fifty two and forty two hundredths (252.42) feet to the Northeast corner of Lot nine hundred twenty eight (928) as platted in Grothouse Subdivision, and the existing corporation line of the City of Delphos; thence North along said existing corporation line, sixty (60) feet; thence Easterly along the existing corporation line of the City of Delphos, five hundred fifty eight and thirty six hundredths (558.36) feet to the place of beginning; thence Easterly from this place of beginning, nine hundred twenty nine (929) feet more or less to the west line of Delphos Industrial Corporation land and the existing corporation line of the City of Delphos; thence Southerly along said West line and corporation line, eight hundred sixty one and thirteen hundredths (861.13) feet; thence Westerly along the existing corporation line of the City of Delphos, nine hundred twenty nine (929) feet more or less; thence north along the existing corporation line of the City of Delphos, eight hundred sixty one and thirteen hundredths (861.13) feet to the place of beginning.

Containing in all eighteen (18) acres more or less of land to be annexed.

JR 73 PAGE 8

Resolution #566-73
December 10, 1973
Page 2

An accurate map of which territory, together with the petition for its annexation and other papers relating hereto and a certified transcript of the proceedings of the County Commissioners in relation thereto, is on file with the clerk of the City of Delphos, be and that the same is hereby accepted; now

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of Allen County, Ohio, that the boundaries of the City of Delphos, Ohio be and the same are hereby changed in accordance with Ordinance No. 1137 B passed by the Council of the City of Delphos, Ohio, Allen County, Ohio, September, 25, 1973, so that the lands herebefore described be and the same are hereby within the Corporate Boundaries of the said City of Delphos, Allen County, Ohio; and be it further

RESOLVED, THAT COPIES OF THIS Resolution be certified by the Clerk of the Board, to the City of Delphos, Allen County, Ohio, to the Auditor, Allen County, Ohio, and also the Recorder, Allen County, Ohio, for recording in appropriate records.

Mr. Townsend seconded the Resolution and the roll being called upon its adoption the vote resulted as follows: Mr. Thompson, Yes; Mr. Shafer, Yes and Mr. Townsend, Yes.

Adopted this 10th
day of December, 1973

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Richard E. Thompson
/t/ Richard E. Thompson

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board

CERTIFICATE:

I, Mary Lou Lucas, Clerk of the Board of County Commissioners, Allen County, Ohio, do hereby certify that the foregoing is a true and accurate copy of said Resolution as adopted by the Board of County Commissioners, Allen County, Ohio, on December 10, 1973 and entered upon the Journal of Commissioners' Records, No. 73 Page 8.

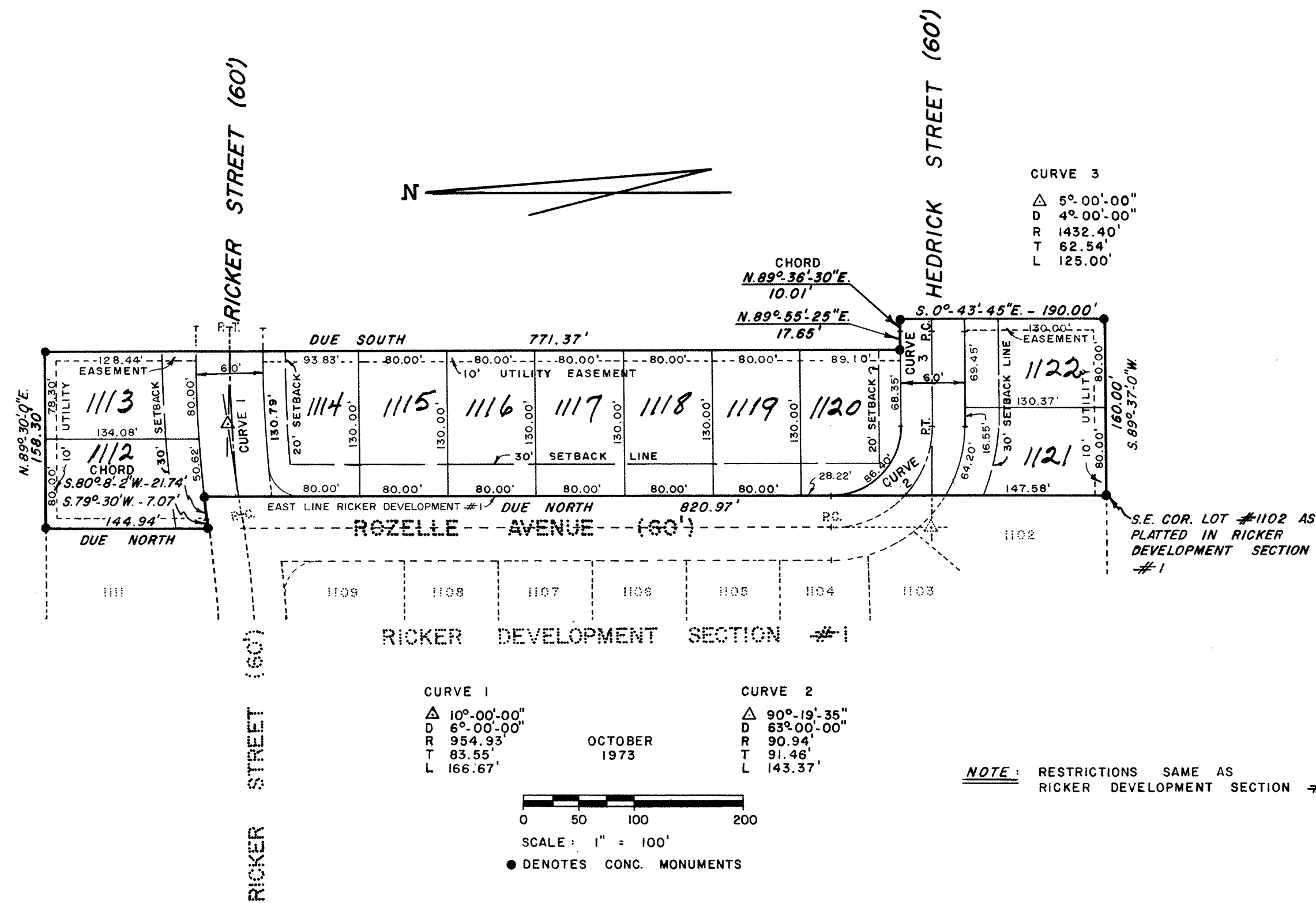
/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board
Allen County Commissioners

JR. 73 PAGE 8

Received December 12, 1973
At 2:31 O'Clock P.M.
Recorded December 12, 1973
Fee \$29.30

Bernice Mortguse
Recorder
B.R.

RICKER DEVELOPMENT SECTION #2 IN THE N.E. 1/4 OF SECTION 19, T2S-R5E, CITY OF DELPHOS, ALLEN COUNTY, OHIO



DESCRIPTION

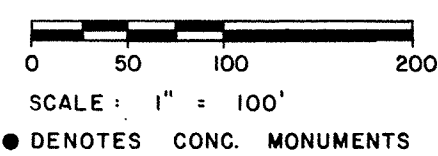
BEING A TRACT OF LAND IN THE N.E. 1/4 OF SECTION 19, T2S-R5E, IN THE CITY OF DELPHOS, ALLEN COUNTY, OHIO AND BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.E. CORNER OF LOT #1102 AS PLATTED IN RICKER DEVELOPMENT SECTION #1, THENCE FROM THIS PLACE OF BEGINNING DUE NORTH ALONG THE EAST LINE OF RICKER DEVELOPMENT SECTION #1, 820.97 FEET; THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 984.93 FEET WITH A CHORD OF S.80°-8'-2"W., 21.74 FEET; THENCE S.79°-30'W., 7.07 FEET; THENCE DUE NORTH, 144.94 FEET; THENCE N.89°-30'-0"E., 158.30 FEET; THENCE DUE SOUTH, 771.37 FEET; THENCE N.89°-55'-25"E., 17.65 FEET; THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 1402.40 FEET WITH A CHORD OF N.89°-36'-30"E., 10.01 FEET; THENCE S.0°-43'-45"E., 190.00 FEET; THENCE S.89°-37'-0"W., 160.00 FEET TO THE PLACE OF BEGINNING.

CONTAINING IN ALL 3.09 ACRES.

NOTE: ALL BEARINGS REFER TO THE EAST LINE OF RICKER DEVELOPMENT SECTION #1 AS BEING DUE NORTH.

CURVE 1	CURVE 2
Δ 10°-00'-00"	Δ 90°-19'-35"
D 6°-00'-00"	D 63°-00'-00"
R 954.93'	R 90.94'
T 83.55'	T 91.46'
L 166.67'	L 143.37'



NOTE: RESTRICTIONS SAME AS RICKER DEVELOPMENT SECTION #1.

Thomas C. Hubbell
THOMAS C. HUBBELL
REG. SURVEYOR #5044

DEDICATION

BEING THE SOLE OWNERS OF THE ABOVE DESCRIBED PREMISES, WE HEREBY DEDICATE THE STREETS AS SHOWN TO THE PUBLIC FOR THEIR USE FOREVER. SIGNED THIS FOURTEENTH DAY OF NOVEMBER, 1973.

OWNERS
Ricker Contracting Co
C.S. Ricker Pres. Geraldine T. Ricker Sec.

WITNESS
Rosemary Minzinger
Mary Jane Osting

ACKNOWLEDGEMENT

COUNTY OF ALLEN, STATE OF OHIO
BEFORE ME A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR, THE ABOVE SIGNED OWNERS WHO ACKNOWLEDGED THE SIGNING OF THIS DOCUMENT TO BE THEIR FREE ACT AND DEED, IN TESTIMONY THEREOF, I HAVE AFFIXED MY HAND & SEAL, THIS 14th DAY OF NOVEMBER, 1973, MY COMMISSION EXPIRES NO EXP. 19 .

Rosemary Minzinger
NOTARY PUBLIC - STATE OF OHIO

BEING THE DULY ELECTED MAYOR OF THE CITY OF DELPHOS, OHIO, I HEREBY ACCEPT THIS PLAT FOR THE CITY. ACCEPTED FOR THE CITY PLANNING COMMISSION.

Ralph E. Wagner
MAYOR OF THE CITY OF DELPHOS, OHIO

Donald E. Weideman
SEC'Y CITY PLANNING COMMISSION

FILED FOR TRANSFER, THIS 12th DAY OF December, 1973, IN THE OFFICE OF THE ALLEN COUNTY AUDITOR.

Richard L. Ditto
ALLEN COUNTY AUDITOR by M. Bechtel

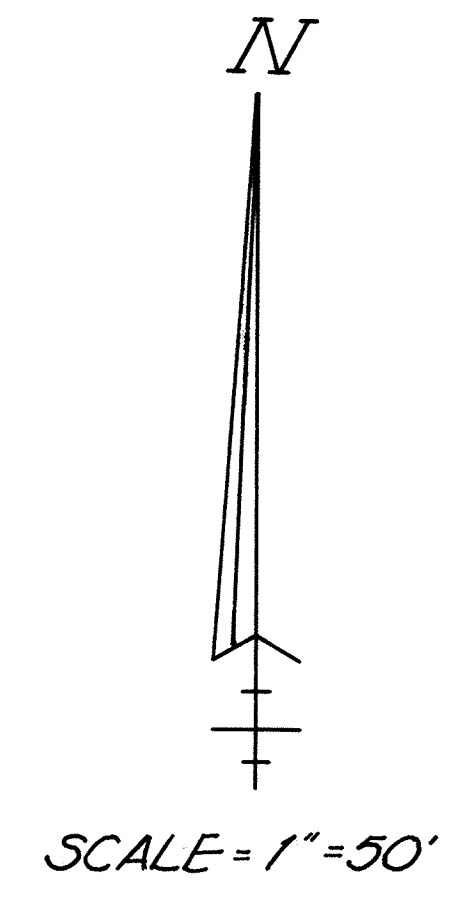
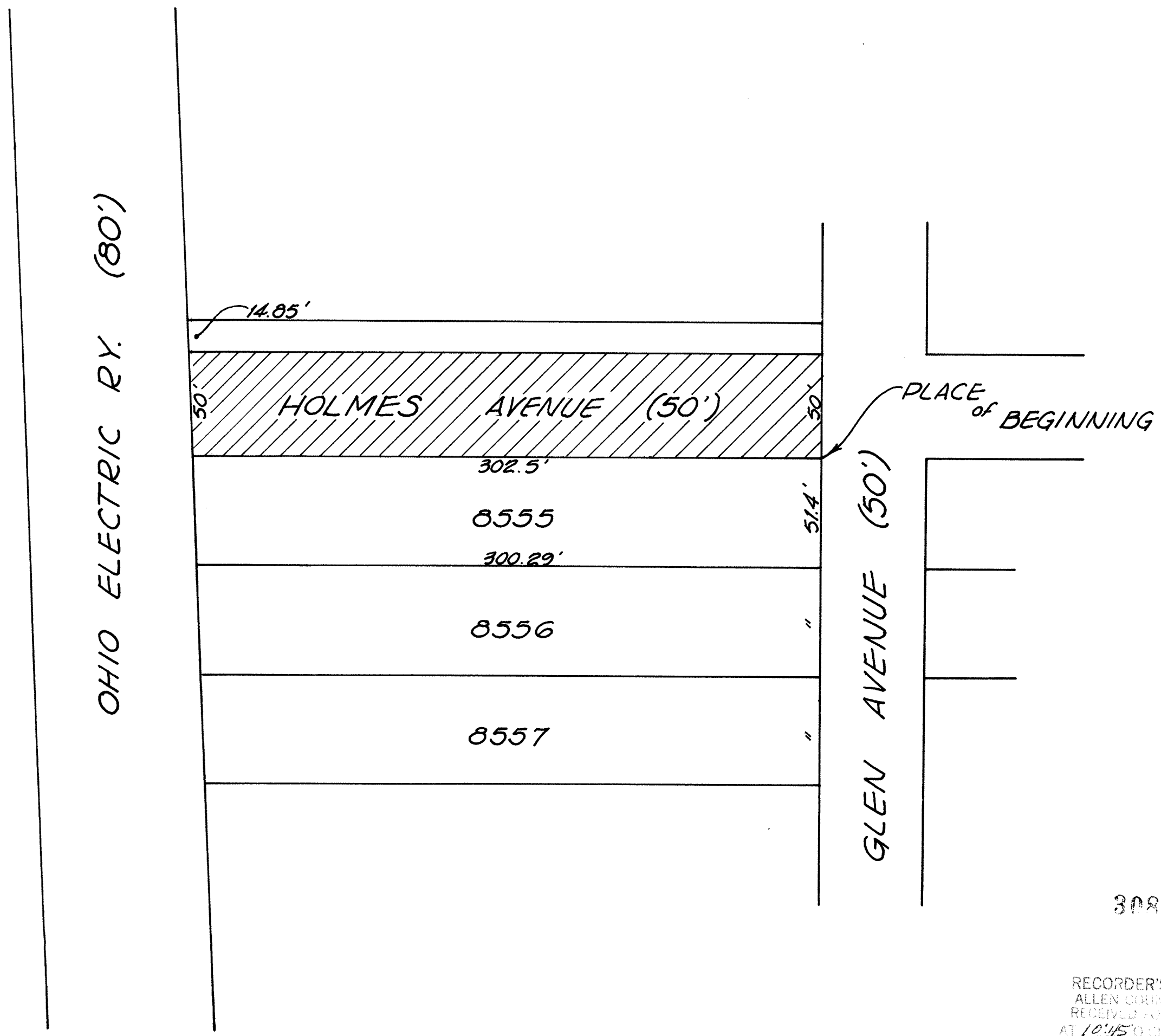
NO. 307918
FILED FOR RECORD, THIS 12th DAY OF December, 1973, AT 2:32 O'CLOCK P. M. IN THE OFFICE OF THE ALLEN COUNTY RECORDER, AND RECORDED IN PLAT BOOK 13 PAGE 30.

FEE \$ 8.30

Bernice Montague
ALLEN COUNTY RECORDER

SHELDON & ASSOCIATES, INC.
1430 NORTH COLE STREET
LIMA, OHIO

STREET VACATION



A 50' street located immediately north of and adjacent to Lot # 8555 in Webb Companies Sub-Division (Recorded in Plat Book 3, Page 267, Allen County Recorder's Office) and more particularly described as follows:
 Beginning at the northeast corner of Lot #8555; thence westerly with the north line of said lot a distance of 302.50 feet, to the northwest corner of said Lot #8555; thence northerly following the east line of a certain parcel of land owned by the Ohio Power Company by deed recorded in Volume 505, Page 657, etal, Allen County deed records, a distance of 50 feet to a point; thence easterly parallel to the north line of Lot #8555 to the intersection of the extension of the west line of Glen Avenue, as platted in the above mentioned sub-division; thence southerly a distance of 50 feet to the place of beginning.

308719

Theodore A. Metzger
 Reg. Surveyor 8514

*For Resolution to Vacate Street
 See Deed Vol. 546 Page 546.*

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED AND RECORDED
 AT 10:45 O'Clock a.m.

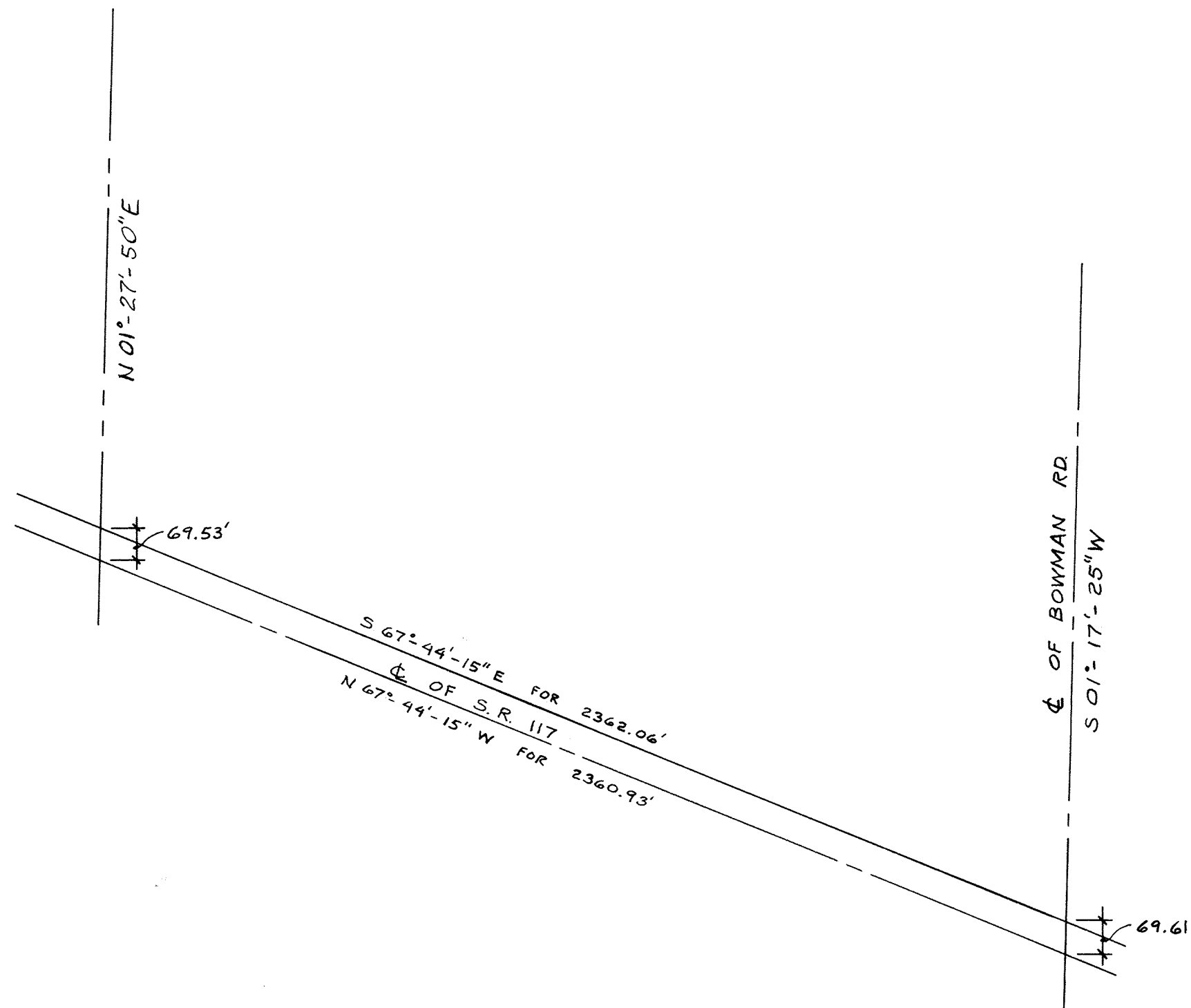
JAN 24 1974

RECORDED Jan 24 1974
 Plat VOL 13 PAGE 32
Lorraine Montague
 RECORDER
 Fee \$8.00 *W.J.P.K.*



KOLHI & KALHER ASSOC., LTD.
 ENGINEERS & SURVEYORS

DEDICATION OF PUBLIC RIGHT-OF-WAY
SECTION 4, T.4S. R.7E.
PERRY TOWNSHIP, ALLEN COUNTY, OHIO
S.R. 117



COUNTY RECORDER'S CERTIFICATE

No. 309430
Filed for record in the Allen County, Ohio, Recorder's Office this 19th day of February, 1974 at 9:59 o'clock, A. M.
Fec: \$ no chg
Plat Book No. 13, Page 33.
Bernice Montague
Recorder of Allen County, Ohio
Betty Kinzle
Deputy

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 19th day of Feb., 1974.
Richard L. Ditto
Auditor of Allen County, Ohio

For Resolution of Dedication of Strips of Land
See Deed Vol. 547 Page 315.

The following is the description for the parcel of land hereby dedicated to the Ohio Department of Transportation:

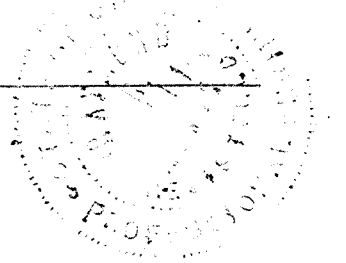
This parcel is a strip of land off the south end of the Allen County Fairgrounds property and is described as follows:

Situated in the County of Allen, Perry Township, Section 4, Northeast Quarter (1/4) and Southeast Quarter (1/4), Township-4-South, Range-7-East, and more particularly described as follows:

BEGINNING at a point where the existing centerline of State Route 117 intersects with the existing centerline of Bowman Road; thence North 67 degrees 44 minutes 15 seconds West and along the existing centerline of State Route 117, a distance of 2,360.93 feet to a point in the west property line of said Grantor; thence North 01 degree 27 minutes 50 seconds East and along the west property line of said Grantor, a distance of 69.53 feet to a point; thence South 67 degrees 44 minutes 15 seconds East and parallel with the existing centerline of State Route 117, a distance of 2,362.06 feet to a point in the existing centerline of Bowman Road; thence South 01 degree 17 minutes 25 seconds West and along the existing centerline of Bowman Road, a distance of 69.61 feet to the place of beginning and containing 3.524 acres of land more or less.

I hereby certify that I supervised the preparation of the above captioned description from plans of the Allen County Engineer's Office and to the best of my knowledge it is true and correct.

Raymond B. Kohli
Raymond B. Kohli, P. E.
ALLEN COUNTY ENGINEER



DEDICATION

The Board of Commissioners of Allen County, Ohio owner of the land contained in the hereon plat, hereby dedicate the described land to the use and benefit of the public for State Highway right-of-way purposes forever, in accordance with the provisions of O. R. C. 5553.31.

In Witness Whereof, the undersigned Board of Commissioners of Allen County, Ohio, hereby, on behalf of said County, has hereunto signed their names this 17th day of January, 1974.

Witness: Ralph E. Steiner
James R. Reaman

James T. Shafer
James T. Shafer, Chairman
Richard E. Thompson
Richard E. Thompson
Robert L. Townsend, Jr.
Robert L. Townsend, Jr.

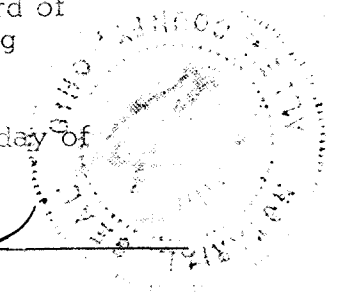
ACKNOWLEDGEMENT

State of Ohio
Allen County, ss

Before me, a Notary Public in and for said state and county, appeared the honorable Board of Commissioners of Allen County, Ohio, who acknowledged that they did sign the foregoing dedication and that same was their free act and deed.

In Witness whereof, I have hereunto set my hand and seal this 17th day of January, 1974.

Mary L. Lucas
Notary Public, State of Ohio
MARY L. LUCAS, Notary Public
In and for Allen County, Ohio
My Commission Expires September 11, 1978



Acceptance by the Director, Ohio Department of Transportation:

J. Phillip Richley
by: Henry C. Shepherd 1-21-74
Henry C. Shepherd Date
District Deputy Director

APPROVAL OF CITY PLANNING COMMISSION

I, the undersigned, Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City and said Commission, approve and accept this plat this 14th day of February, 1974.

Harry Wayne
Mayor of the City of Lima, Ohio
Chairman of City Planning Commission

LAUREL OAKS #9

IN THE S.W. 1/4 OF SECTION 17,
T3S-R6E, AMERICAN TOWNSHIP,
ALLEN COUNTY, OHIO

CERTIFICATION BY SURVEYOR

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN JANUARY, 1974 AND ALL MARKERS ARE OR WILL BE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE BY SIX (6) MONTHS FROM THE DATE OF RECORDING OF THE PLAT.

BEGINNING AT THE S.E. CORNER OF LOT #561 IN LAUREL OAKS SUBDIVISION #3, AS RECORDED IN PLAT BOOK 11, PAGE 228 IN THE ALLEN COUNTY RECORDER'S OFFICE; THENCE FROM THIS PLACE OF BEGINNING ALONG THE EASTERLY LINES OF LAUREL OAKS SUBDIVISION #3 WITH THE FOLLOWING COURSES: DUE NORTH, 150.00 FEET, S. 89° 48' E., 100.00 FEET, DUE NORTH, 360.00 FEET, S. 89° 48' E., 90.00 FEET, N. 68° 0' E., 185.00 FEET, N. 49° 09' 55" E., 200.53 FEET, N. 19° 30' E., 170.00 FEET; THENCE S. 89° 15' 41" E., 97.90 FEET TO THE WESTERLY LINE OF LAUREL OAKS #8; THENCE ALONG THE WESTERLY LINES OF LAUREL OAKS #8 WITH THE FOLLOWING COURSES: S. 14° 42' 36" E., 286.07 FEET, S. 0° 21' 28" E., 373.93 FEET, S. 17° 31' 26" E., 200.00 FEET, S. 72° 28' 34" W., 78.00 FEET; THENCE S. 62° 49' 43" W., 370.73 FEET; THENCE S. 82° 42' 55" W., 333.00 FEET; THENCE N. 87° 05' 09" W., 215.18 FEET; THENCE N. 0° 04' 42" W., 16.99 FEET; THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 384.26 FEET, THE CHORD OF WHICH IS N. 3° 34' 27" W., 48.95 FEET; THENCE N. 7° 13' 36" W., 132.45 FEET TO THE SOUTH LINE OF LAUREL OAKS SUBDIVISION #3; THENCE S. 89° 48' E. ALONG SAID SOUTH LINE, 166.00 FEET TO THE S.E. CORNER OF LOT #561 AND THE PLACE OF BEGINNING.

CONTAINING IN ALL 13.21 ACRES.

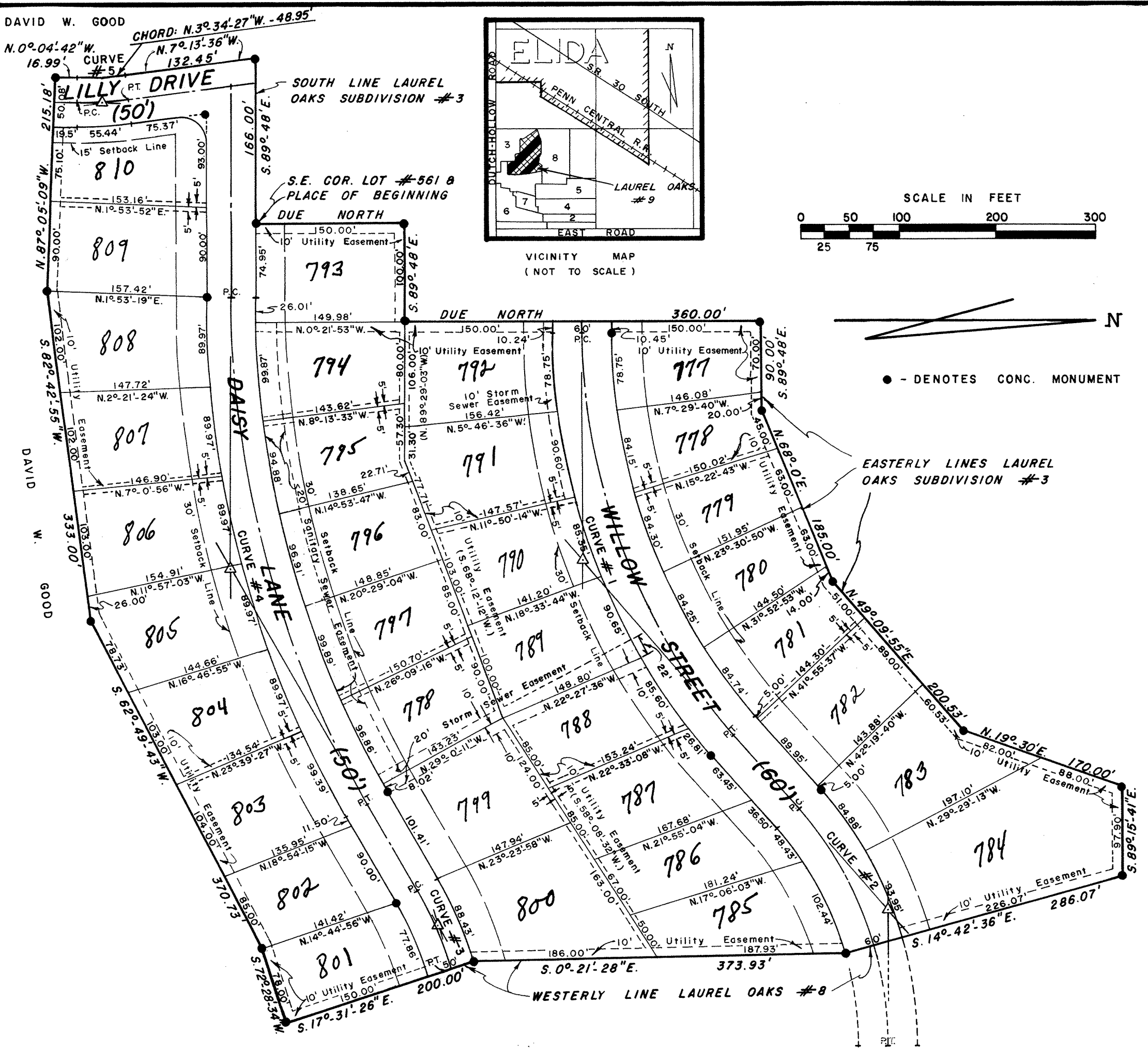
NOTE: ALL BEARINGS REFER TO LAUREL OAKS SUBDIVISION #3 AS RECORDED IN PLAT 11, PAGE 228, IN THE ALLEN COUNTY RECORDER'S OFFICE.

Albert O. Weisman
ALBERT O. WEISMAN
REG. SURVEYOR #6037



CURVE #1	CURVE #2	CURVE #3	CURVE #4	CURVE #5
Δ - 41°-17'-35"	Δ - 41°-00'-00"	Δ - 12°-30'-42"	Δ - 30°-17'-35"	Δ - 7°-18'-18"
D - 9°-25'-12"	D - 15°-54'-37"	D - 14°-52'-56"	D - 5°-38'-57"	D - 14°-00'-00"
R - 607.85'	R - 360.00'	R - 384.97'	R - 1014.21'	R - 409.26'
T - 229.04'	T - 134.60'	T - 42.20'	T - 274.54'	T - 26.11'
L - 438.08'	L - 257.61'	L - 84.07'	L - 536.23'	L - 52.18'

NOTE: ALL STREET CORNER INTERSECTIONS TO HAVE 30.00' RADII.
RESTRICTIONS AS RECORDED IN LAUREL OAKS SUBDIVISION #1, APPLY TO THIS PLAT.



OWNERS DEDICATION AND ACKNOWLEDGEMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN HEREON COMPRISING A TOTAL OF 2.26 ACRES, TO THE PUBLIC USE FOREVER. EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, OR OTHER UTILITY LINES OR SERVICES, AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

WITNESS *Thomas C. Hubbard*
Anna M. Good

OWNER *David W. Good*
Anna M. Good

STATE OF OHIO
S.S.
ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS 18th DAY OF Feb 1974, PERSONALLY CAME THE SAID OWNERS, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Thomas C. Hubbard
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO
MY COMMISSION EXPIRES MAY 26, 1977.

APPROVAL BY THE PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE LIMA-ALLEN COUNTY REGIONAL PLANNING COMMISSION ON Jan 31 1974 THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THIS APPROVAL.

CERTIFIED *Carl Steffen*
DIRECTOR, LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

LIMA-ALLEN COUNTY GENERAL HEALTH DISTRICT
I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE LIMA-ALLEN COUNTY GENERAL HEALTH DISTRICT.

Lowell Welker
DIRECTOR, LIMA-ALLEN COUNTY
GENERAL HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS TRANSFERRED ON Feb. 19, 1974.

Richard D. Ditt
ALLEN COUNTY AUDITOR

#309452

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Feb. 19, 1974, AND THAT IT WAS RECORDED ON Feb. 19, 1974 IN VOL. 13, PAGE 34, PLAT RECORDS OF ALLEN COUNTY, OHIO FEE \$ 8.50

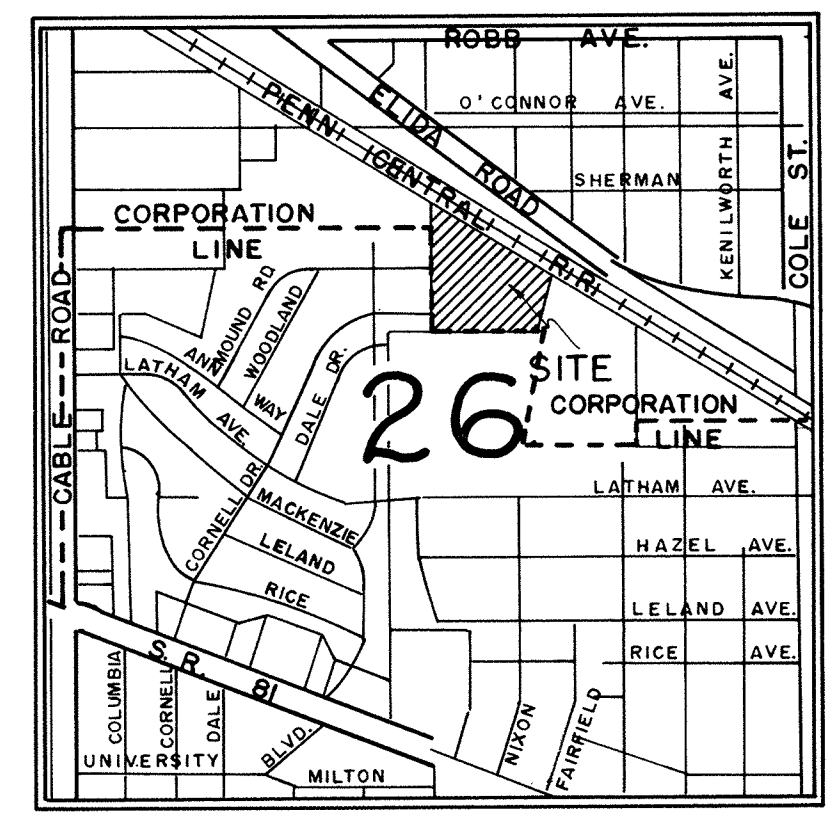
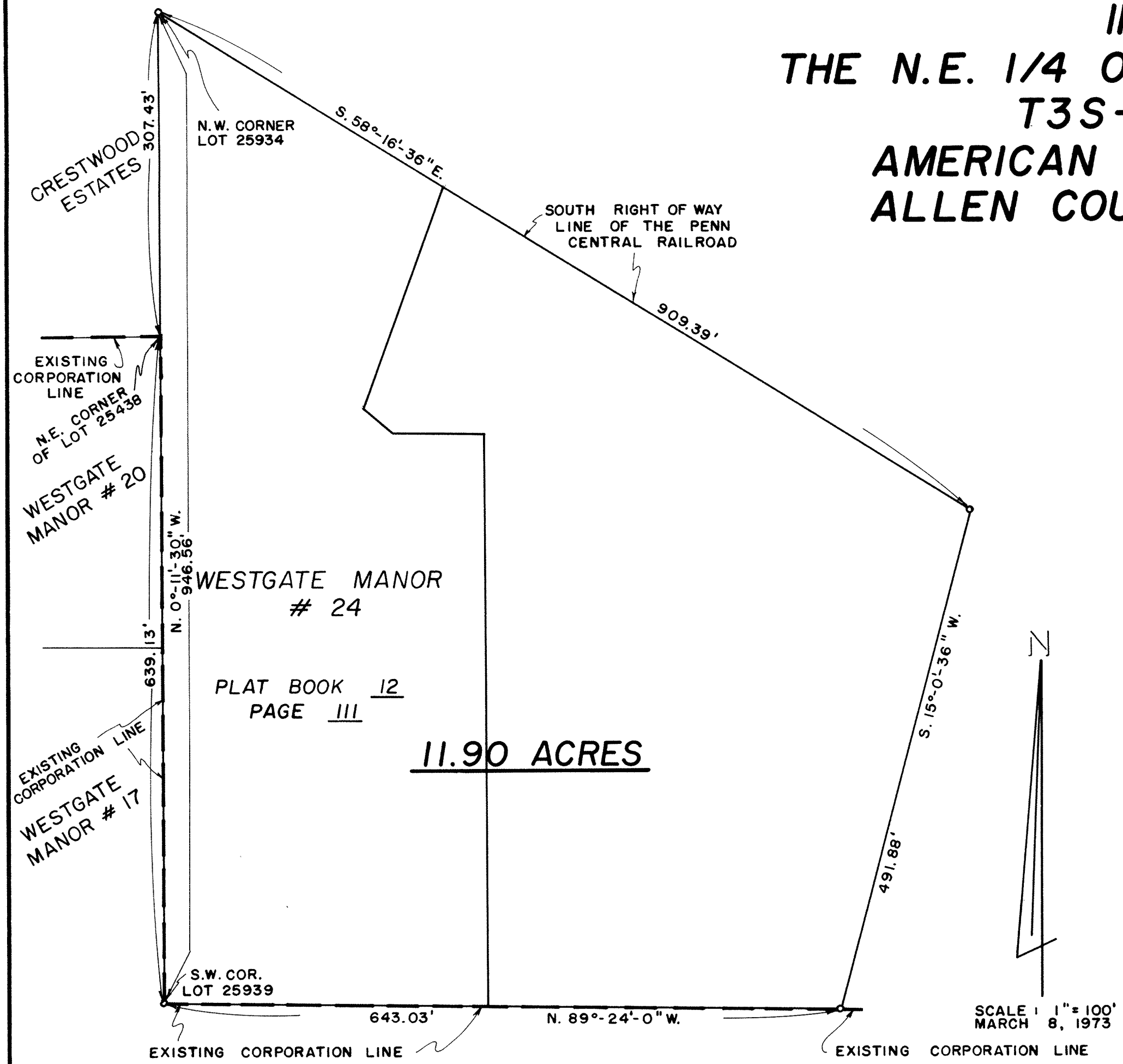
Bernice Montague
ALLEN COUNTY RECORDER *By Betty Kenneth, Deputy*

ACCEPTANCE BY COUNTY ENGINEER

DEDICATION OF THE LAND SHOWN ON THIS PLAT FOR STREETS, ROADS, OR OTHER PUBLIC PURPOSES IS HEREBY ACCEPTED AS OF _____, 19____.

ALLEN COUNTY ENGINEER

ANNEXATION PLAT OF A TRACT OF LAND IN THE N.E. 1/4 OF SECTION 26, T3S-R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO



SCALE 1" = 100'
MARCH 8, 1973

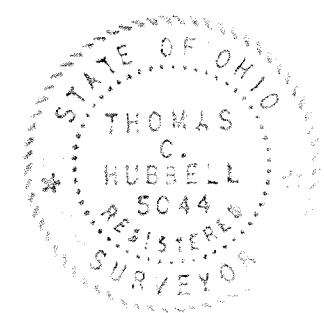
DESCRIPTION

BEING A TRACT OF LAND IN THE N.E. 1/4 OF SECTION 26, T3S-R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO AND BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.W. CORNER OF LOT 25939 AS PLATTED IN WESTGATE MANOR # 24, PLAT BOOK 12, PAGE III IN THE ALLEN COUNTY RECORDERS OFFICE; THENCE N.0°-11'-30"W. ALONG THE WEST LINE OF WESTGATE MANOR # 24 AND THE EXISTING CORPORATION LINE OF THE CITY OF LIMA FOR 639.13 FEET TO THE N.E. CORNER OF LOT 25438 AS PLATTED IN WESTGATE MANOR # 20, PLAT BOOK 11, PAGE 79 IN THE ALLEN COUNTY RECORDERS OFFICE; THENCE CONTINUING N.0°-11'-30"W. ALONG THE WEST LINE OF WESTGATE MANOR # 24 FOR 307.43 FEET TO THE N.W. CORNER OF LOT 25934 AND THE SOUTH RIGHT OF WAY LINE OF THE PENN CENTRAL RAILROAD; THENCE S. 58°-16'-36"E. ALONG SAID RIGHT OF WAY LINE FOR 909.39 FEET; THENCE S. 15°-0'-36"W. FOR 491.88 FEET TO THE EXISTING CORPORATION LINE OF THE CITY OF LIMA; THENCE N.89°-24'-0"W ALONG SAID CORPORATION LINE FOR 643.03 FEET TO THE PLACE OF BEGINNING.

CONTAINING IN ALL 11.90 ACRES

Thomas C. Hubbell
THOMAS C. HUBBELL
REG. SURVEYOR # 5044



309542

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 3:07 O'CLOCK

FEB 21 1974

RECORDED Feb 21 1974
Plat VOL 13 PAGE 35
Bernice Matyque
RECORDER
Fee 42.00

SHELDON & ASSOCIATES
1430 N. COLE
LIMA, OHIO

#309542

BEFORE THE BOARD OF COUNTY COMMISSIONERS ALLEN COUNTY, OHIO 1.

Received 3-29-73
1:55 P.M. R.C.
Richard L. Ditto Co. Auditor

PETITION

TO: THE HONORABLE BOARD OF COUNTY COMMISSIONERS
Allen County, Ohio.

Gentlemen:

Comes now the undersigned owners of real estate adjacent to the City of Lima, Ohio, and pursuant to the provisions of Revised Code 709.01 - 709.11, respectfully state:

1. That the undersigned Petitioners are the owners of the real estate adjacent to the City of Lima, as described in the description and accurate plat of the territory attached hereto and marked as Exhibit "A" which territory Petitioners request be annexed to the City of Lima;
2. That all the territory as described in Exhibit "A" is in American Township, Allen County, Ohio;
3. That said territory is adjacent to and contiguous to the City of Lima, and is not a part of any incorporated town or territory;
4. That there are three (3) owners of real estate in the territory described in Exhibit "A";
5. That the owners are those seized of a freehold estate as defined in Revised Code 709.02;
6. That one hundred percent (100%) of the owners of the real estate in subject territory have joined in this Petition;
7. That Robert Tait, Attorney at Law, 607 Savings Bldg., Lima, Ohio, has been designated by the Petitioners to act as their Agent in these proceedings.

RESPECTFULLY SUBMITTED,
 CRITERION HOMES, INC., AN Ohio corporation,
 By /s/ Walter H. Ziegler, Jr.
 /t/ Walter H. Ziegler, Jr., President

 /s/ John L. Coffield
 /t/ John L. Coffield

 /s/ Marie M. Coffield
 /t/ Marie Coffield

 OWNERS

 /S/ Robert Tait
 /t/ Robert Tait of
 Meredith, Meredith, Tait & Basinger
 Agent for Petitioners

ALLEN CO. COMMISSIONERS
 RECEIVED
 MAR 26 1973
 3:40 P.M.
 RECEIVED
 LIMA, - OHIO

2
 County Commissioners' Office
 Allen County, Ohio
 March 28, 1973 #141-73

RE: SET HEARING DATE FOR ANNEXATION OF TERRITORY IN AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO, TO THE CITY OF LIMA, OHIO, ROBERT TAIT, ATTORNEY AT LAW, AGENT FOR PETITIONERS, JUNE 4, 1973 AT 10:30 A.M., COUNTY COMMISSIONERS OFFICE.

The Board of County Commissioners of Allen County, Ohio, met in adjourned regular session on the 28th day of March, 1973, with the following members present: Richard E. Thompson, James T. Shafer and Robert L. Townsend, Jr.

Mr. Townsend moved the adoption of the following:

RESOLUTION

WHEREAS, on March 26, 1973, a petition was filed for the annexation of certain territory located in American Township, Allen County, Ohio, to the City of Lima, Ohio, wherein Robert Tait is designated as agent for the Petitioners, which was presented to the Board of Allen County Commissioners at a meeting following the receipt thereof; and

WHEREAS, the territory petitioned for annexation to the City of Lima, Ohio, by said petition is described as being a tract of land in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio, containing Eleven and Ninety Hundredths (11.90) acres more or less, and more particularly described in Exhibit A attached to said Petition; now

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of Allen County, Ohio, that the 4th day of June, 1973, at 10:30 A.M. in the County Commissioners' Office in the Allen County Court House, Lima, Ohio, be the date, time and place for holding the hearing on said petition. This action is taken in compliance with Section 709.031 Ohio Revised Code; and be it further

RESOLVED, that the Clerk of this Board shall cause said petition for annexation together with exhibit to be filed in the Office of the Allen County Auditor and said petition shall be entered in the records of this Board, pursuant to Section 709.03 Ohio Revised Code; and be it further

RESOLVED, that in accordance with Section 709.031 of the Revised Code of Ohio, the Clerk of the Board of County Commissioners is hereby directed to communicate with the agent of the petitioners, Robert Tait, informing him, by letter, of the date, time and place of said hearing. Notice is to be given as provided by law, Section 709.031 of the Revised Code of Ohio, by the agent for the petitioners.

Mr. Shafer seconded the Resolution and the roll being called upon its adoption, the vote resulted as follows: Mr. Thompson, Yes; Mr. Shafer, Yes and Mr. Townsend, Yes.

Adopted this 28th day of March, 1973.

/S/ Margaret Bowdle
 /T/ (Mrs.) Margaret Bowdle
 Clerk of Board

JR. 70 PAGE 59

BOARD OF COUNTY COMMISSIONERS
 ALLEN COUNTY, OHIO

/s/ Richard E. Thompson

/s/ James T. Shafer

/s/ Robert L. Townsend, Jr.

3.

LAW OFFICES
 MEREDITH, MEREDITH, TAIT & BASINGER Telephone
 607 Savings Building (419) 228-6365
 Lima, Ohio 45801

Harry R. Meredith
 Harold J. Meredith
 Robert Tait
 Malcolm D. Basinger
 James E. Meredith
 Richard E. Meredith

March 26, 1973

Clerk of the City Council
 Hall of Justice
 Lima, Ohio

Re: 11.9 acres in Section 26
 American Township, Allen County, Ohio

Dear Sir:

Enclosed is a copy of the Petition to annex certain property in Section 26, American Township, Allen County, Ohio, to the City of Lima, Ohio, which Petition was filed with the Allen County Commissioners on March 26, 1973.

Very truly yours,

MEREDITH, MEREDITH, TAIT & BASINGER

BY: /s/ Robert Tait

RT/sr
 Enclosure

CERTIFIED MAIL
 RETURN RECEIPT REQUESTED

4.

LAW OFFICES
 MEREDITH, MEREDITH, TAIT & BASINGER Telephone
 607 Savings Building (419) 228-6365
 Lima, Ohio 45801

Harry R. Meredith
 Harold J. Meredith
 Robert Tait
 Malcolm D. Basinger
 James E. Meredith
 Richard E. Meredith

April 12, 1973

Clerk of the City Council
 Hall of Justice
 Lima, Ohio

RE: 11.9 acres in Section 26
American Township, Allen County, Ohio

Dear Sir:

Enclosed you will find a copy of the legal notice by the Commissioners of Allen County, Ohio, setting the public hearing on the Petition for Annexation to the land described in the notice for June 4, 1973, at 10:30 A.M. in the office of the Board of Allen County Commissioners, Court House, Lima, Ohio.

Very truly yours,

MEREDITH, MEREDITH, TAIT & BASINGER

BY: /s/ Robert Tait

RT/sr

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

C
O
P
Y
Mr. Raymond R. Kohli
Allen County Engineer
Box 1138
Lima, Ohio 45802
Attention: Mr. Ralph Steiner

MARCH 29, 1973

Gentlemen:

Enclosed is a copy of Petition for Annexation with plat attached concerning the proposed annexation of territory in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio, to the City of Lima, Ohio, whereon Robert Tait, Attorney at Law, is designated by the Petitioners to act as Agent.

Please check the validity of the signatures and verify the accuracy of the plat of the territory and description set forth in said petition, as provided in Section 709.031 Ohio Revised Code.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/t/ (Mrs.) Margaret Bowdle,
Clerk of Board

Enc.
cc:file
transcript file

mb

Telephone 228-3196

RAYMOND R. KOHLI, P.E.
Allen County Engineer
P.O. Box 1138
1501 North Sugar Street
Lima, Ohio 45802

March 30, 1973

Board of Allen County Commissioners
Allen County Court House
Lima, Ohio 45801

Re: Your Letter 3/29/73 Annexation
of 11.90 Acres of Land in Section
26, American Township to the
City of Lima, Ohio

Gentlemen:

We have verified the information contained in the above mentioned petition.

The statements relative to location, property ownership and percentage of owners joining in said petition appear to be correct.

The engineers-description and plat are prepared in a satisfactory manner and the area is immediately adjacent to the existing corporation of Lima along the south and west boundaries of the territory sought to be annexed.

Petition and plat returned to your office with this letter.

Yours very truly,

/s/ Raymond R. Kohli-RES
/t/ Raymond R. Kohli, P.E.
Allen County Engineer

RRK/RES:ds

Enclosure

cc: Raymond R. Kohli
Robert Tait, Attorney
File

ALLEN CO. COMMISSIONERS
RECEIVED
Mar 30 1973
RECEIVED
Lima, - Ohio

NOTED:
RET

April 3, 1973

C
O
P
Y
Mr. Robert Tait
Attorney at Law
607 Savings Building
Lima, Ohio

Dear Mr. Tait,

This letter is being directed to you as agent for the petitioners seeking annexation of territory located in the N.E. 1/4 Section 26, T3S-R6E, American Township, Allen County, Ohio, to the City of Lima.

The Board of Allen County Commissioners adopted Resolution #141-73, on March 28, 1973, fixing June 4, 1973, at 10:30 A.M., in the office of this Board, Allen County Court House, Lima, Ohio, as the date, time and place for the holding of the hearing on this annexation petition.

This Board-requests that you furnish this office with three copies of the proof of publication, together with three copies of your affidavit attesting that your notification was given to the clerk of the legislative authority of the municipal corporation and the clerk of the township affected by the proposed annexation.

A copy of Resolution #141-73 is enclosed for your records.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/t/(Mrs.) Margaret Bowdle,
Clerk of Board

Enc.
cc: transcript file
file

mb

BEFORE THE BOARD OF COUNTY COMMISSIONERS, ALLEN COUNTY, OHIO

RE: 11.9 acres in the NE 1/4
of Section 26, T3S-R6E,
American Township, Allen
County, Ohio.

A F F I D A V I T

State of Ohio)
) SS:
County of Allen)

Robert Tait, being first duly sworn, says that he is the Agent for the Petitioner in connection with the proposed annexation of the territory as described in the caption hereof and that attached to, marked as Exhibit "A", and incorporated in this Affidavit by reference are three (3) copies of the Proof of Publication of the Legal Notice regarding said annexation as was published in the Lima News for four (4) consecutive weeks.

Affiant further says that on March 27, 1973, as shown by the copies of the return receipts attached hereto and marked as Exhibit "B", the Clerk of the American Township Trustees and the Clerk of the City Council of Lima, Ohio, were notified that the Petition to annex the subject property was filed with the Allen County Commissioners on March 26, 1973.

Attached hereto and marked as Exhibit "C" are Xerox copies of the return receipts executed by the Clerk of the American Township Trustees and the Clerk of the City Council of Lima, Ohio, for the transmittal to them of the copies of the Legal Notice as was published in the Lima News giving the Clerk of the legislative authorities of the City of Lima and American Township notice of the proposed annexation.

Further Affiant saith naught.

/s/ Robert Tait
/t/ Robert Tait

Sworn to before me and subscribed to in my presence this 16th day of May, 1973.

/s/ Malcolm D. Basinger
Notary Public, Allen County, Ohio

Sender: Be sure to follow instructions on other side
Please Furnish Service(s) Indicated by Checked Blocks(s)
(Additional charges required for these services)

Show to whom, date and address where delivered Deliver Only to addressee

RECEIPT
Received the numbered article described below
Registered No. Signature Or Name of Addressee (Must always be filled in)
X Clerk of Council
Certified No. 1 Signature of Addressee's Agent, If Any
429707 /s/ 2 M. Griffith
Insured No. Show Where Delivered (Only if requested, and include Zip Code)
X 3
Date Delivered
3/27/73

Sender: Be sure to follow instructions on other side
Please Furnish Service(s) Indicated by Checked Block(s)
(Additional charges required for these services)

Show to whom, date and address where delivered Deliver only to addressee

RECEIPT
Received the numbered article described below
Registered No. Signature or Name of Addressee (Must always be filled in)
X /s/ 1 Rita M. Brown
Certified No. Signature of Addressee's Agent, if Any
* 429708 2 X
Date Delivered Show Where Delivered (Only if requested, and include ZIP Code)
3-27-73 3 X
* Insured No. ??

Sender: Be sure to follow instructions on other side
Please Furnish Services(s) Indicated by Checked Block(s)
(Additional charges required for these services)

Show to whom, date and address where delivered Deliver Only to addressee

RECEIPT
Received the numbered article described below
Registered No. Signature or Name of Addressee (Must always be filled in)
X Clerk of Council
Certified No. 1 Signature of Addressee's Agent, if any
429709 2 /s/ M. Griffith
Insured No. Show Where Delivered (Only if requested, and include Zip Code)
X 3
Date Delivered
4/16/73 X

Sender: Be sure to follow instructions on other side
Please Furnish Service(s) Indicated by Checked Block(s)
(Additional charges required for these services)

Show to whom, date and address where delivered Deliver Only to addressee

RECEIPT
Received the numbered article described below
Registered No. Signature or Name of Addressee (Must always be filled in)
X 1 /s/ Rita M Brown

Certified No.

429710 2 X
Insured No. Signature of Addressee's Agent, if Any

X
Date Delivered 3 Show Where Delivered (Only if requested, and include Zip Code)
April 16 1973 X

9. "A"

LEGAL NOTICE

Before the Board of County Commissioners of Allen County, Ohio.
Notice is hereby given that a petition has been filed with the Allen County Board of Commissioners on March 26, 1973, for the annexation of the following described territory to the City of Lima, Allen County, Ohio, pursuant to Ohio Revised Code, Section 709.01 to 709.11 inclusive:

Being a tract of land in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio, and being further described as follows:

Beginning at the S.W. corner of Lot 25939 as platted in Westgate Manor No. 24, Plat Book 12, Page 111 in the Allen County Recorders Office, thence N. 0 degrees 11'-30"W. along the West line of Westgate Manor No. 24 and the existing corporation line of the City of Lima for 639.13 feet to the N.E. corner of Lot 25438 as platted in Westgate Manor No. 20, Plat Book 11, Page 70 in the Allen County Recorders Office; thence continuing N. 0 degrees-11'-30" W. along the West line of Westgate Manor No. 24 for 307.43 feet to the N.W. corner of Lot 25934 and the South right of way line of the Penn Central Railroad thence S. 58 degrees-16'-36" E. along said right of way line for 909.39 feet; thence S.15 degrees-0'-36" W. for 491.88 feet to the existing corporation line of the City of Lima; thence N. 89 degrees-24'-0" W. along said corporation line for 643.03 feet to the place of beginning.

Containing in all 11.90 acres.

Pursuant to a Resolution adopted by the Allen County Board of Commissioners, a hearing will be held on said petition on June 4, 1973, at 10:30 A.M. in the County Commissioners' Office in the Allen County Court House, Lima, Ohio

By: Robert Tait
Allen County, Ohio
Resolution No. 141-73
Attorney for Petitioners
Commissioners Office
Legal No. 360-April 10, 17, 24, May 1, 1973 4ts.

THE STATE OF OHIO, ALLEN COUNTY, SS:

Leo J. Otto, being sworn says that (he) is Bookkeeper of the Lima News, publishers of The Lima News, a newspaper printed in said County, and of general circulation throughout said County and State; and that said newspaper has a bona fide circulation of more than twenty-five thousand at the time this advertisement, notice or proclamation was published; that the notice, of which the annexed is a true copy, was for Four consecutive weeks published in said newspaper, beginning on the 10th day of April, A.D. 1973.

/s/ Leo J. Otto

Sworn to before me and subscribed before me this 7th day May, A.D. 1973.

/s/ Nancy L. Pratt
Notary Public, Allen County, Ohio

3M 3-72

Printer's fee \$43.20

\$43.20

NANCY L. PRATT, Notary Public
In and for Allen County, Ohio
My Commission Expires July 14, 1977

Lima

10

County Commissioners' Office
Allen County, Ohio
June 20, 1973 -285-73

RE: ORDER ON PETITION FOR ANNEXATION OF TERRITORY IN AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO,
TO THE CITY OF LIMA, OHIO, ROBERT TAIT, AGENT FOR PETITIONERS

The Board of County Commissioners of Allen County, Ohio, met in adjourned regular session on the 20th day of June, 1973 with the following members present: Richard E. Thompson; James T. Shafer and Robert L. Townsend, Jr.

Mr. Shafer moved the adoption of the following:

RESOLUTION

WHEREAS, on March 26, 1973, a petition was filed for the Annexation of Eleven and Ninety Hundredths (11.90) acres more or less, in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio, wherein Robert Tait is designated as agent for the Petitioners, which was presented to the Board of Allen County Commissioners of Allen County, Ohio; and

WHEREAS, on the 28th day of March, 1973, in accordance with Section 709.031 Revised Code of Ohio, the Board of County Commissioners by Resolution #141-73 did set the 4th day of June, 1973 at 10:30 A.M. as the time and the County Commissioners' Office in the Allen County Court House, Lima, Ohio, as the place for hearing the said petition; and

WHEREAS, on the 29th day of March, 1973, the Clerk of said Board did cause the said petition to be entered upon the record of proceedings of the Board and did cause said petition to be filed in the office of the County Auditor; and

WHEREAS, SAID Board of County Commissioners did refer the description and plat of the territory sought to be annexed to the County Engineer for a report on the accuracy thereof and the County Engineer did make a report in writing to the Board upon his findings; and

WHEREAS, said agent for the petitioners did cause to be published the notice as required by Section 709.031 Ohio Revised Code, and did deliver copies of said notice as required by said section; and

WHEREAS, on the 4th day of June, 1973, at 10:30 AM. being the date and time fixed for hearing on said petition, a public hearing was held in the Office of the Allen County Commissioners. All parties present at said hearing were afforded full opportunity to present evidence on behalf of or opposed to said petition. The petitioners were presented by their Agent, Robert Tait; and

WHEREAS, at the conclusion of said hearing, the prayer of said petition was taken under advisement by said Board of County Commissioners; and

JR 71 PAGE 59

Resolution #285-73
June 20, 1973
Page 2

WHEREAS, on the 20th day of June, 1973, the petition came on for further consideration by said Board and from the petition, the report of the County Engineer, the record of the proceedings of the Board, and the evidence adduced at the public hearing on June 4, 1973, including the testimony and exhibits and the affidavits presented, the Board finds that:

- (a) The petition contains all matter required in Section 709.02 of the Revised Code.
- (b) Notice has been published as required in Section 709.031 of the Revised Code.
- (c) The persons whose names are subscribed to the petition are owners of real estate located in the territory in the petition; and as of the time the petition was filed with the Board of County Commissioners the number of valid signatures on the petition constituted a majority of the owners of real estate in the territory proposed to be annexed.
- (d) The territory included in the annexation petition is not unreasonably large; the plat is accurate; and the general good of the territory sought to be annexed will be served if the annexation petition is granted; now

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of Allen County, Ohio, that the petition presented to the Board on March 28, 1973, for the annexation of Eleven and Ninety Hundredths (11.90) acres more or less of land being a tract of land in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio, wherein Robert Tait is designated as agent for the petitioners, be and the prayer of the petition hereby is granted; and be it further

RESOLVED, that this Board does hereby order the lands described herein be annexed to the City of Lima, Ohio, and become a part hereof, as provided by law:

Being a tract of land in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio and being further described as follows:

Beginning at the S.W. corner of Lot 25939 as platted in Westgate Manor #24, Plat Book 12, Page 111 in the Allen County Recorders' Office, Thence N. 0 degrees 11'30" W. along the West line of Westgate Manor #24 and the existing corporation line of the City of Lima for 639.13 feet to the N.E. corner of Lot 25438 as platted in Westgate Manor #20 Plat Book 11, Page 79 in the Allen County Recorders Office; thence continuing N.0 degrees 11'30" W. along the West line of Westgate Manor #24 for 307.43 feet to the N.W. Corner of Lot 25934 and the South right-of-way line of the Penn Central Railroad; thence S. 58 degrees 16'36" E. along said right-of-way line for 909.39 feet; thence S. 15 degrees 0'36" W. for 491.88 feet to the existing corporation line of the City of Lima; thence N. 89 degrees 24'0" W. along said corporation line for 643.03 feet to the place of beginning.

Containing in all 11.90 acres.

JR.71 PAGE 59-A

Resolution #285-73
June 20, 1973
Page 3

BE IT FURTHER RESOLVED, that this Board deposit with the Clerk of The City of Lima, Ohio, the final transcript of these proceedings and the original petition above referred to, together with the accompanying plat for further proceedings as provided by law.

Mr. Townsend seconded the Resolution and the roll being called upon its adoption, the vote resulted as follows: Mr. Thompson, Yes; Mr. Shafer, Yes and Mr. Townsend, Yes.

Adopted this 20th
day of June, 1973

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Richard E. Thompson
/t/ Richard E. Thompson

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Mary L. Lucas
/t/ (Mrs.) Mary L. Lucas, Ass't
Clerk of Board

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

JR 71 PAGE 59-B

11

ALLEN COUNTY
1831
State of Ohio

COMMISSIONERS' OFFICE
ALLEN COUNTY
P.O. Box 1243
LIMA, OHIO 45802
-
Phone (419) 229-9015

Received 6-28-73
M. Griffith
Board of Commissioners
Richard E. Thompson
President
James T. Shafer
Vice-President
Robert L. Townsend, Jr.
Member
Margaret Bowdle
Clerk of Board

June 27, 1973

Peg Griffith, Clerk
City of Lima
Municipal Bldg.
109 N. Union
Lima, Ohio 45801

Dear Ms. Griffith:

On the 20th day of June, 1973, the Board of County Commissioners of Allen County, Ohio, granted the annexation of Eleven and Ninety Hundredths (11.90) acres of land in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio, wherein Robert Tait is designated as agent for the Petitioners.

Enclosed you will find the complete transcript file (as listed below) for further Proceedings according to law.

- (1) Petition with plat filed March 26, 1973.
- (1) Resolution #141-73, set date for Hearing--June 4, 1973, at 10:30 A.M., in County Commissioners' Office.
- (1) Copy of letter to County Engineer, dated March 29, 1973, for verification of signatures and accuracy of plat and description.
- (1) Letter from County Engineer, dated March 30, 1973, relative to accuracy of petition and plat.
- (1) Petition filed with Auditor March 29, 1973
- (1) Letter to agent, advising hearing date and designating required documents.
- (1) Affidavit from Agent attesting notification to the Clerk of the American Township Trustees and the Clerk of the City Council of Lima, Ohio.

Page 2
June 27, 1973

- (1) Affidavit relative to proof of publication x
- (1) Taken under advisement on Hearing Date of June 4, 1973.
- (1) Copy of Resolution #285-73, dated June 20, 1973, granting annexation.

You are hereby notified of the granting of the Annexation Petition of territory in 26, T3S-R6E, American Township to the City of Lima, Ohio, and requested to act according to law.

Please notify this Board of your action on said Annexation.

Very truly yours,

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Assistant Clerk of Board

ml
Enc.
cc:Robert Tait

Lima, Ohio
1831
Lima Challenges the Future Today

CITY OF LIMA, OHIO . MUNICIPAL BUILDING
LIMA, OHIO

September 4, 1973

12

Lima City Council
Hall of Justice
Lima, Ohio

Gentlemen:

In Accordance with Sec.709.04 RC, I am submitting for your consideration the petition for annexation of land located in American Township and requested by Criterion Homes.

Said petition was granted by the Allen County Commissioners upon adoption of Resolution No. 285-73 and submitted as required by law to the Clerk of the Municipal Corporation on June 28, 1973.

The petition is therefore submitted to you for acceptance or rejection at this time. A copy of the vicinity map is attached.

Number1.....
Date.....9-10.....
Moved by Ellis report
Seconded by Shrider 9-17
Received & Filed. ✓..... legislation
Referred to L.U.A.Z... authorized
Legislation Authorized
Carried8-0.....
M. Griffith, Clerk of Council

Respectfully submitted,

/s/ Margaret Griffith
/t/ Margaret Griffith, Clerk
Council of the City of Lima

Lima Metropolitan Area In The Heart of Industrial America

Introduced by Mr. Buckmaster
Councilman

13

ORDINANCE NO. 202-73

Seconded by Lusk
Councilman
Form Approved Walter M. Lawson, Jr.
Director of Law
Publication In Full ?

	VOTE	YEA	NAY
Winkler	X		
Shrider	X		
Shepherd	X		
Ellis	X		
Buckmaster	X		
Williams	X		
Lusk	X		
Poulston	X		
Total		8	0

AN ORDINANCE: ACCEPTING THE APPLICATION FOR ANNEXATION TO THE CITY OF LIMA, OHIO, OF TERRITORY ADJACENT TO SAID CITY LOCATED WITHIN AN AREA NORTH OF THE EXISTING CORPORATION LINE EAST OF CABLE ROAD AND SOUTH OF THE PENN-CENTRAL RAILROAD TRACKS IN SECTION 26, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO, AS HEREIN DESCRIBED, AND DECLARING AN EMERGENCY.

WHEREAS, on the 26th day of March, 1973, a petition by Robert Tait, As Agent , for annexation to the City of Lima, Ohio, of certain territory hereinafter described was presented to the Board of County Commissioners on the 20th day of June, 1973; and

WHEREAS, on the 28th day of June, 1973, said petition, together with an accurate map of the territory and a certified transcript of the proceedings of the Board of County Commissioners of Allen County, Ohio, were deposited and filed with the Clerk of Council of The City of Lima, Ohio; and

WHEREAS, the Clerk of Council of the City of Lima, Ohio, has laid the transcript and map before the Council of The City of Lima, Ohio, pursuant to Section 709.04 Revised Code of Ohio; and

WHEREAS, an emergency exists in that in order to preserve the public property, health and safety, it is necessary that the proposed annexation described herein be accepted immediately in order to provide police and fire protection and other municipal services to said territory at the earliest possible time, and by reason thereof this ordinance shall take effect forthwith upon its passage; Now, Therefore,

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LIMA, OHIO, TWO-THIRDS OF THE MEMBERS ELECTED THERETO CONCURRING:

Section1. That the application of Criterion Homes, Inc., an Ohio Corporation, et al, with Robert Tait as Agent, for the annexation of the following described territory located within an area north of the existing corporation line east of Cable Road and South of the Penn-Central Railroad tracks, in Section 26, American Township, Allen County, Ohio, to-wit:

Being a tract of land in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio, and being further described as follows:

Beginning at the S.W. corner of Lot 25939 as platted in Westgate Manor #24, Plat Book 12, Page 111 in the Allen County Recorders Office, thence N. 0°-11'-30" W. along the West line of Westgate Manor #24 and the existing corporation line of The City of Lima for 639.13 feet to the N.E. corner of Lot 25438 as platted in Westgate Manor #20, Plat Book 11, Page 79 in the Allen County Recorders Office; thence continuing N. 0°-11'-30" W. along the West line of Westgate Manor #24 for 307.43 feet to the N.W. corner of Lot 25934 and the South Right-

of-way line of the Penn-Central Railroad; thence S. 58°-16'-36" E. along said right of way line for 909.39 feet; thence S. 15°-0'-35" W. for 491.88 feet to the existing corporation line of The City of Lima; thence N. 89°-24'-0" W. along said corporation line for 643.03 feet to the place of beginning.

Containing in all 11.90 acres.

an accurate map of which territory, together with the petition for its annexation, and other papers relating thereto, and a certified transcript of the proceedings of the Board of County Commissioners of Allen County, Ohio, in relation thereto are on file with the Clerk of the Council of said city, be and the same is hereby accepted.

Section 2. That the territory described in Section 1 herein is hereby added to the 7th Ward of The City of Lima, Ohio.

Section 3. That the territory to be annexed has no indebtedness and therefore no apportionment of the net indebtedness of American Township by reason of said annexation is necessary.

Section 4. That in accordance with the provisions of Section 503.07 and 503.14 of the Revised Code of Ohio, the Board of County Commissioners of Allen County, Ohio, be and they are hereby respectfully petitioned and requested to change the boundary lines of American Township, The City of Lima, Ohio, by reason of said annexation of said portion of American Township hereinabove described so that the boundary lines of the City of Lima, Ohio, will be identical and include the newly annexed area within The City of Lima, Ohio.

Section 5. That in accordance with Section 709.06 of the Revised Code of Ohio, the Clerk of Council is hereby authorized and directed to prepare three copies of the petition, the map accompanying the petition, a transcript of the proceedings of the Board of County Commissioners, and Ordinances relating to the annexation herein described, with a certificate to each copy that it is correct. Such certificate shall be signed by the Clerk in her official capacity, and shall be authenticated by the seal of The City of Lima, Ohio. The Clerk shall forthwith deliver one such copy to the Auditor of Allen County, Ohio, and one copy to the Recorder of Allen County, Ohio, to make a record thereof and file and preserve it. The other copy shall be forwarded by the Clerk to the Secretary of the State of Ohio.

Section 6. That the Township zoning regulations now in effect in said annexed territory shall remain in full force as provided by O.R.C. 519.18 until the Council of The City of Lima, Ohio, shall either officially adopt the existing zoning regulations or new regulations for such territory.

Section 7. That the effective date and time of annexation to The City of Lima, Ohio, of the territory described in Section 1 herein, shall be the effective date of this ordinance upon its passage by City Council.

202-73

-two-

Section 8, That for the reasons set forth in the preamble hereto, which is made a part hereof, this ordinance is hereby declared to be an emergency measure and shall take effect forthwith, provided that it receives the affirmative vote of two-thirds of the members elected to the Council; otherwise it shall take effect and be in force from and after the earliest period allowed by law.

Passed: Sept 24, 1973

/s/ James R. Poulston
President of Council

Approved: Sept 24, 1973

/s/ Christian P. Morris
Mayor

Attest: /s/ Margaret Griffith
Clerk

202-73
Three

14
Lima, Ohio
September 24, 1973

The Council of the City of Lima met in regular session at 7:30 p.m. Attending were Christian P. Morris, Mayor; E.J. Ward, Auditor; Walter M. Lawson, Director of Law; Frank Cory, Asst. Director of Law; George Dunster, Dir. of Adm. Coordination; Rolland Smith, Director of Public Works; Paul Fleming, Director of Utilities; Richard Schroeder, Director of Planning; Robert Franklin, Director of Finance; George Kelley, Fire Chief; and Margaret Griffith, Clerk of Council.

The invocation was given by Councilman Ellis, followed by the Pledge of Allegiance to the flag.

Mr. Poulston introduced members of the Perry High School Government Class who were attending the meeting.

Roll call showed the following members present: Winkler, Shrider, Shepherd, Ellis, Buckmaster, Williams, Lusk and Poulston.

THE FOLLOWING ITEMS WERE PRESENTED ON THE CONSENT CALENDAR:

- a. Minutes of previous meeting not read, since each had received a copy;
- b. City Planning Commission Minutes of Sept. 12, 1973;
- c. Allen County Board of Health Minutes of September 7, 1973;

- d. The August, 1973 report of the Lima Fire Department;
- e. From Lima Development Corp., a request for water extension outside corporate limits, Terms & Conditions attached and approved;
- f. From Manly A. Johnson, a request for water service connection outside corporate limits, Terms & Conditions attached and approved;
- g. From United Telephone; a statement of their position on the rate increase.

It was moved by Mr. Lusk, seconded by Mr. Williams that Items "A-g" of the Consent Calendar be received, filed and approved. Motion carried 8-0.

THE FOLLOWING COMMUNICATIONS FROM THE MAYOR WERE PRESENTED:

1. From the Mayor dated Sept. 19, 1973, regarding complaints received on garage sales, porcé sales, etc., requesting consideration of Council of legislation which would control such sales. It was moved by Mr. Lusk, seconded by Mr. Buckmaster that the communication be received and filed and referred to Council's Legislative Review and Charter Revision Committee. Motion carried 8-0.
2. Dated Sept. 19, 1973, requesting legislation as an emergency to transfer funds from various accounts to other various accounts as listed in the communication. It was moved by Mr. Shepherd, seconded by Mr. Winkler that the communication be received and filed and the Director of Law authorized to prepare the necessary legislation as an emergency to comply with the request. Motion carried 8-0.
3. From the Director of Utilities dated Sept. 20, 1973, regarding a request for a sewer extension from Lima Development Corporation to serve approximately ten acres platted as Shawnee Woods. Mr. Fleming outlined the proposed use, the flow, and capacity of the existing sewer and recommended that legislation be authorized to allow the extension. It was moved by Mr. Shrider, seconded by Mr. Winkler that the communication be received and filed and the Director of Law be authorized to prepare the legislation to comply. Motion carried 8-0.
4. From the Director of Utilities dated Sept. 12, 1973, requesting legislation as an emergency which would allow the purchase of a passenger car and a panel truck for the Utilities division. It was moved by Mr. Winkler, seconded by Mr. Shrider that the communication be received and filed and referred to the Equipment

COMMUNICATIONS FROM THE MAYOR (Cont.)

9-24-73

Committee for investigation and report. Motion carried 8-0.

5. Dated Sept. 19, 1973, regarding a letter received from Judge Andrew's assistant concerning a purchasing matter. A copy of the letter was attached, which requested payment of an invoice to Perry Corporation as a moral obligation for materials ordered for their copy machine. It was moved by Mr. Shepherd, seconded by Mr. Shrider that the communication be received and filed and referred to the Finance Committee for their investigation and report. Motion carried 8-0.
6. From the Fire Chief dated Sept. 17, 1973, regarding bids which were opened for the purchase of equipment for the fire department, requesting legislation to allow the Mayor to contract for purchase of a 55 foot elevating platform from the Snorkel Fire Equipment Company. It was moved by Mr. Winkler, seconded by Mr. Shrider that the communication be received and filed and that the Director of Law be authorized to prepare the necessary legislation as an emergency to comply with the request. Motion carried 8-0.
7. From the Director of Public Works, requesting consideration by council of paying for glasses damaged by Mr. Reedval Panky while on duty with the City. It was moved by Mr. Shepherd, seconded by Mr. Ellis that the communication be received and filed and that the Director of Law be authorized to prepare the necessary legislation to comply with the request. Mr. Williams said he had discussed this with the Mayor, knew that in the past, the city had paid for broken glasses, but wondered "how far this will go". Mr. Ellis stated that the Finance Committee had turned down other requests for damage to clothing, etc., but that glasses were necessary to the worker and easily damaged. Mr. Shepherd also noted that the hose was faulty and broke which caused the damage, also referred to the fact that safety glasses were not provided by the City. Further discussion followed, and the motion carried 8-0.

THE FOLLOWING COMMUNICATION FROM OTHERS WAS PRESENTED:

1. From Mr. Max McCluer, firefighter, requesting permission to reside outside the defined limits allowed for city employment. It was moved by Mr. Ellis, seconded by Mr. Williams that the communication be received and filed and the Director of Law be authorized to prepare legislation to allow the request. Mr. Buckmaster stated he would reserve the right to vote on the legislation. Motion carried 8-0.

THE FOLLOWING REPORTS OF OFFICIALS WERE PRESENTED:

1. From the Civil Service Board, stating that after no objection from either the Mayor or the Director of Utilities, and upon completion of their investigation, that they would request changing the position of Sewer Maintenance Supervisor from page range 23 to pay range 25. It was moved by Mr. Shepherd, seconded by Mr. Shrider that the communication be received and filed and the Director of Law be authorized to prepare the necessary legislation to comply with the recommendation. Motion carried 8-0.

2. From the City Planning Commission certifying to Council the petition of Tom Askins to rezone land at 104-106 Harrison Ave. from Class I Business to Class II Business. It was moved by Mr. Buckmaster, Seconded by Mr. Lusk that the report be received and filed, the Director of Law authorized to prepare necessary legislation, the Clerk instructed to cause publication of necessary legal ad and notify abutting property owners of the Public Hearing to be held on Nov. 12, 1973 at 8:00 p.m. Motion carried 8-0.

-2-

9-24-73

REPORTS OF OFFICIALS (Cont.)

On the expansion of Askins Rezoning recommended by the CPC, it was moved by Mr. Buckmaster, seconded by Mr. Winkler that the Director of Law be authorized to prepare necessary legislation, that the Clerk be instructed to cause publication of necessary legal notice and notify abutting property owners of the Public Hearing to be held on Nov. 12, 1973, at 8:05 P.M. Motion carried 8-0.

THE FOLLOWING REPORTS OF COMMITTEES WERE PRESENTED:

Mr. Ellis reported for the Streets, Traffic and Transportation Committee on the request of Yellow and Checker cabs for a rate increase, felt request was self-explanatory and in step with the "unfortunate inflationary spirel", knew of no one opposed. He moved, seconded by Mr. Shepherd that the Director of Law be authorized to prepare the necessary legislation to amend the present code to allow for the rate increase as outlined in the request by letter submitted by the companies at the last meeting. Motion carried 8-0.

Mr. Buckmaster referred to the No. 6 fire station and acquisition of land, stating that in negotiations for land, the owner had offered the land at an acceptable price. He moved, seconded by Mr. Winkler that the Director of Law be authorized to prepare legislation to allow the Mayor to proceed with the acquiring of the land and acceptance of the bid. Motion carried 8-0.

THE FOLLOWING RESOLUTION WAS PRESENTED:

117-73. ENDORSING THE 1973 CAMPAIGN OF THE UNITED WAY OF GREATER LIMA, INC. It was moved by Mr. Williams, seconded by Mr. Lusk that the resolution be handled under suspension of rules and adopted on first reading. The Clerk read the resolution in full. Mr. Poulson commented that the United Fund was a very worthwhile fund raising effort for the better treatment of all sectors. He hoped it would be supported and backed by all members of the news media. The following vote was recorded on the suspension and adoption: yea, 8; Winkler, Shrider, Shepherd, Ellis, Buckmaster, Williams, Lusk and Poulston. Nay, none. Chair declared the resolution adopted under suspension of rules on first reading by an eight to nothing vote.

ORDINANCES, AS FOLLOWS, WERE PRESENTED:

202-73. ACCEPTING THE APPLICATION FOR ANNEXATION TO THE CITY OF LIMA, OHIO, OF TERRITORY ADJACENT TO SAID CITY LOCATED WITHIN AN AREA NORTH OF THE EXISTING CORPORATION LINE EAST OF CABLE ROAD AND SOUTH OF THE PENN-CENTRAL RAILROAD TRACKS IN SECTION 26, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO, AS HEREIN DESCRIBED, AND DECLARING AN EMERGENCY. It was moved by Mr. Buckmaster, seconded by Mr. Lusk that the ordinance be handled under suspension of rules and passed on first reading as an emergency. The following vote was recorded on the suspension, emergency and passage: Yea, 8; Winkler, Shrider, Shepherd, Ellis, Buckmaster, Williams, Lusk and Poulston. Nay, none. Chair declared the ordinance passed under suspension of rules on first reading and as an emergency by an eight to nothing vote.

THE FOLLOWING ORDINANCE WAS PLACED BY MOTION, SECONDED & CARRIED:

203-73. ACCEPTING A DEED EXECUTED BY DORTHA MAE PAULETTI CHRISTIAN TO THE CITY OF LIMA, OHIO, FOR CERTAIN REAL ESTATE DESCRIBED HEREIN AND TO DECLARE AN EMERGENCY. It was moved by Mr. Williams, seconded by Mr. Lusk that the ordinance be handled under suspension of rules and passed on first reading, as an emergency. The following vote was recorded on the suspension, emergency and passage: Yea, 8; Winkler, Shrider, Shepherd, Ellis, Buckmaster, Williams, Lusk & Poulston. Nay, none. Chair declared the ordinance passed under suspension of rules on first reading and as an emergency by an eight to nothing vote.

-3-

9-24-73

MISCELLANEOUS BUSINESS:

Mr. Buckmaster referred to the recent passage of the annexation ordinance, noting Council's need to take zoning action. He moved, seconded by Mr. Lusk that the same be referred to the City Planning Commission for their recommendation and for referral to council for their action on zoning of the newly annexed area. Motion carried eight to nothing.

THERE BEING NO FURTHER BUSINESS, It was moved by Mr. Lusk, seconded by Mr. Shepherd that the meeting be adjourned. Motion carried eight to nothing. The chair declared the meeting adjourned at 8:00 p.m.

x
Clerk of Council

X
President of Council

15
ORDINANCE NO. 202-73. ACCEPTING THE APPLICATION FOR ANNEXATION TO THE CITY OF LIMA, OHIO, OF TERRITORY ADJACENT TO SAID CITY LOCATED WITHIN AN AREA NORTH OF THE EXISTING CORPORATION LINE EAST OF CABLE ROAD AND SOUTH OF THE PENN-CENTRAL RAILROAD TRACKS IN SECTION 26, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO, AS HEREIN DESCRIBED, AND DECLARING AN EMERGENCY.

WHEREAS, on the 26th day of March, 1973, a petition by Robert Tait, as Agent, for annexation to The City of Lima, Ohio, of certain territory hereinafter described was presented to the Board of County Commissioners on the 20th day of June, 1973; and

WHEREAS, on the 28th day of June, 1973, said petition, together with an accurate map of the territory and a certified transcript of the proceedings of the Board of County Commissioners of Allen County, Ohio, were deposited and filed with the Clerk of Council of The City of Lima, Ohio; and

WHEREAS, the Clerk of Council of The City of Lima, Ohio, has laid the transcript and map before the Council of The City of Lima, Ohio, pursuant to Section 709.04 Revised Code of Ohio; and

WHEREAS, an emergency exists in that in order to preserve the public property, health and safety, it is necessary that the proposed annexation described herein be accepted immediately in order to provide police and fire protection and other municipal services to said territory at the earliest possible time, and by reason thereof this ordinance shall take effect forthwith upon its passage; Now, Therefore, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LIMA, OHIO, TWO-THIRDS OF THE MEMBERS ELECTED THERETO CONCURRING:

Section 1. That the application of Criterion Homes, Inc., an Ohio Corporation etal, with Robert Tait as agent for the annexation of the following described territory located within an area north of the existing corporation line east of Cable Road and South of the Penn-Central Railroad tracks, in Section 26, American Township, Allen County, Ohio, to-wit:

Being a tract of land in the N.E. ¼ of Section 26, T3S-R6E, American Township, Allen County, Ohio, and being further described as follows:

Beginning at the S.W. corner of Lot 25939 as platted in Westgate Manor No. 24, Plat Book 12 Page 111 in the Allen County Recorders Office, thence N. 0 degrees 11'-30" W. along the West line of Westgate Manor No. 24 and the existing corporation line of the City of Lima for 639.13 feet to the N.E. corner of Lot 25438 as platted in Westgate Manor No. 20, Plat Book 11, Page 79 in the Allen County Recorders Office; thence continuing N. 0 degrees 11'-30" W. along the West line of Westgate Manor No. 24 for 307.43 feet to the N.W. corner of Lot 25934 and the South Right-of-way line of the Penn-Central Railroad; thence S. 58 degrees 16'-36" E. along said right of way line for 909.39 feet; thence S. 15 degrees 0'-35" W. for 491.88 feet to the existing corporation line of The City of Lima; thence N. 29 degrees 24'-0" W. along said corporation line for 643.03 feet to the place of beginning. Containing in all 11.90 acres.

an accurate map of which territory, together with the petition for its annexation and other papers relating thereto, and a certified transcript of the proceedings of the Board of County Commissioners of Allen County, Ohio, in relation thereto are on file with the Clerk of the Council of said city, be and the same is hereby accepted.

Section 2. That the territory described in Section 1 herein is hereby added to the 7th Ward of the City of Lima, Ohio.

Section 3. That the territory to be annexed has no indebtedness and therefore no apportionment of the net indebtedness of American Township by reason of said annexation is necessary.

Section 4. That in accordance with the provisions of Section 503.07 and 503.14 of the Revised Code of Ohio, the Board of County Commissioners of Allen County, Ohio, be and they are hereby respectfully petitioned and requested to change the boundary lines of American Township, The City of Lima, Ohio, by reason of said annexation of said portion of American Township hereinabove described so that the boundary lines of The City of Lima, Ohio, will be identical and include the newly annexed areas within the City of Lima, Ohio.

Section 5. That in accordance with Section 709.06 of the Revised Code of Ohio, the Clerk of Council is hereby authorized and directed to prepare three copies of the petition, the map accompanying the petition, a transcript of the proceedings of the Board of County Commissioners, and ordinances relating to the annexation herein described with a certificate to each copy that it is correct. Such certificate shall be signed by the Clerk in her official capacity, and shall be authenticated by the seal of the City of Lima, Ohio. The Clerk shall forthwith deliver one such copy to the Auditor of Allen County, Ohio, and one copy to the Recorder of Allen County, Ohio, to make a record thereof and file and preserve it. The other copy shall be forwarded by the Clerk to the Secretary of the State of Ohio.

Section 6. That the Township zoning regulations now in effect in said annexed territory shall remain in full force as provided by O.R.C. 519.18 until the Council of The City of Lima, Ohio, shall either officially adopt the existing zoning regulations or new regulations for such territory.

Section 7. That the effective date and time of annexation to The City of Lima, Ohio, of the territory described in Section 1 herein, shall be the effective date of this ordinance upon its passage by City Council.

Section 8. That for the reasons set forth in the preamble hereto, which is made a part hereof, this ordinance is hereby declared to be an emergency measure and shall take effect forthwith, provided that it receives the affirmative vote of two-thirds of the members elected to the Council; otherwise it shall take effect and be in force from and after the earliest period allowed by law.

Passed: Sept. 24, 1973
Approved: Sept. 24, 1973

James R. Poulston
President of Council

Christian P. Morris
Mayor
Attest: Margaret Griffith
Clerk
LEGAL NO. 1037 - Oct. 6, 1973 (1t)

THE STATE OF OHIO, ALLEN COUNTY, SS:

Leo J. Otto, being sworn says that (he) is Bookkeeper of the Lima News, publishers of The Lima News, a newspaper printed in said County, and of general circulation throughout said County and State; and that said newspaper had a bona fide circulation of more than twenty-five thousand at the time this advertisement, notice or proclamation was published; that the notice, of which the annexed is a true copy, was published in said newspaper on the 6th day of October, A.D. 1973.

/s/ Leo J. Otto

Sworn to before me and subscribed before me this 8th day October, A.D. 1973.

/s/ Nancy L. Pratt
Notary Public, Allen County, Ohio

Printer's fee \$ Copy

NANCY L. PRATT, Notary Public
In and for Allen County, Ohio
My Commission Expires July 14, 1977

LIMA, OHIO
1831
Lima Challenges the Future Today

CITY OF LIMA, OHIO . Municipal Building
Lima, Ohio

September 25, 1973

Board of Allen County Commissioners
Court House
Lima, Ohio

Re: American Township Annexation
(Criterion Homes)

Gentlemen:

In accordance with the provisions of Sections 503.07 and 503.14 of the Revised Code of Ohio, you are hereby respectfully requested to change the boundary lines of American Township and The City of Lima.

The portion is described in Ordinance No. 202-73, passed by the Council of the City of Lima on September 24, 1973, two copies of which are enclosed.

Respectfully yours,
/s/ Margaret Griffith
/t/ Margaret Griffith, Clerk
Council of the City of Lima

encl.

LIMA METROPOLITAN AREA . IN THE HEART OF INDUSTRIAL AMERICA

LIMA, OHIO
1831
Lima Challenges the Future Today

CITY OF LIMA, OHIO . Municipal Building
Lima, Ohio

September 25, 1973

Mr. Gaylord C. Medaugh, Clerk
Board of Elections
Court House
Lima, Ohio

Re: American Township Annexation
(Criterion Homes)

Dear Mr. Medaugh:

Enclosed is a map of the territory recently annexed to the City of Lima, known as the American Township (Criterion) Annexation. The area will be a part of Ward 7.

I have also enclosed a copy of Ordinance No. 202-73 passed by the Council of the City of Lima on September 24, 1973, which accepts the territory and contains a legal description of the land.

Respectfully yours,
/s/ Margaret Griffith
/t/ Margaret Griffith, Clerk
Council of the City of Lima

encl. (2)

LIMA METROPOLITAN AREA . IN THE HEART OF INDUSTRIAL AMERICA

Allen County
1831
State of Ohio

AUDITOR'S OFFICE
Room 202, Court House
Lima, Ohio 45801

Richard L. Ditto
Auditor

Phone 419 229-6801

February 8, 1974

Lima City Council
219 E. Market St.
Lima, Ohio

Attention: Mrs. Margaret Griffith

Dear Mrs. Griffith:

This is to certify that the unencumbered balances, as of October 24, 1973, reported by American Township totaled \$134,442.17.

Valuation of property located in the annexation area accepted by your Ordinance No. 202-73 amounts to \$133,340. This represents .0024% of the total 1973 valuation of \$55,467,147 located in American Township. Therefore, an apportionment of the unencumbered balances would amount to \$322.66 (134,442.17x.0024).

American Township has no indebtedness subject to apportionment.

Sincerely,
/s/ Richard L. Ditto
/t/ Richard L. Ditto
Allen County Auditor

RLD:MB
cc: Rita Brown, Clerk
American Township

19

County Commissioners' Office
Allen County, Ohio
November 7, 1973 #527-73

RE: COUNTY COMMISSIONERS ORDER CHANGE IN BOUNDARY LINES BY REASON OF ANNEXATION OF TERRITORY ADJACENT TO THE CITY OF LIMA, OHIO, ORDINANCE 202-73.

The Board of County Commissioners of Allen County, Ohio, met in adjourned regular session on the 7th day of November, 1973, with the following members present: James T. Shafer and Robert L. Townsend, Jr. Richard E. Thompson, absent.

Mr. Townsend moved the adoption of the following:

RESOLUTION

WHEREAS, by proceedings heretofore, concluded the following described land presently located in N.E. 1/4 of Section 26, American Township, Allen County, Ohio, did pursuant to Ordinance 202-73, passed by City Council, Lima, Ohio, become annexed to and became a part of the City of Lima, Ohio.

Being a tract of land in the N.E. 1/4 of Section 26, T3S-R6E, American Township, Allen County, Ohio and being further described as follows:

Beginning at the S.W. corner of Lot 25939 as platted in Westgate Manor #24, Plat Book 12, Page 111 in the Allen County Recorder's Office, Thence N. 0 degrees 11'30" W. along the West line of Westgate Manor #24 and the existing corporation line of the City of Lima for 639.13 feet to the N.E. Corner of Lot 25438 as platted in Westgate Manor #20 Plat Book 11, Page 79 in the Allen County Recorder's Office; thence continuing N. 0 degrees 11'30" W. along the West line of Westgate Manor #24 for 307.43 feet to the N.W. Corner of Lot 25934 and the South right-of-way line of the Penn Central Railroad; thence S. 58 degrees 16' 36" E. along said right-of-way line for 909.39 feet; thence S. 15 degrees 0'36" W. for 491.88 feet to the existing corporation line of the City of Lima; thence N.89 degrees 24' 0" along said corporation line for 643.03 feet to the place of beginning.

Containing in all 11.90 acres.

An accurate map of which territory, together with the petition for its annexation and other papers relating hereto and a certified transcript of the proceedings of the County Commissioners in relation thereto, is on file with the Clerk of City Council, Lima, Ohio, be and that the same is hereby accepted; now

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of Allen County, Ohio, that the boundaries of the City of Lima, Ohio, be and the same are hereby changed in accordance with Ordinance No. 202-73

November 7, 1973
Page 2

passed by the City Council of Lima, Ohio, Allen County, Ohio, September 24, 1973, so that the lands herebefore described be and the same are hereby within the Corporate Boundaries of the said City of Lima, Ohio; and be it further

RESOLVED, that copies of this Resolution be certified by the Clerk of the Board, to the City Council of Lima, Ohio, to the Auditor, Allen County, Ohio, and also to the Recorder, Allen County, Ohio, for recording in appropriate records.

Mr. Shafer seconded the Resolution and the roll being called upon its adoption the vote resulted as follows: Mr. Shafer, Yes and Mr. Townsend, Yes. Mr. Thompson, absent.

Adopted this 7th
day of November, 1973

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/t/ Richard E. Thompson

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board

CERTIFICATE:

I, Mary L. Lucas, Clerk of the Board of County Commissioners, Allen County, Ohio, do hereby certify that the foregoing is a true and accurate copy of said Resolution as adopted by the Board of County Commissioners, Allen County, Ohio, on November 7, 1973 and entered upon the Journal of Commissioners' Records, No. 72, Pages 150

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board
Allen County Commissioners

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Lima, Ohio
1831
Lima Challenges the Future Today

CITY OF LIMA, OHIO

Municipal Building
Lima, Ohio

December 3, 1973

Mr. Ted W. Brown
Secretary of State
State House
Columbus, Ohio 43215

Dear Sir:

Enclosed is the Transcript relating to the petition for annexation by Criterion Homes of land located in American Township, Allen County, Ohio.

The papers are being sent to you in accordance with 709.06RC. The filing fee of \$5.00 is also enclosed.

Respectfully yours,

/s/ Margaret Griffith
/t/ Margaret Griffith, Clerk
Council of the City of Lima

encl. (2)

LIMA METROPOLITAN AREA. IN THE HEART OF INDUSTRIAL AMERICA

21

I, Margaret Griffith, Clerk of the Council of the City of Lima, Ohio, do hereby certify the foregoing to be a true and correct copies of the papers comprising the Transcript of the Criterion Homes Annexation, or a portion of American Township, to the City of Lima.

/s/ Margaret Griffith,
/t/ Margaret Griffith, Clerk
Feb 11, 1974 Seal
Clerk of The Council
Recorder

TRANSCRIPT OF AMERICAN TOWNSHIP ANNEXATION
(Criterion Homes)

1. Original Petition with plat (Exhibit A) attached.
2. Resolution No. 141-73 setting hearing date
3. Letter from Attorney for annexation informing Municipal Clerk of filing of Annexation Petition.
4. Letter from Attorney for annexation notifying Municipal Clerk of hearing date.
5. Copy of letter to County Engineer dated March 29, 1973, requesting verification of signatures and accuracy of plat and description.
6. Copy of letter from County Engineer dated March 30, 1973, relative to accuracy of petition and plat.
7. Copy of letter to Agent advising hearing date and designating required documents.

- 8. Copy of Affidavit from Agent attesting notification to Clerk of American Township, Allen County, Ohio, and to Clerk of City Council of Lima, Ohio (3 pages)
- 9. Copy of Proof of Publication of Legal Notice concerning filing of petition and hearing date.
- 10. Copy of Resolution 285-73 adopted by County Commissioners June 20, 1973 granting annexation (3 pages).
- 11. Copy of letter from Clerk of Board of County Commissioners submitting transcript file to Clerk of Municipal Corporation.
- 12. Copy of letter from Clerk of Council submitting petition to City Council.
- 13. Copy of Ordinance No. 202-73 City of Lima, Accepting Application for Annexation of Territory in American Township.
- 14. Minutes of Council of City of Lima showing passage of Ordinance No. 202-73
- 15. Proof of Publication of Ordinance No. 202-73
- 16. Copy of letter from Clerk of Council to Board of Elections placing annexed area in Ward 7, City of Lima.
- 17. Copy of letter from Clerk of Council to Allen County Commissioners requesting change in boundary lines of American Township and the City of Lima.
- 18. Copy of letter from County Auditor showing percentage of land and money transferred.
- 19. Copy of Resolution No. 527-73 changing boundary lines of American Township and City of Lima, submitted by letter from Clerk of Board of County Commissioners.
- 20. Copy of letter to Secretary of State of Ohio, transmitting annexation papers for filing, with \$5.00 filing fee.
- 21. Certification by Clerk of Lima City Council as to correctness of copies.

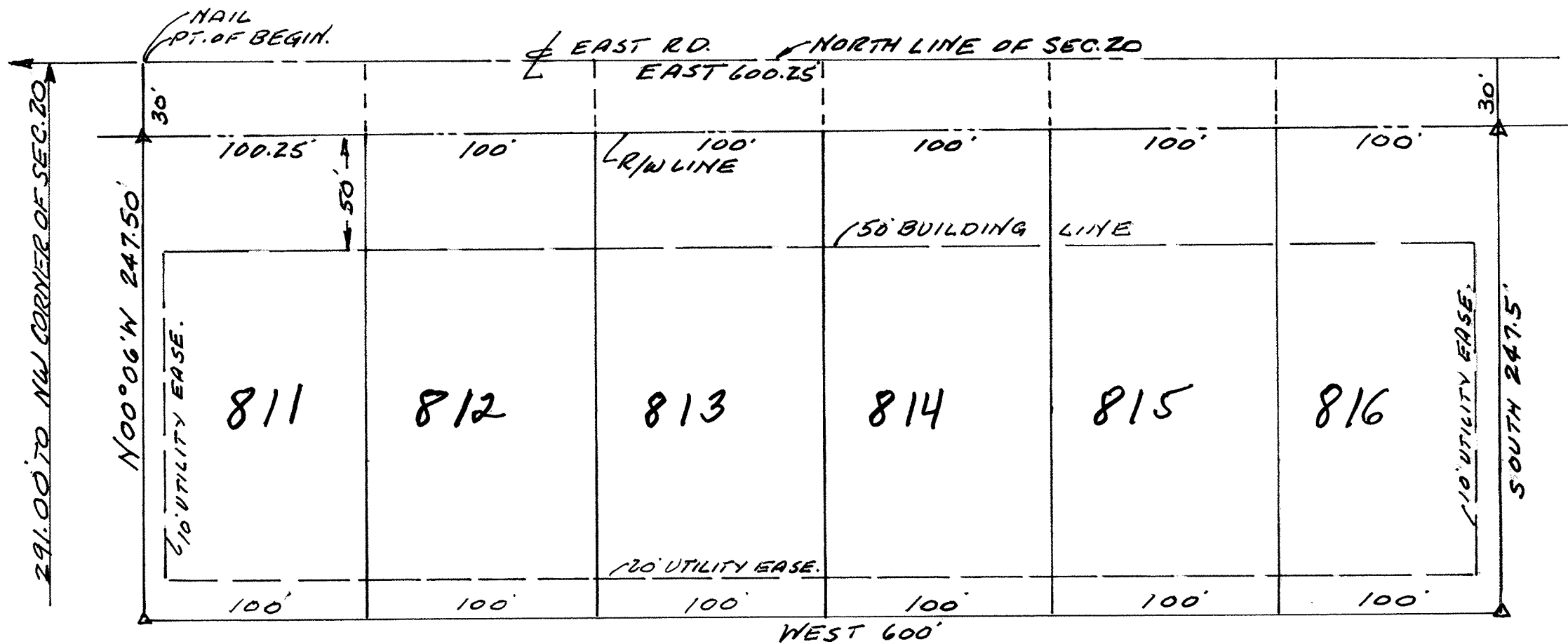
Received Feb. 21, 1974
 At 3:00 O'Clock P.M.
 Recorded Feb. 21, 1974
 Fee. \$42.30

Bernice Montague
 Recorder
By Betty Kenneth
 Deputy

EAST RIDGE HEIGHTS SUBD.

AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO

45

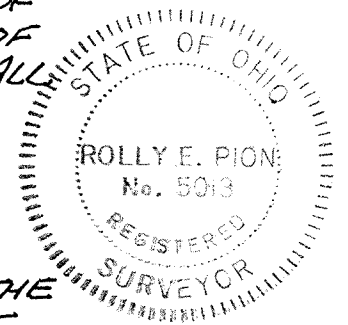


SURVEYOR'S CERTIFICATE

EAST RIDGE HEIGHTS SUBD. LIES IN THE NORTHWEST QUARTER OF SECTION 20, T 3 S, R 6 E, AMERICAN TWP ALLEN COUNTY, OHIO AND MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT (SAID POINT LIES ON THE CENTER-LINE OF EAST RD. BEING EAST A DISTANCE OF 291' FROM THE NORTHWEST CORNER OF SEC. 20); THENCE EAST ALONG THE CENTERLINE OF EAST RD. FOR A DISTANCE OF 600.25' TO A POINT; THENCE SOUTH FOR A DISTANCE OF 247.5' TO A POINT; THENCE WEST FOR A DISTANCE OF 600' TO A POINT; THENCE N00°06' W FOR A DISTANCE OF 247.5' TO THE POINT OF BEGINNING, CONTAINING IN ALL 3.41 ACRES.

Rolly E. Pion
SURVEYOR NO. 5013



DEDICATION

RALPH L. AND DOROTHY E. MILLER, THE OWNERS OF THE TRACT OF LAND IN THE HEREDON PLAT, HEREBY ADOPT THE SAID PLAT AND DEDICATE THE LAND CONTAINED WITHIN THE STREETS TO THE USE AND BENEFIT OF THE PUBLIC FOREVER. UTILITY EASEMENTS ARE ESTABLISHED AS SHOWN ON PLAT.

IN WITNESS WHEREOF RALPH L. AND DOROTHY E. MILLER, OWNERS OF EAST RIDGE HEIGHTS SUBD. HAVE HEREUNTO SIGNED THEIR NAMES THIS 14th DAY OF March 1974.

WITNESS: Joseph L. Keen OWNERS: Ralph L. Miller
Nancy Weir Dorothy Miller

COUNTY RECORDERS CERTIFICATE

NO. 310383
FILED FOR RECORD IN ALLEN COUNTY, OHIO. RECORDERS OFFICE THIS 14 DAY OF March 1974,
AT 2:16 O'CLOCK P. M. AND RECORDED IN ALLEN COUNTY, OHIO PLAT BOOK 13 ON PAGE 45
FEE \$9.30

Bernice Montague
RECORDER OF ALLEN COUNTY, OHIO
By Betty Kenzler, Deputy

ACKNOWLEDGEMENT

STATE OF OHIO, ALLEN COUNTY, SS:
BEFORE ME A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED RALPH L. AND DOROTHY E. MILLER, WHO ACKNOWLEDGE THAT THEY DID SIGN THE HEREDON PLAT OF EAST RIDGE HEIGHTS SUBD. AND THAT THE SIGNING THEREOF WAS THE FREE ACT AND DEED OF OWNERS.
IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND SEAL THIS 14 DAY OF March 1974.
MY COMMISSION EXPIRES.

Joseph L. Keen
NOTARY PUBLIC ALLEN COUNTY, OHIO

APPROVAL OF CITY PLANNING COMMISSION

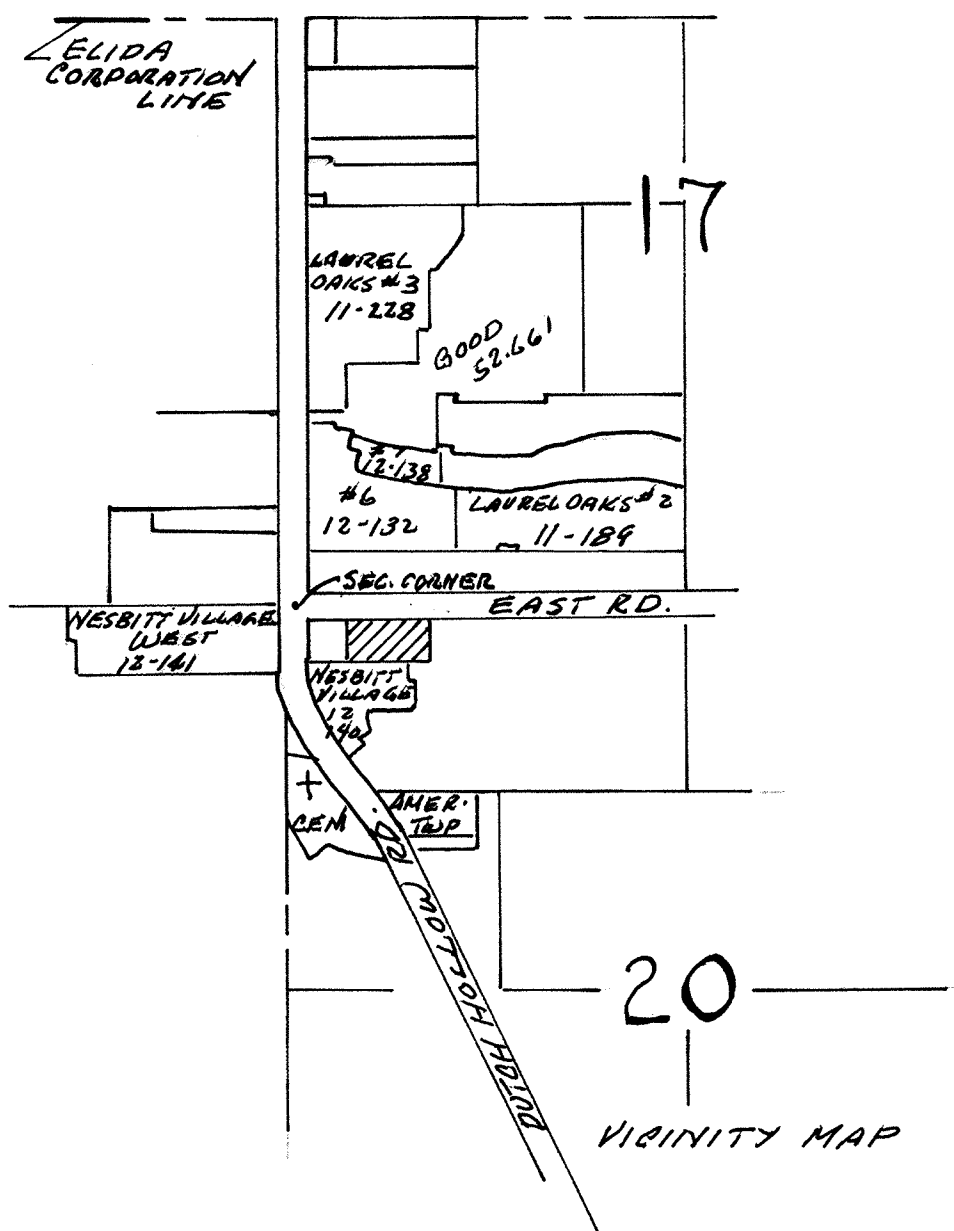
THIS PLAT HAVING BEEN APPROVED BY THE CITY PLANNING COMMISSION OF THE CITY OF LIMA, OHIO, THE UNDERSIGNED MAYOR OF THE CITY OF LIMA, OHIO, AND CHAIRMAN OF THE CITY PLANNING COMMISSION, HEREBY, ON BEHALF OF SAID CITY AND SAID COMMISSION APPROVE AND ACCEPT THIS PLAT THIS 14th DAY OF March 1974.

Kathy J. Moyer
MAYOR & CHAIRMAN OF PLANNING COMMISSION

COUNTY AUDITOR'S CERTIFICATE

FILED FOR TRANSFER THIS 14th DAY OF March 1974 AT 2:15 O'CLOCK P. M. IN THE OFFICE OF THE ALLEN COUNTY AUDITOR.

Richard L. Ditto
AUDITOR OF ALLEN COUNTY, OHIO by Margaret Bechtel



SCALE 1"=60'
MONUMENTS HAVE BEEN PLACED AT ALL SUBD. CORNERS
HARDWOOD STAKES HAVE BEEN PLACED AT ALL LOT CORNERS

UNIVERSITY HEIGHTS CONDOMINIUM No 6

46

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

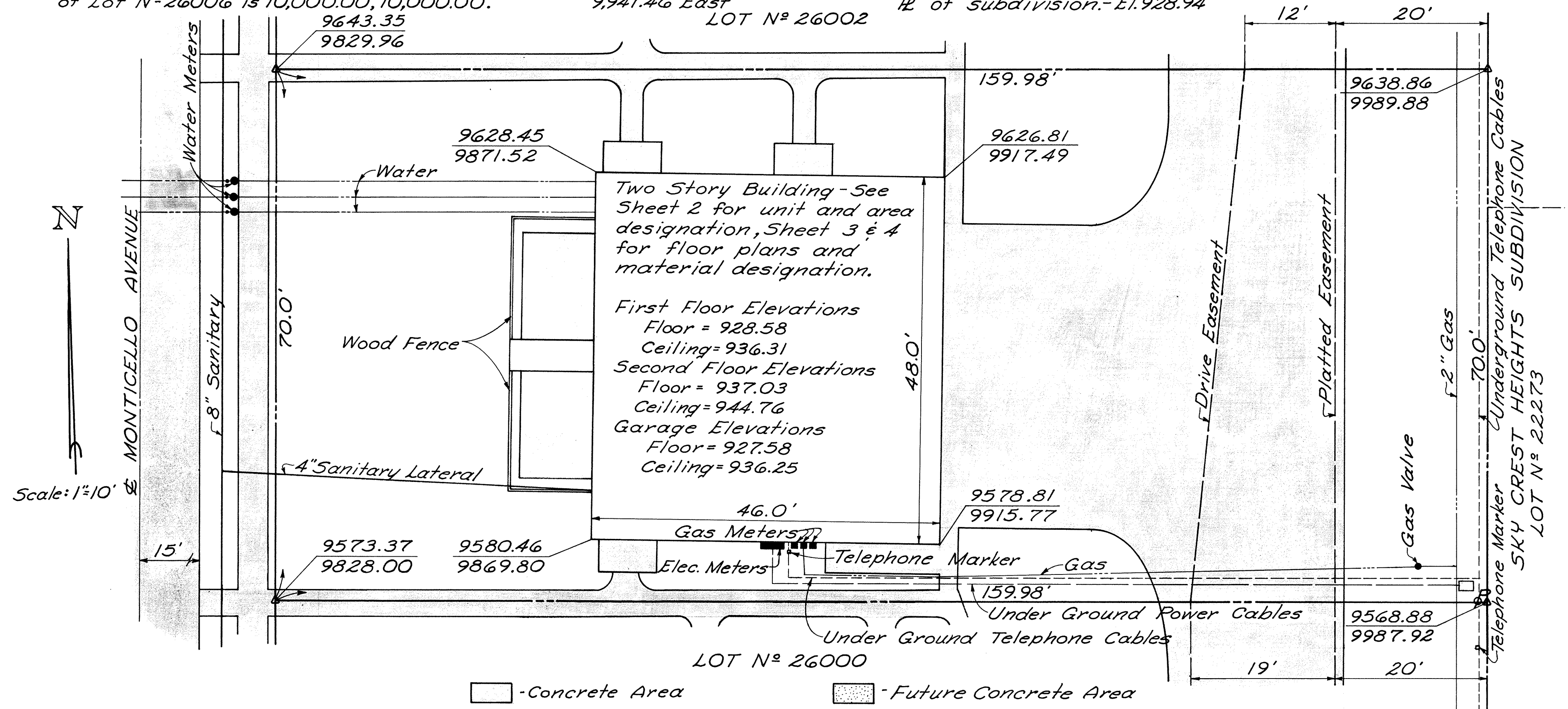
LOT No 26001, UNIVERSITY HEIGHTS SUBDIVISION No 1

SHEET 1 OF 4
EXHIBIT A

COORDINATE LOCATIONS
All coordinates are located with the assumption that the northeast corner of Lot No 26006 is 10,000.00, 10,000.00.

Example:
9982.29 North
9941.46 East
LOT No 26002

BENCH MARK: Spike in 12" wild cherry tree on south E of subdivision - El. 928.94



ENGINEER AND SURVEYOR'S CERTIFICATE

COUNTY RECORDER'S CERTIFICATE

UNIVERSITY HEIGHTS CONDOMINIUM No.6 is situated in Lot No. 26001 of the University Heights Subdivision No.1 of the Southeast Quarter of Section 34, T-3-S, R-7-E, Bath Township, Allen County, Ohio.

No. 310631
Filed for record in the Allen County, Ohio, Recorder's Office this 20th day of March, 1974, at 4:14 o'clock P. M. and recorded in Allen County, Ohio Plat Book 13, Page 46.

Monuments placed as shown on this Sheet 1 of Exhibit A. Easements and Streets are as shown on said Sheet 1.

Fee: \$ 33²⁰

We certify that the within drawings designated Exhibit A and consisting of pages numbered consecutively from 1 to 4 correctly represent the buildings as constructed, unit dimensions, dimensions of common areas and dimensions of limited common areas so far as graphically possible and that there are no encroachments on any abutting premises.

For Declaration see Deed Vol. 548, Page 557.
Amendment to Declaration and By-Laws
See Deed Vol #709 page #578
Bernise Montague
Recorder, Allen County, Ohio

Dated at Lima, Ohio March 8, 1974.

Kohli and Kaliher Associates, Limited

By James R. Myers
Reg. Surveyor 5453

James R. Myers
Reg. Engineer 32719

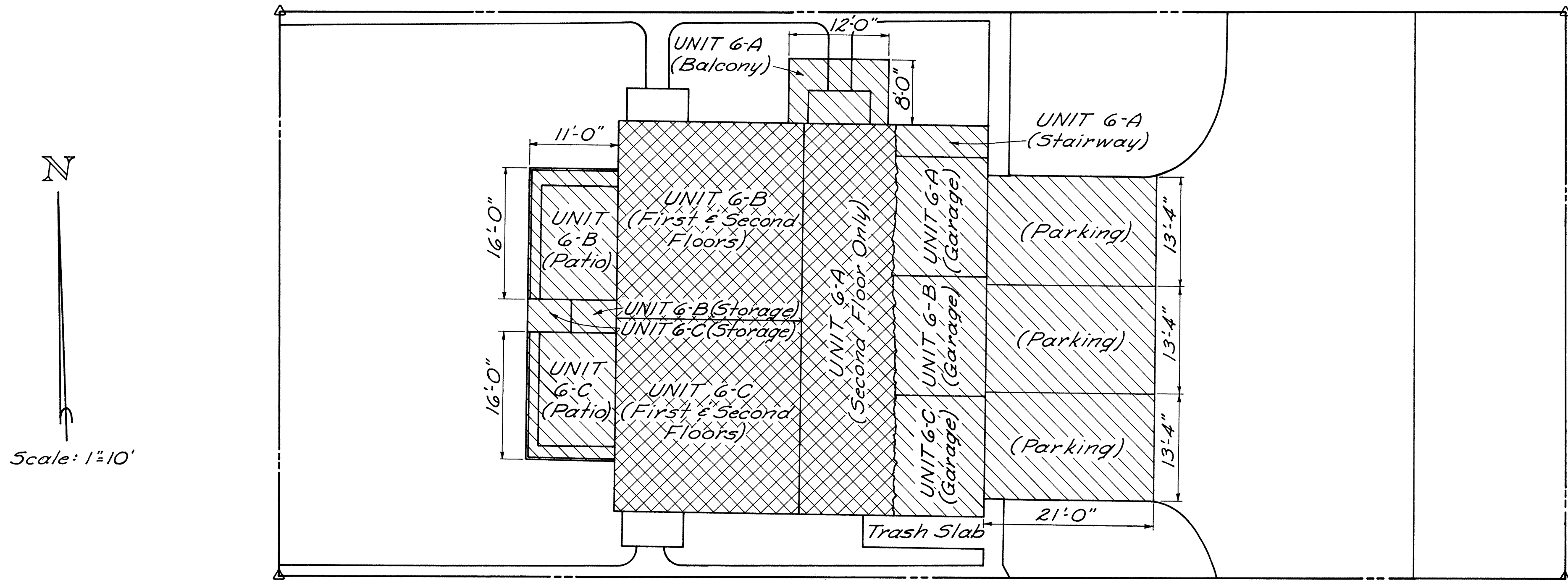


UNIVERSITY HEIGHTS CONDOMINIUM N° 6

S.E. ¼, Sec. 34, Bath Twp., Allen County, Ohio

LOT N° 26001, UNIVERSITY HEIGHTS SUBDIVISION N° 1

SHEET 2 OF 4
EXHIBIT A



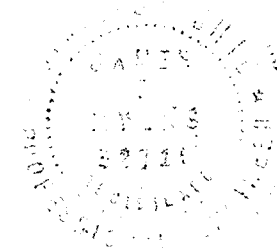
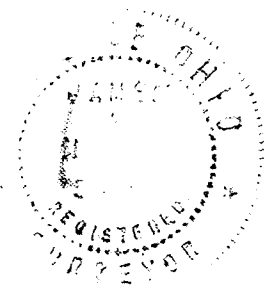
Designates: Common Area
 Designates: Limited Common Area
 Designates: Unit Area

UNIT AREA
 Unit 6-A - 1065 S.F. Unit 6-B - 1035 S.F. Unit 6-C - 1035 S.F.

Dated at Lima, Ohio March 8, 1974
 Kohli and Kaliher Associates, Limited

By James R. Myers
 Reg. Surveyor 5453

James R. Myers
 Reg. Engineer 32719

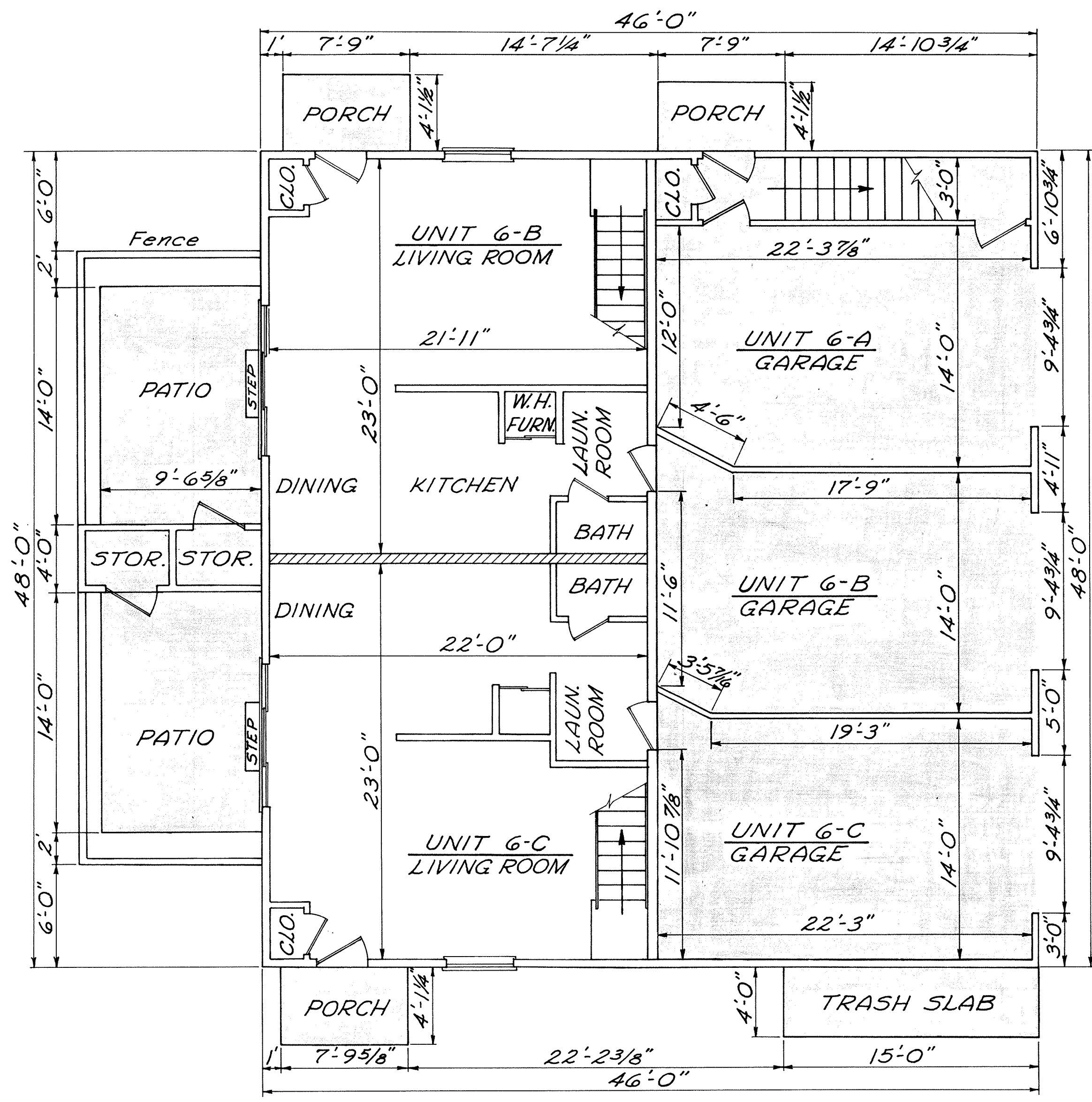


UNIVERSITY HEIGHTS CONDOMINIUM N^o 6

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 26001, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

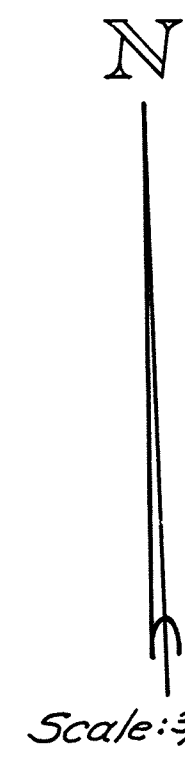
SHEET 3 OF 4
EXHIBIT A



FOUNDATION - 10"x18" Concrete footers; 8" concrete block foundation wall. Crawl space under Units 6-B and 6-C.

EXTERIOR WALLS - Typical 2"x4" Studs, 16" O.C.; Insulation - 1/2" Insulation Board; 8" Horizontal Aluminum siding and Brick Facing.

INTERIOR PARTITIONS - 2"x4" Stud Walls and Drywall; Garage Partitions - 2"x4" Studs, 5/8" Drywall each side.



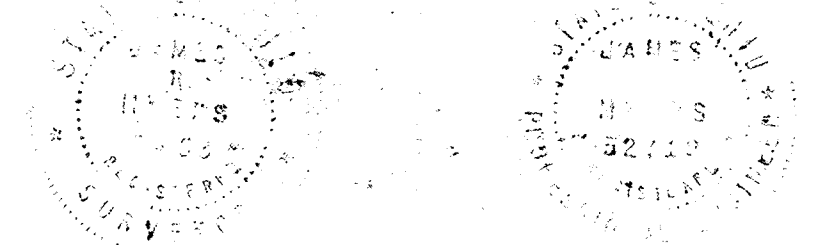
Designates Unit Partitions - 4" Insulation, 2"x4" Staggered Studs 16" O.C., Doubled Drywall.

Designates Concrete

Dated at Lima, Ohio March 8, 1974
Kohli and Kaliher Associates, Limited

By James R. Myers
Reg. Surveyor 5453

James R. Myers
Reg. Engineer 32719



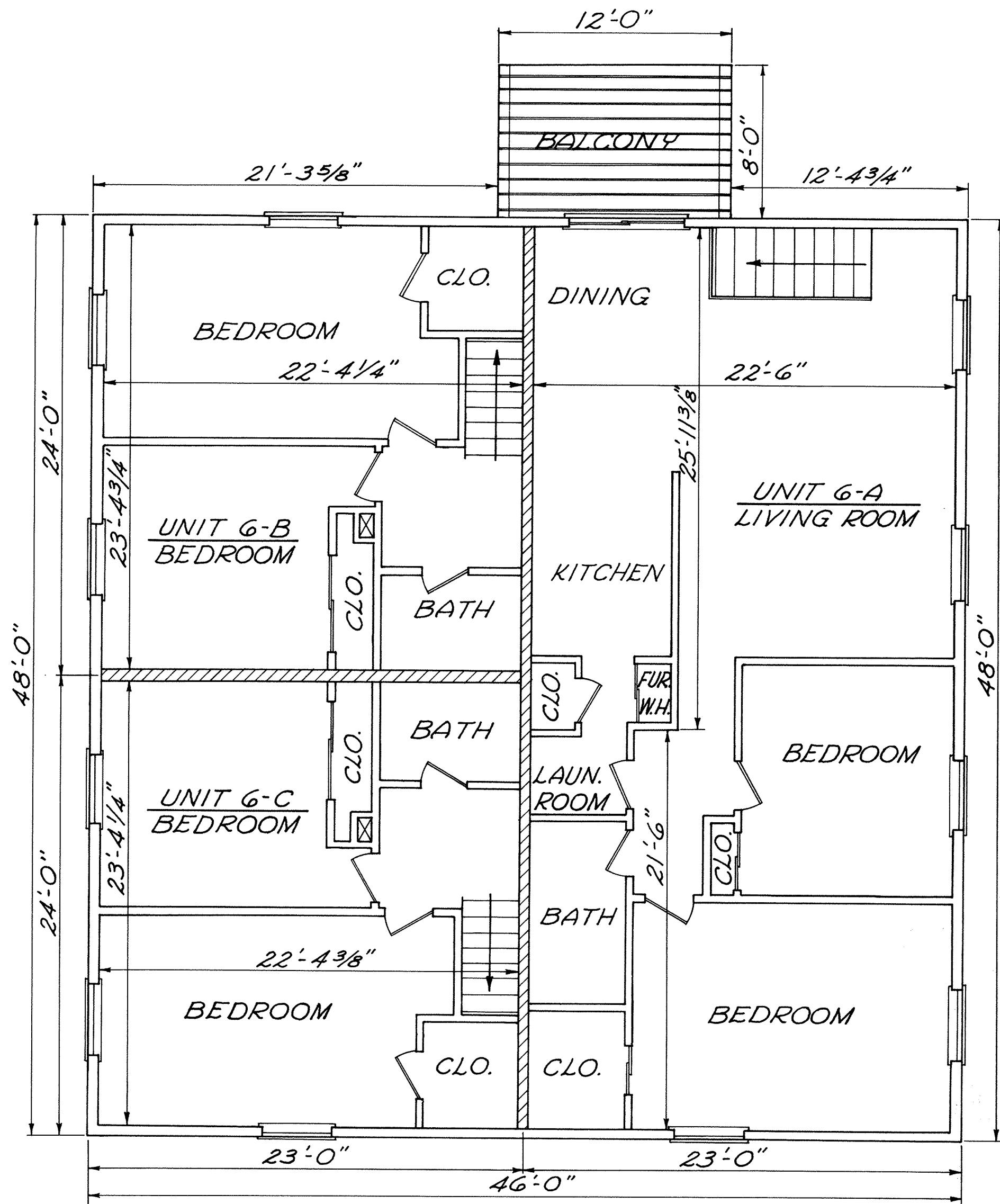
FIRST FLOOR

UNIVERSITY HEIGHTS CONDOMINIUM N^o 6

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 26001, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 4 OF 4
EXHIBIT A

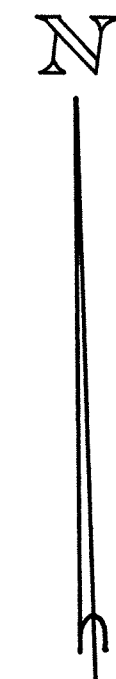


FLOOR JOISTS - 2"x8"
16" O.C.; Flooring, 3/4" T. & G
Plywood, Insulation;
Ceiling - Drywall

ROOF TRUSSES - 24" O.C.,
Insulation, Drywall ceiling.

ROOF SHEATHING - 5/8"
Plywood; Roofing: Asphalt
shingles.

Designates Unit
Partition - 4" Insulation
2"x4" Staggered Studs,
16" O.C., Doubled Drywall.



Scale: 3/16" = 1'-0"

Dated at Lima, Ohio March 8, 1974
Kohli and Kaliber Associates, Limited

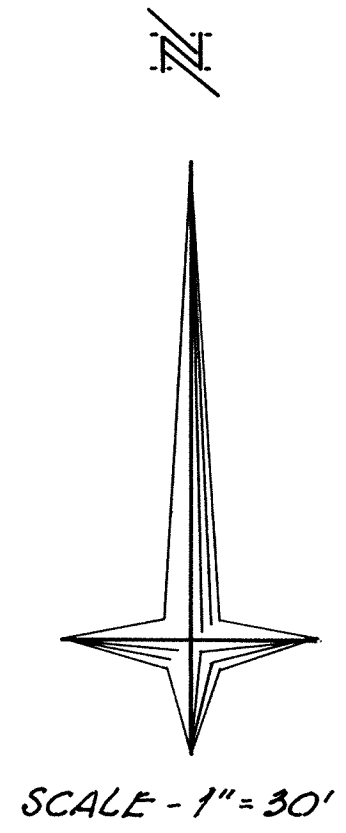
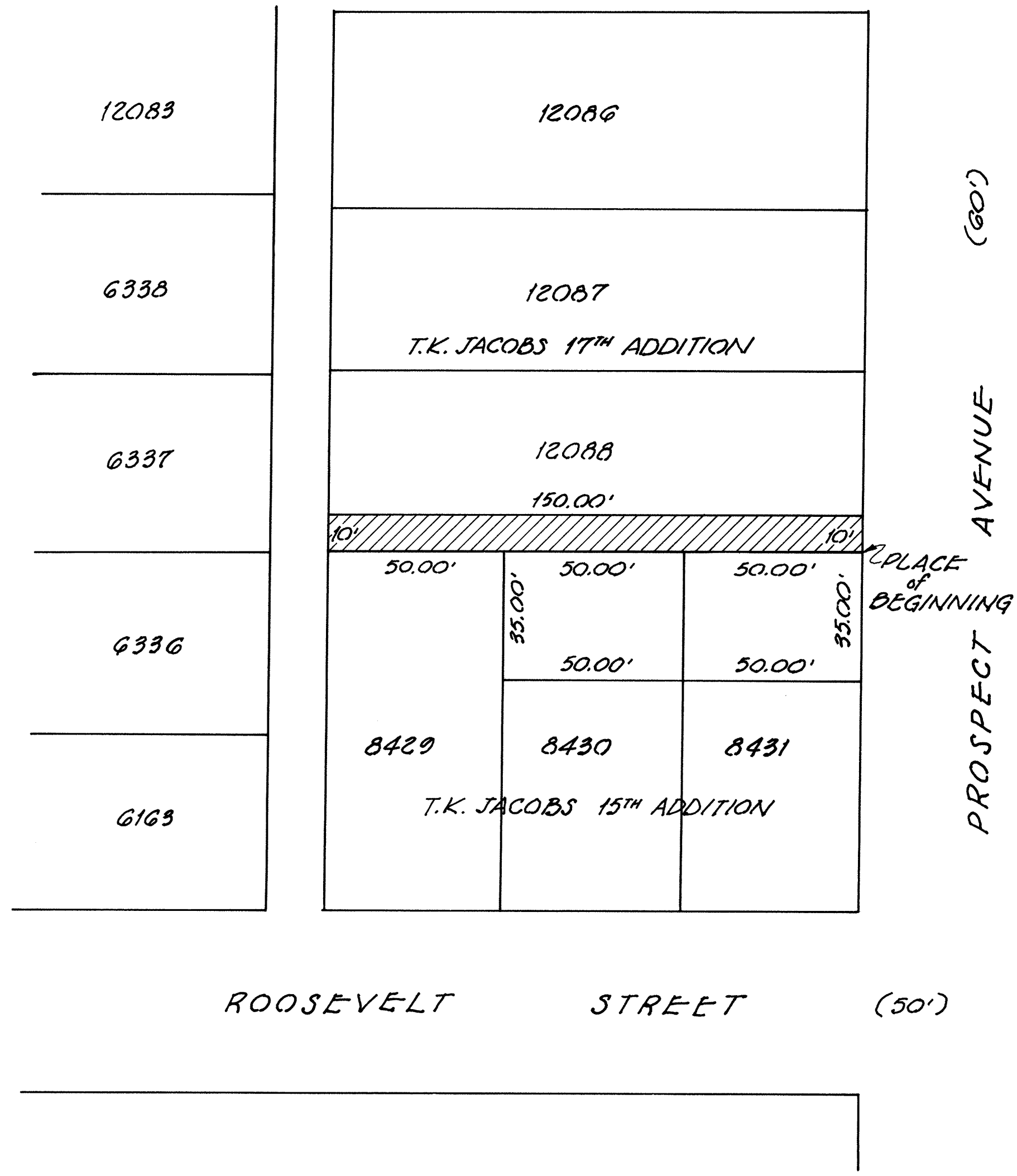
By James R. Myers
Reg. Surveyor 5453

James R. Myers
Reg. Engineer 32719



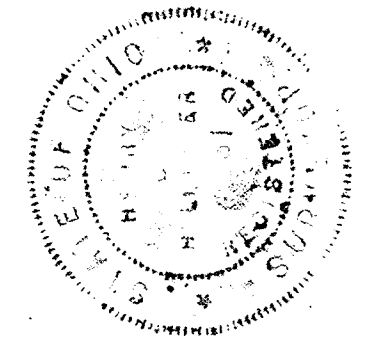
SECOND FLOOR

ALLEY VACATION



Beginning at the Northeast corner of Lot No. 8431 in T. K. Jacobs 15th Addition to the City of Lima, Ohio; thence West with the North line of Lots No. 8431, 8430 and 8429, 150.00 feet to the Northwest corner of Lot No. 8429; thence North 10.00 feet to the Southwest corner of Lot No. 12088 in T.K. Jacobs 17th Addition to the City Of Lima, Ohio; thence East with the South line of said Lot No. 12088, 150.00 feet to the Southeast corner of said Lot No. 12088; thence South 10.00 feet to the PLACE OF BEGINNING, containing 1500 square feet or 0.034 Acres more or less.

Henry C. Hollinger
Reg. Surveyor 4561



310743

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 1:13 O'CLOCK P.M.

MAR 25 1974

RECORDED *March 25 1974*
Vol. 13 PAGE 50
Bernice M. ...
RECORDER
Fee \$ 8.30

*For Ordinance To Vacate Alley
See Deed Vol. 549 Page 14.*

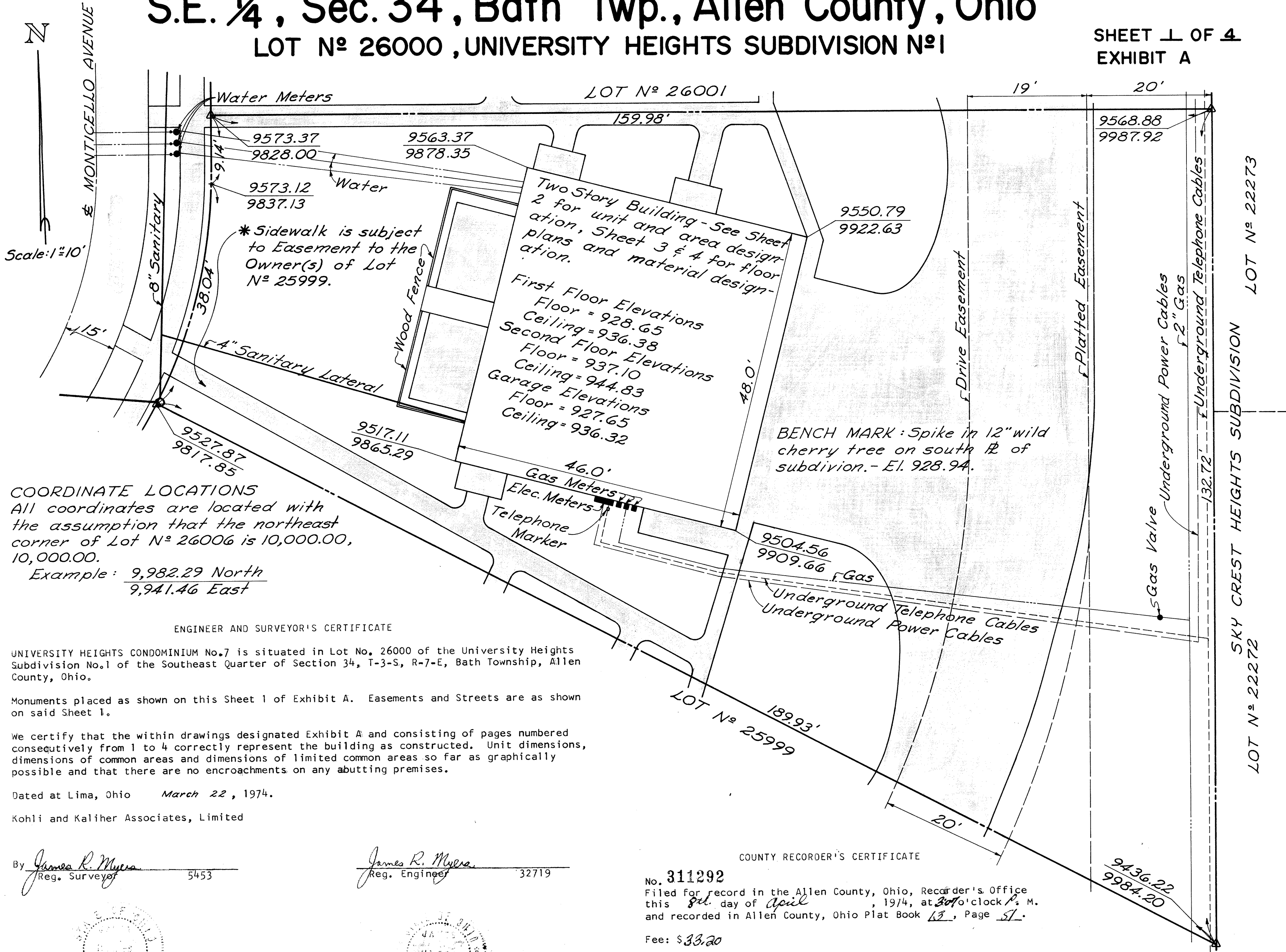
KOHLI & KALHER ASSOC., LTD.
ENGINEERS & SURVEYORS

UNIVERSITY HEIGHTS CONDOMINIUM No 7

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT No 26000, UNIVERSITY HEIGHTS SUBDIVISION No 1

SHEET 1 OF 4
EXHIBIT A



Scale: 1"=10'

COORDINATE LOCATIONS
 All coordinates are located with the assumption that the northeast corner of Lot No 26006 is 10,000.00, 10,000.00.
 Example: $\frac{9,982.29 \text{ North}}{9,941.46 \text{ East}}$

ENGINEER AND SURVEYOR'S CERTIFICATE

UNIVERSITY HEIGHTS CONDOMINIUM No.7 is situated in Lot No. 26000 of the University Heights Subdivision No.1 of the Southeast Quarter of Section 34, T-3-S, R-7-E, Bath Township, Allen County, Ohio.

Monuments placed as shown on this Sheet 1 of Exhibit A. Easements and Streets are as shown on said Sheet 1.

We certify that the within drawings designated Exhibit A and consisting of pages numbered consecutively from 1 to 4 correctly represent the building as constructed. Unit dimensions, dimensions of common areas and dimensions of limited common areas so far as graphically possible and that there are no encroachments on any abutting premises.

Dated at Lima, Ohio March 22, 1974.

Kohli and Kaliher Associates, Limited

By James R. Myers
 Reg. Surveyor 5453

James R. Myers
 Reg. Engineer 32719

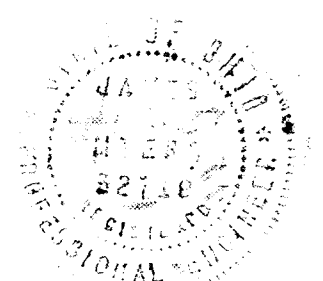
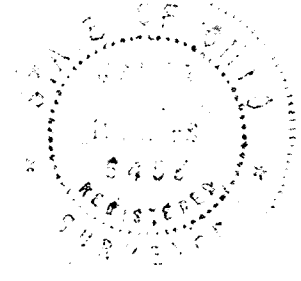
COUNTY RECORDER'S CERTIFICATE

No. **311292**
 Filed for record in the Allen County, Ohio, Recorder's Office this 8th day of April, 1974, at 2:01 o'clock P. M. and recorded in Allen County, Ohio Plat Book 13, Page 51.

Fee: \$33.20

For Declaration see Ord Vol. 549
 Page 386.

Bernice Montague
 Recorder, Allen County, Ohio
 by Betty Kinzle, Deputy

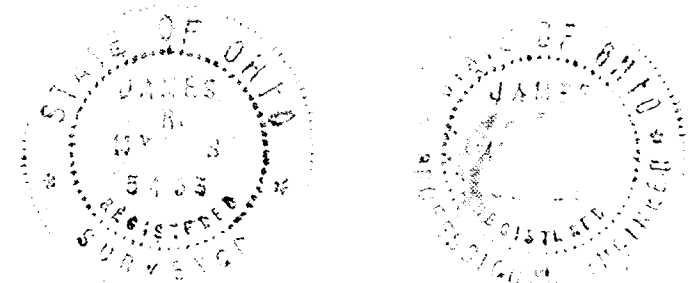
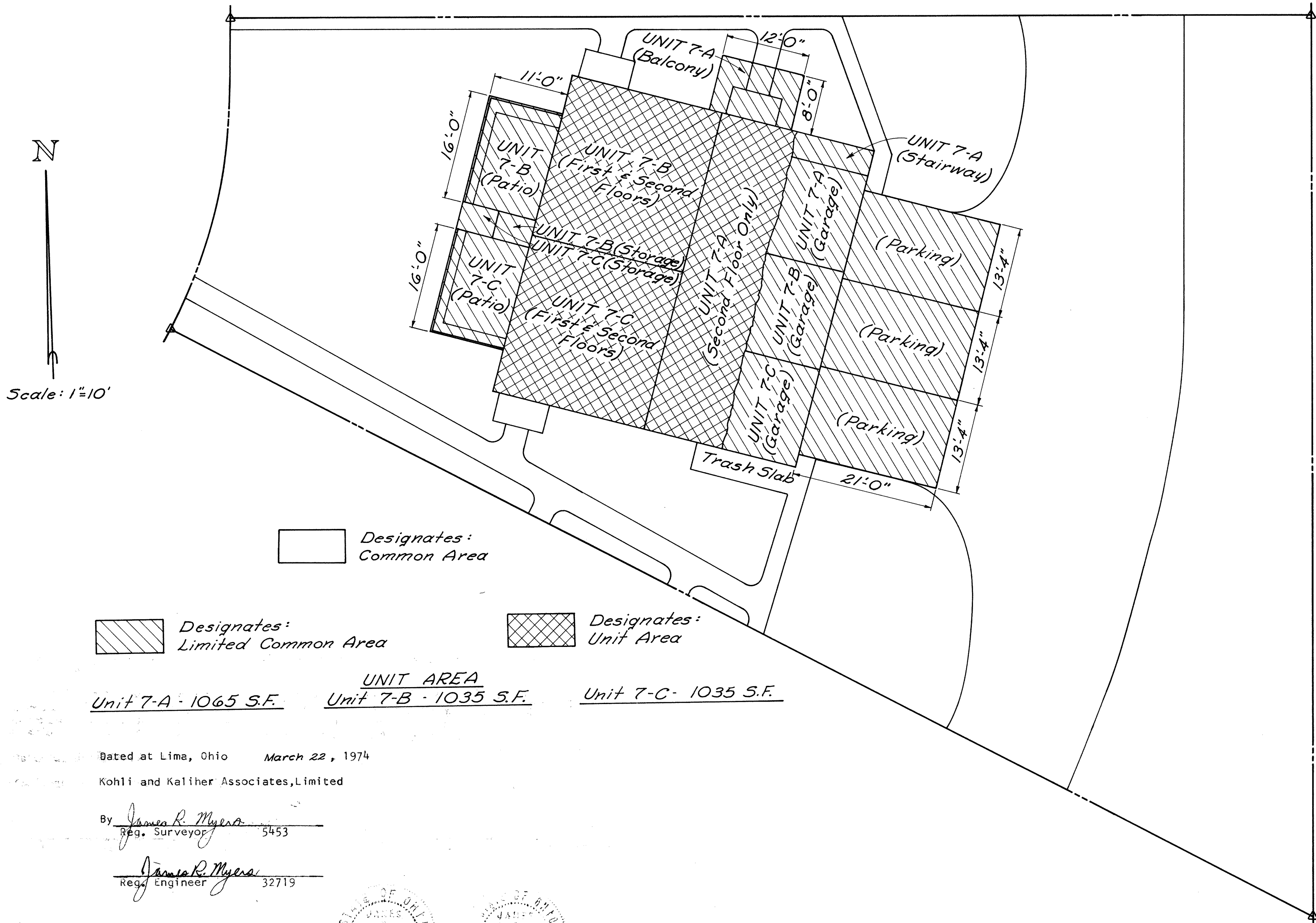


UNIVERSITY HEIGHTS CONDOMINIUM N^o 7

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 26000, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

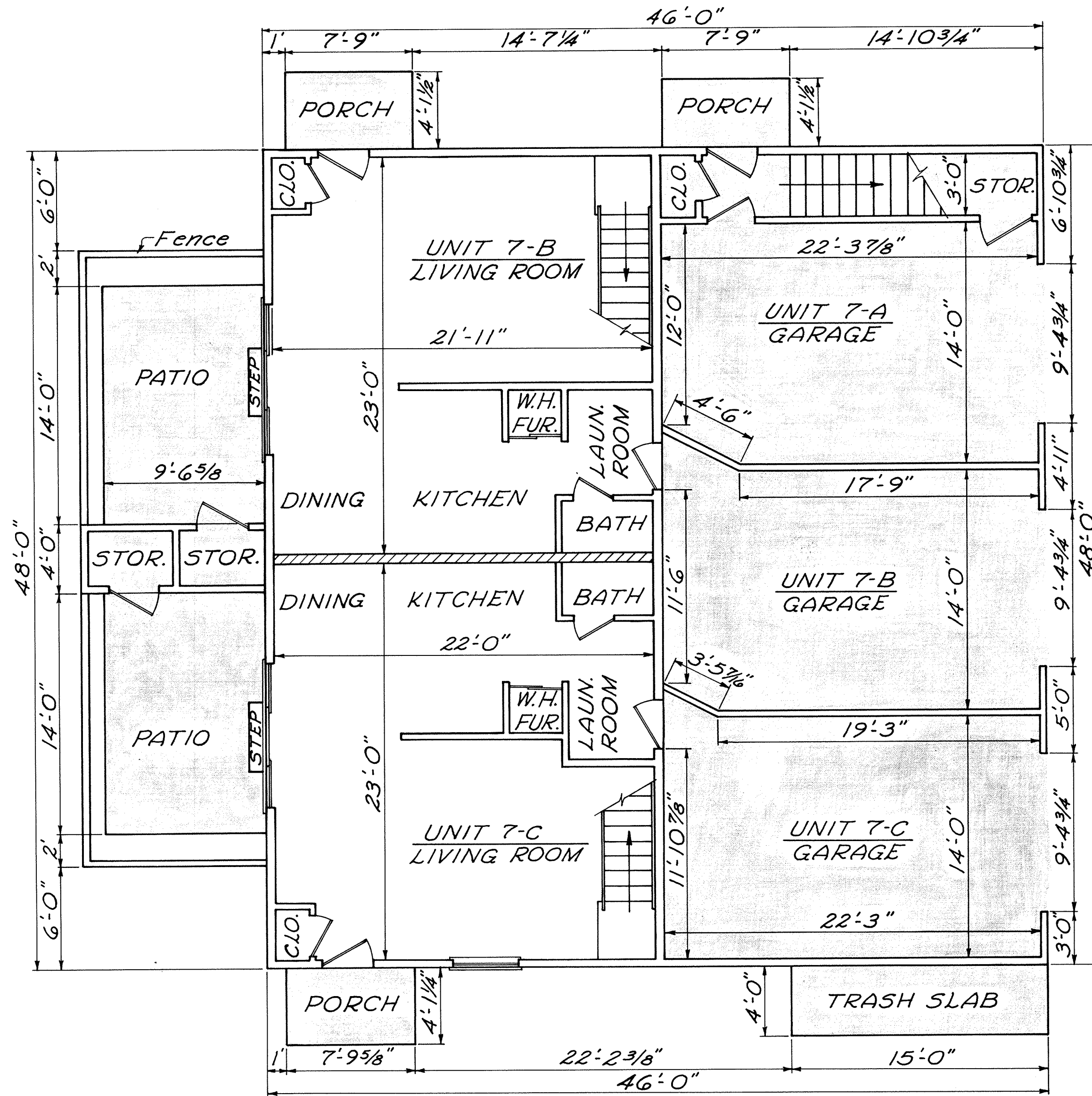
SHEET 2 OF 4
EXHIBIT A



UNIVERSITY HEIGHTS CONDOMINIUM Nº 7

S.E. ¼, Sec. 34, Bath Twp., Allen County, Ohio
 LOT Nº 26000, UNIVERSITY HEIGHTS SUBDIVISION Nº 1

SHEET 3 OF 4
 EXHIBIT A



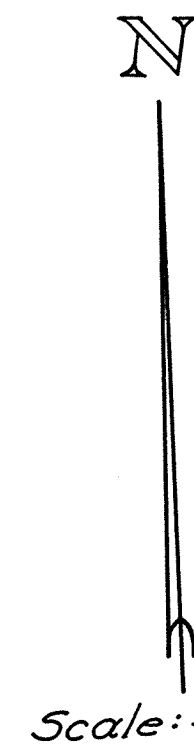
FOUNDATION-10"x18"
 Concrete footers; 8"
 concrete block foundation
 wall. Crawl space under
 Units 7-B and 7-C.

EXTERIOR WALLS -
 Typical 2"x4" Studs, 16"
 O.C.; Insulation - 1/2" Insul-
 ation Board; 8" Horizontal
 Aluminum siding, Cedar,
 Stuccato Panel Siding, Brick
 Facing.

INTERIOR PARTITIONS -
 2"x4" Stud Walls and
 Drywall; Garage Partitions
 - 2"x4" Studs, 5/8" Drywall
 each side.

Designates Unit
 Partitions - 4" Insulation,
 2"x4" Staggered Studs
 16" O.C., Doubled Drywall.

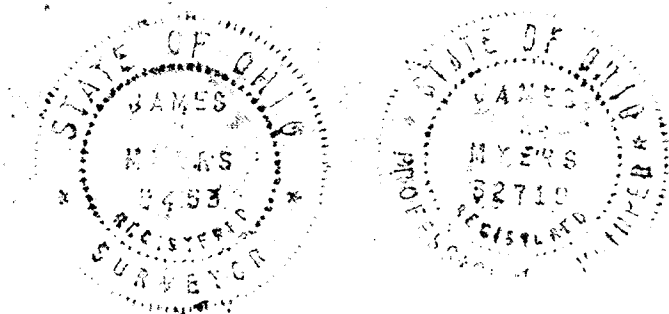
Designates Concrete



Dated at Lima, Ohio March 22, 1974
 Kohli and Kalher Associates, Limited

By James R. Myers
 Reg. Surveyor 5453

James R. Myers
 Reg. Engineer 32719

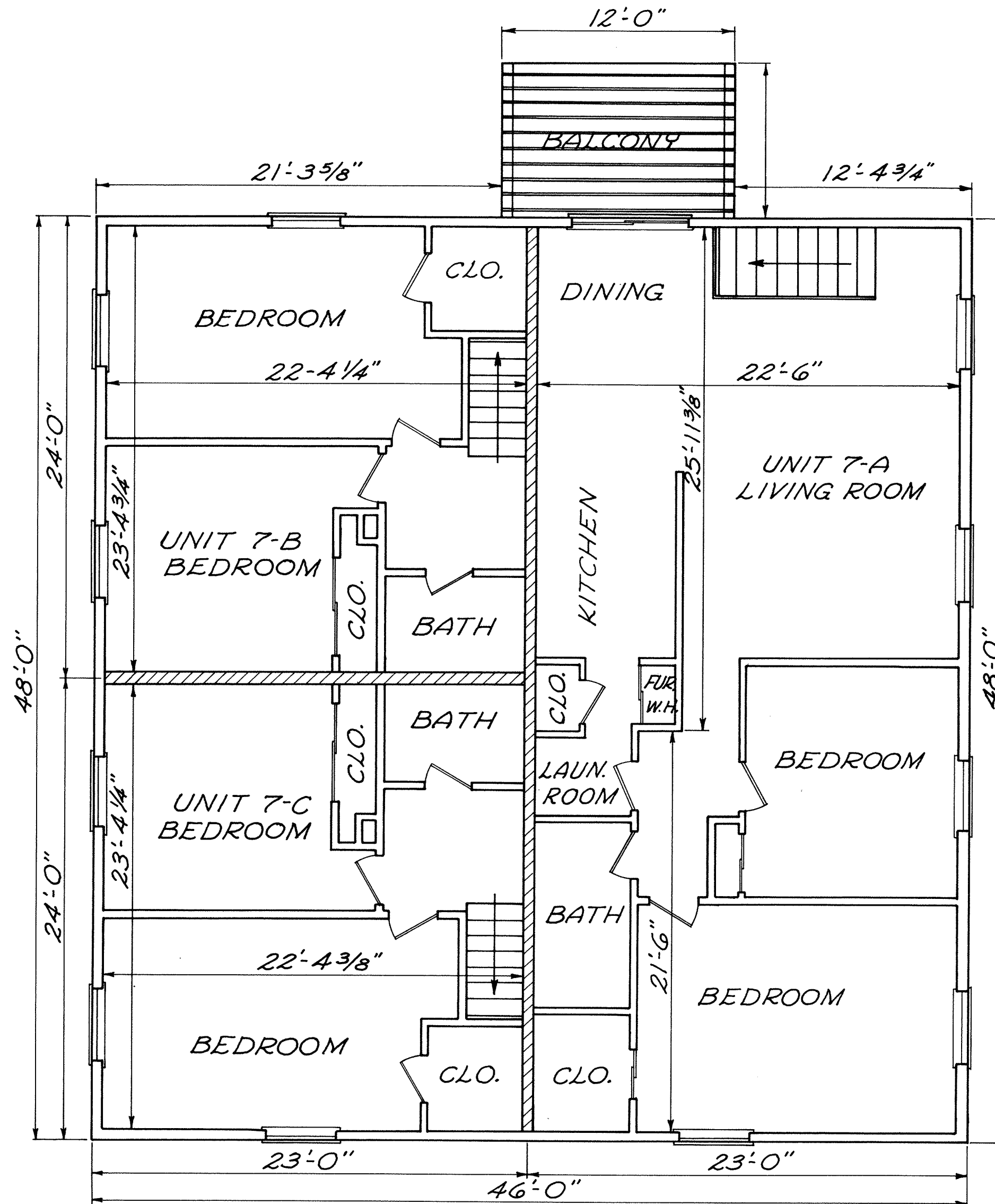


FIRST FLOOR

UNIVERSITY HEIGHTS CONDOMINIUM N^o 7

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio
LOT N^o 26000, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 4 OF 4
EXHIBIT A



FLOOR JOISTS - 2"x8"
16" O.C.; Flooring, 3/4" T & G
Plywood, Insulation;
Ceiling - Drywall.

ROOF TRUSSES - 24" O.C.,
Insulation, Drywall ceiling.

ROOF SHEATHING - 5/8"
Plywood; Roofing: Asphalt
shingles.

Designates Unit
Partition - 4" Insulation
2"x4" Staggered Studs,
16" O.C., Doubled Drywall.



Scale: 3/16" = 1'-0"

Dated at Lima, Ohio March 22, 1974

Kohli and Kaliher Associates, Limited

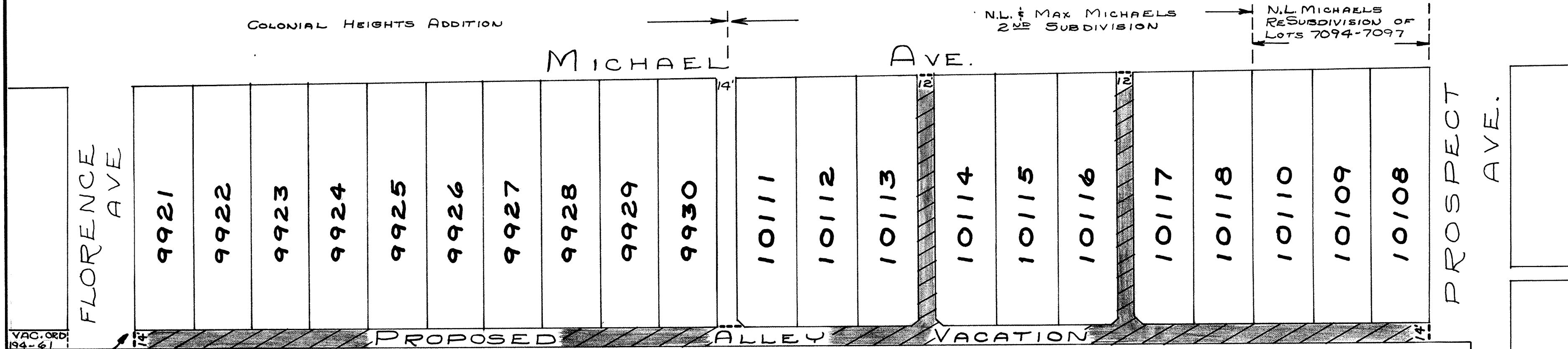
By James R. Myers
Reg. Surveyor 5453

James R. Myers
Reg. Engineer 32719

SECOND FLOOR



ALLEY VACATION IN THE CITY OF LIMA



PLACE OF BEGINNING

312662

For Ordinance to vacate Alley
See Deed Vol. 551 Page 46.

COOK PARK

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 11:48 O'CLOCK A.M.
MAY 13 1974

■ DENOTES AREA TO BE VACATED

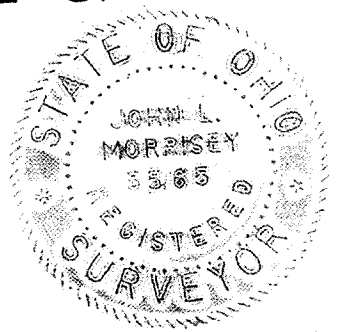
RECORDED May 13 1974
PLAT VOL 13 PAGE 55
Barbara M. Marney
RECORDER
Fee # 830 spk.

SURVEYOR'S CERTIFICATE

TO VACATE THE FOLLOWING DESCRIBED PUBLIC ALLEYS SITUATED IN THE CITY OF LIMA, COUNTY OF ALLEN AND STATE OF OHIO, TO-WIT;

BEGINNING AT THE SOUTHWEST CORNER OF LOT 9921 COLONIAL HEIGHTS ADDITION; THENCE EAST ALONG THE SOUTH LINE OF LOTS 9921, 9922, 9923, 9924, 9925, 9926, 9927, 9928, 9929, 9930, 14' PUBLIC ALLEY, LOTS 10111, 10112, & 10113 TO THE SOUTHEAST CORNER OF LOT 10113, N.L. & MAX MICHAELS 2ND SUBDIVISION; THENCE NORTH TO THE NORTHEAST CORNER OF SAID LOT 10113; THENCE EAST TWELVE (12) FEET TO THE NORTHWEST CORNER OF LOT 10114; THENCE SOUTH TO THE SOUTHWEST CORNER OF SAID LOT 10114; THENCE EAST ALONG THE SOUTH LINE OF LOTS 10114, 10115, & 10116 TO THE SOUTHEAST CORNER OF LOT 10116; THENCE NORTH TO THE NORTHEAST CORNER OF SAID LOT 10116; THENCE EAST TWELVE (12) FEET TO THE NORTHWEST CORNER OF LOT 10117; THENCE SOUTH TO THE SOUTHWEST CORNER OF SAID LOT 10117; THENCE EAST ON THE SOUTH LINE OF LOTS 10117, 10118, 10110, 10109, & 10108 TO THE SOUTHEAST CORNER OF LOT 10108, N.L. MICHAELS RESUBDIVISION OF LOTS 7094-7097; THENCE SOUTH FOURTEEN (14) FEET TO THE NORTH LINE OF COOK PARK; THENCE WEST ALONG THE NORTH LINE OF COOK PARK TO A POINT ON THE WEST LINE OF LOT 9921 EXTENDED SOUTH FOURTEEN (14) FEET; THENCE NORTH FOURTEEN (14) FEET TO THE SOUTHWEST CORNER OF LOT 9921, BEING THE PLACE OF BEGINNING

John L. Morrissey
REGISTERED SURVEYOR #5565



UNIVERSITY HEIGHTS CONDOMINIUM No 9

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio LOT No 25998, UNIVERSITY HEIGHTS SUBDIVISION No 1

SHEET 1 OF 5
EXHIBIT A

ENGINEER AND SURVEYOR'S CERTIFICATE

UNIVERSITY HEIGHTS CONDOMINIUM No.9 is situated in Lot No. 25998 of the University Heights Subdivision No.1 of the Southeast Quarter of Section 34, T-3-S, R-7-E, Bath Township, Allen County, Ohio.

Monuments placed as shown on this Sheet 1 of Exhibit A. Easements and Streets are as shown on said Sheet 1.

We certify that the within drawings designated Exhibit A and consisting of pages numbered consecutively from 1 to 5 correctly represent the building as constructed. Unit dimensions of common areas and dimensions of limited common areas so far as graphically possible and that there are no encroachments on any abutting premises.

Dated at Lima, Ohio *May 23*, 1974.

Kohli and Kalher Associates, Limited

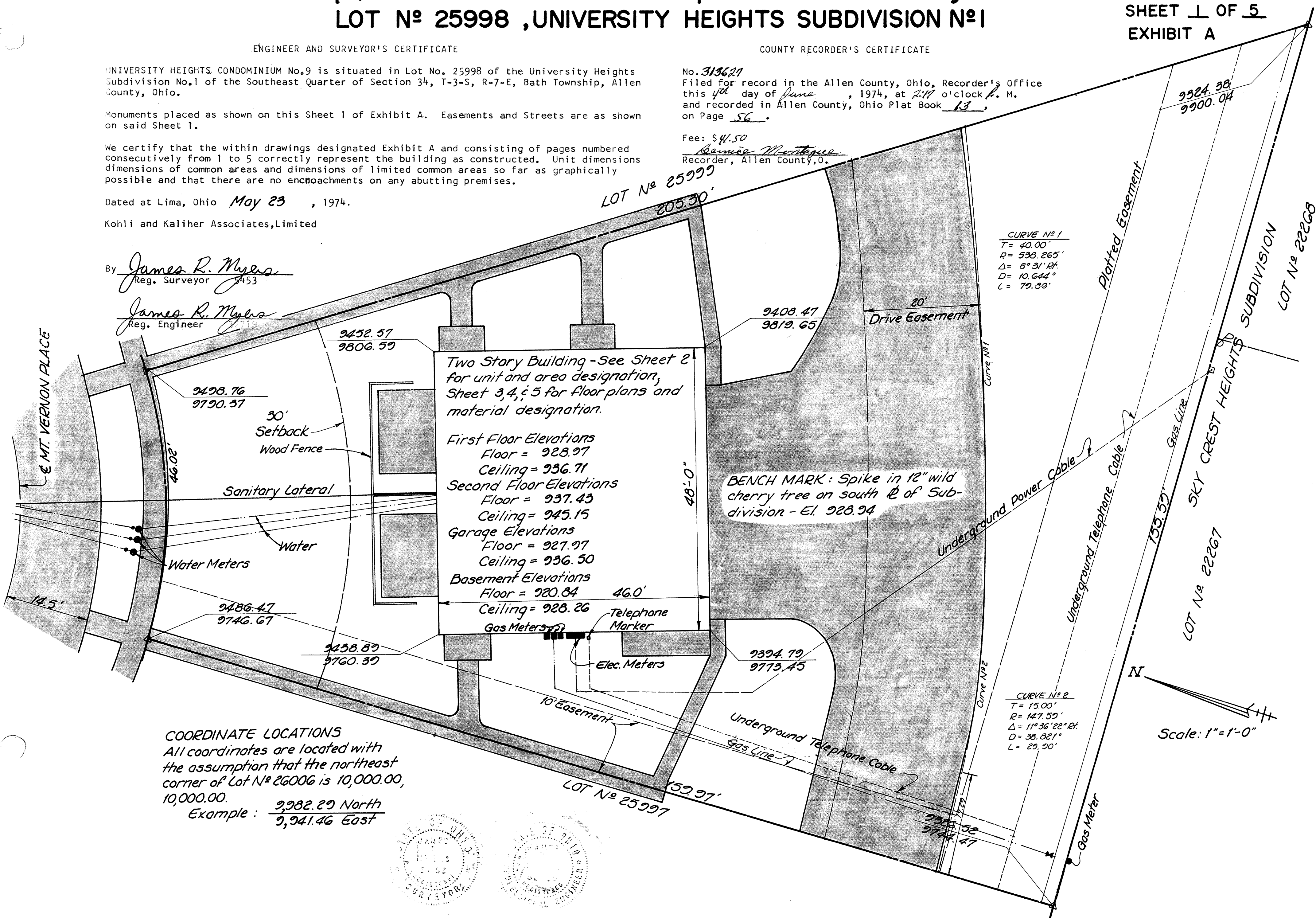
By *James R. Myers*
Reg. Surveyor 5453

James R. Myers
Reg. Engineer

COUNTY RECORDER'S CERTIFICATE

No. *313621*
Filed for record in the Allen County, Ohio, Recorder's Office this *4th* day of *June*, 1974, at *2:17* o'clock *P.* M. and recorded in Allen County, Ohio Plat Book *13*, on Page *56*.

Fee: \$*41.50*
Bernice Montague
Recorder, Allen County, O.



Two Story Building - See Sheet 2 for unit and area designation, Sheet 3, 4, & 5 for floor plans and material designation.

First Floor Elevations
Floor = 928.97
Ceiling = 936.71

Second Floor Elevations
Floor = 937.43
Ceiling = 945.15

Garage Elevations
Floor = 927.97
Ceiling = 936.50

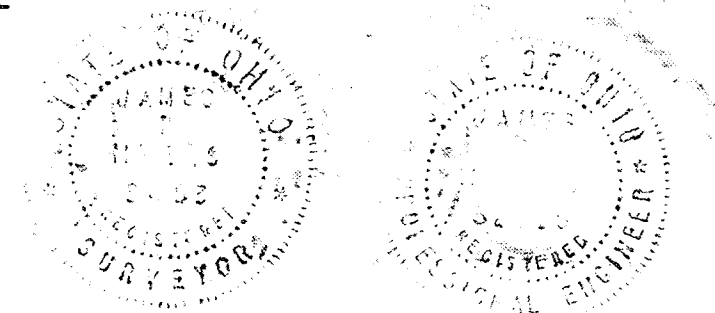
Basement Elevations
Floor = 920.84
Ceiling = 928.26

Gas Meters
Telephone Marker
Elec. Meters

CURVE No 1
T = 40.00'
R = 538.265'
Δ = 8° 31' Rt.
D = 10.644'
L = 79.86'

CURVE No 2
T = 15.00'
R = 147.59'
Δ = 11° 36' 22" Rt.
D = 38.821'
L = 29.90'

COORDINATE LOCATIONS
All coordinates are located with the assumption that the northeast corner of Lot No 26006 is 10,000.00, 10,000.00.
Example: $\frac{9,982.29 \text{ North}}{9,941.46 \text{ East}}$



Scale: 1" = 1'-0"

UNIVERSITY HEIGHTS CONDOMINIUM N^o 9

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 25998, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 2 OF 5
EXHIBIT A

□ Designates:
Common Area

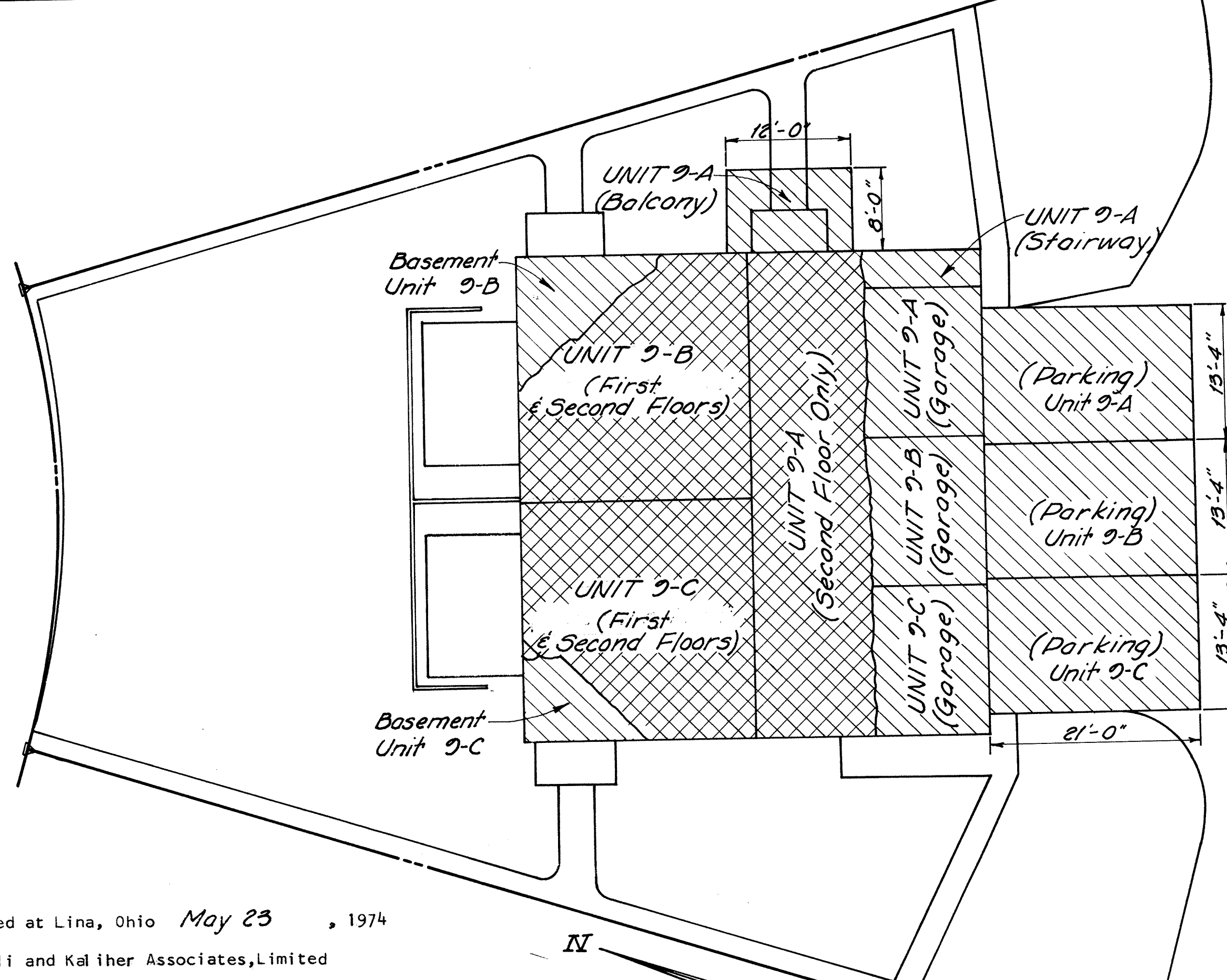
▨ Designates:
Limited Common Area

▩ Designates:
Unit Area

Unit 9-A 1057 S.F.

Unit 9-B 1022 S.F.

Unit 9-C 1020 S.F.



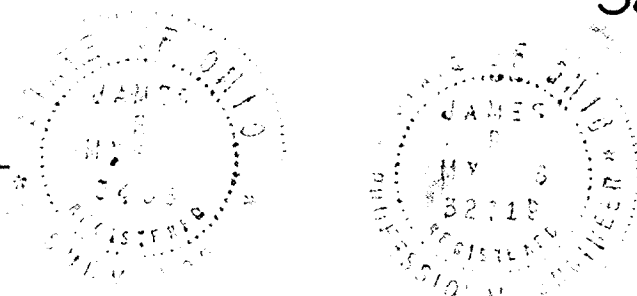
Dated at Lima, Ohio May 23, 1974

Kohli and Kalher Associates, Limited

By: James R. Myers
Reg. Surveyor 5453

Scale: 1" = 1'-0"

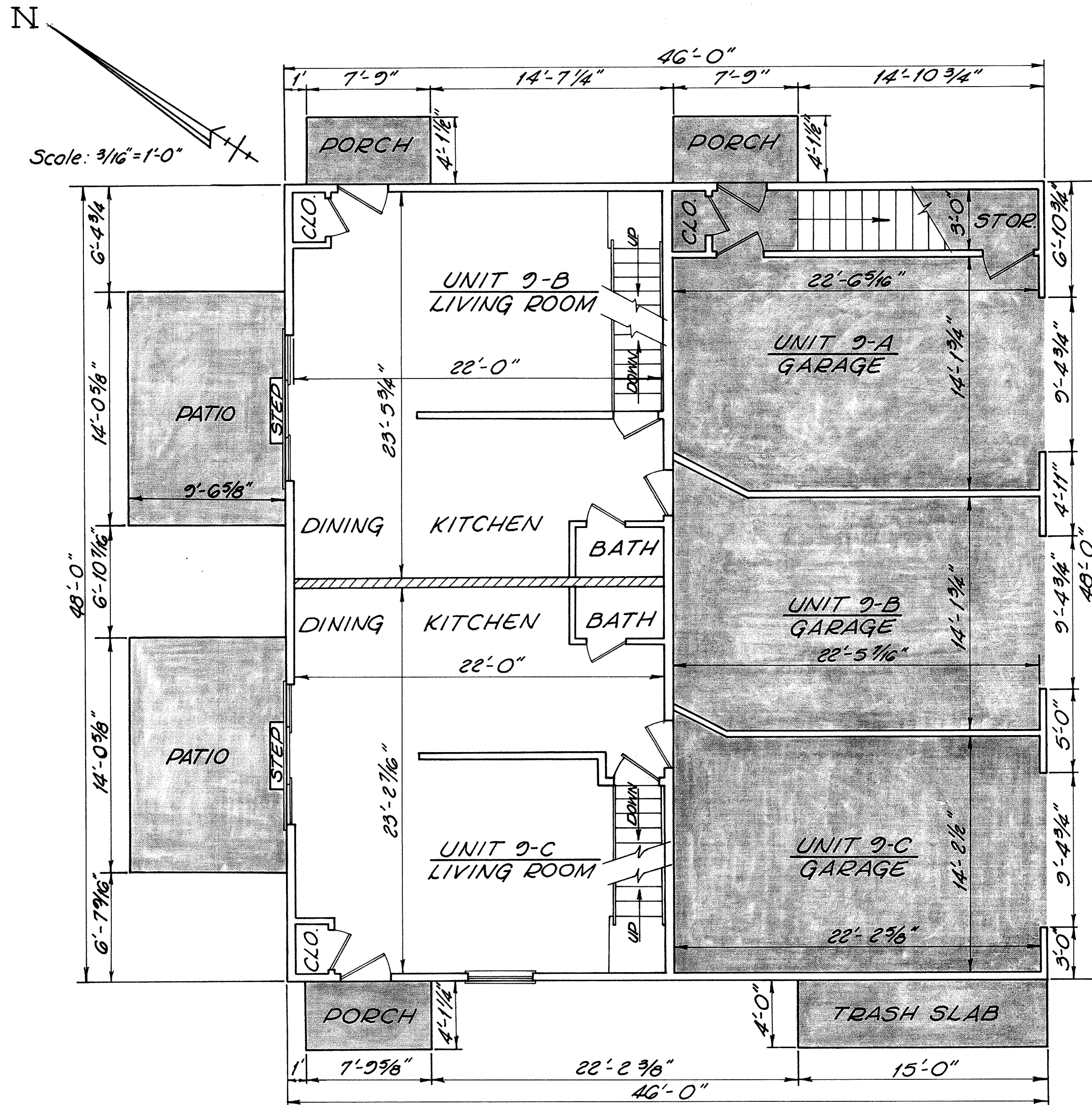
James R. Myers
Reg. Engineer 32 719



UNIVERSITY HEIGHTS CONDOMINIUM No 9

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio
LOT No 25998, UNIVERSITY HEIGHTS SUBDIVISION No 1

SHEET 3 OF 5
EXHIBIT A



FOUNDATION - 10"x18"
Concrete footers; 10" poured-in-place basement walls. Basement under Units 9-B and 9-C.

EXTERIOR WALLS - Typical 2"x4" Studs, 16" O.C.; Insulation - 1/2" Insulation Board; 8" Horizontal Aluminum siding, Brick Facing.

INTERIOR PARTITIONS - 2"x4" Stud Walls and Drywall; Garage Partitions - 2"x4" Studs, 5/8" Drywall each side.

Designates Unit Partitions - 4" Insulation, 2"x4" Staggered Studs 16" O.C., 2 Layers 1/2" Drywall each side, 2"x6" Plate

Designates Concrete

Dated at Lima, Ohio May 23, 1974

Kohli and Kaliher Associates, Limited

James R. Mylra
Reg. Surveyor 5453

James R. Mylra
Reg. Engineer 32719



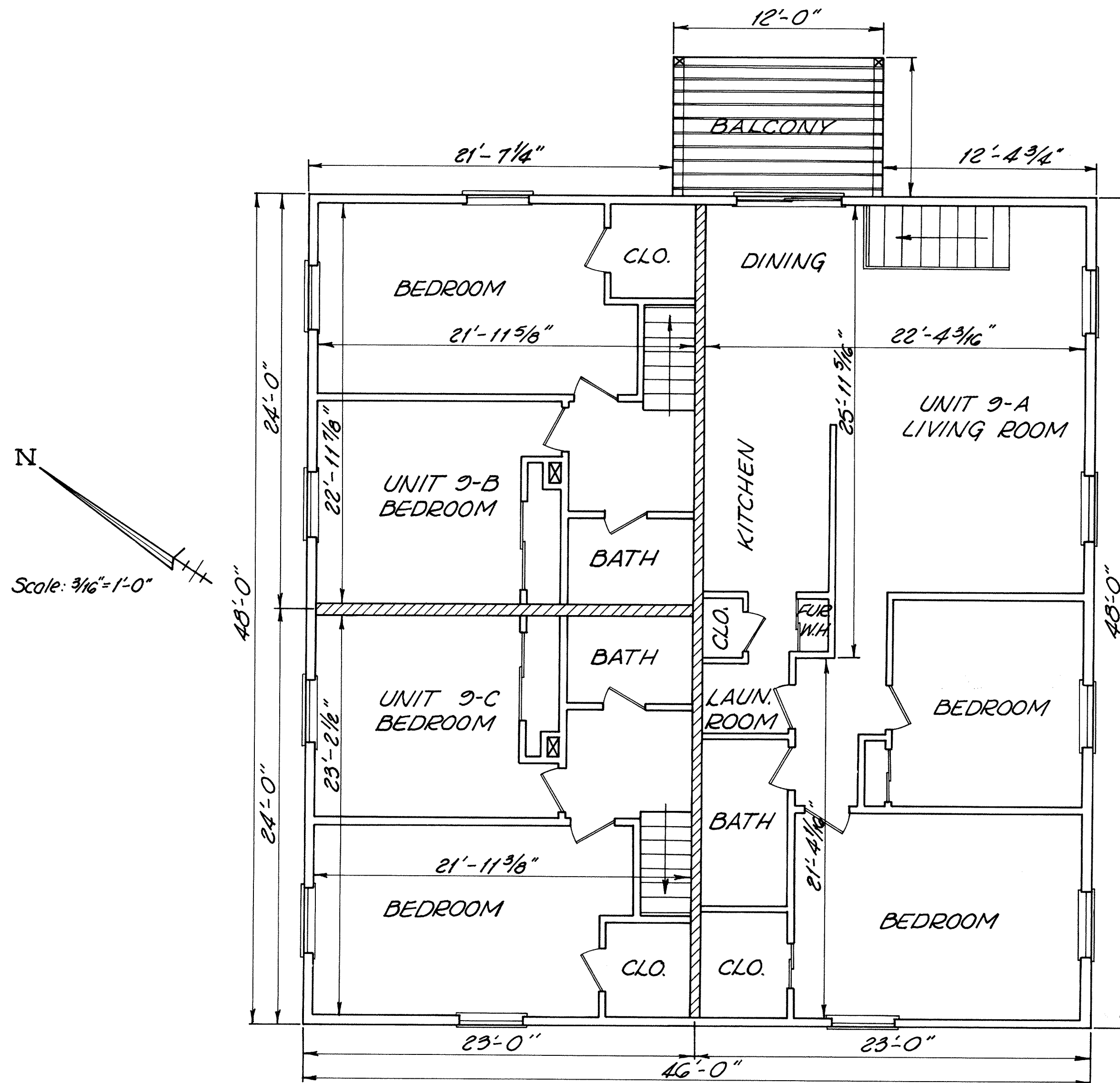
FIRST FLOOR

UNIVERSITY HEIGHTS CONDOMINIUM N^o 9

59

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio
 LOT N^o 25998, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 4 OF 5
 EXHIBIT A



FLOOR JOISTS - 2"x8"
 16" O.C.; Flooring, 3/4" T&G
 Plywood, Insulation;
 Ceiling - Drywall.

ROOF TRUSSES - 24" O.C.,
 Insulation, Drywall ceiling.

ROOF SHEATHING - 5/8"
 Plywood; Roofing: Asphalt
 shingles.

Designates Unit Par-
 titition... 4" Insulated Walls,
 2"x4" Staggered Studs, 2"x6" Plate
 16" O.C., 2 Layers 1/2" Drywall,
 each side.

Scale: 3/16" = 1'-0"

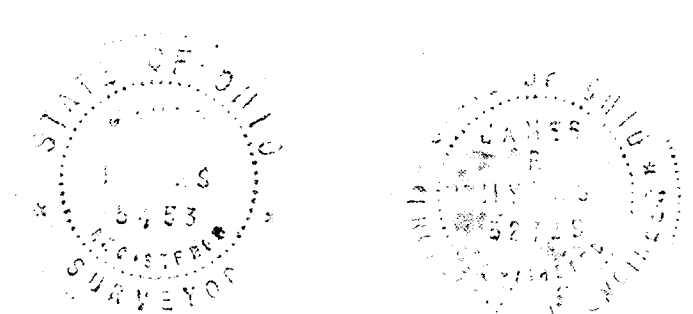
Dated at Lima, Ohio May 23, 1974

Kohli and Kaliher Associates, Limited

James R. Myers
 Reg. Surveyor 5453

James R. Myers
 Reg. Engineer 32719

SECOND FLOOR

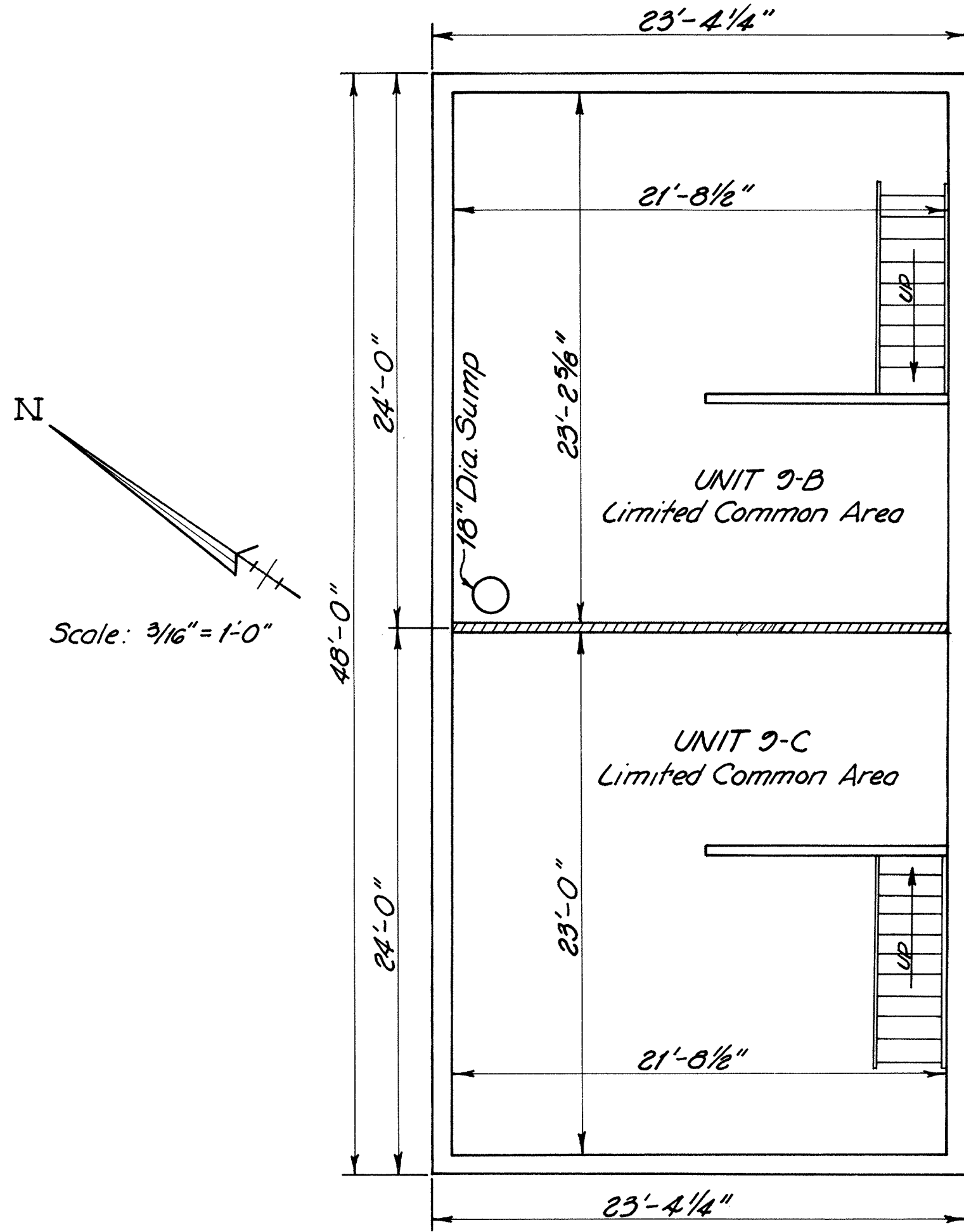


UNIVERSITY HEIGHTS CONDOMINIUM N^o 9

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 25998, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 5 OF 5
EXHIBIT A



N
Scale: 3/16" = 1'-0"

▨ Designates Unit Partition
2"x6" Studs @ 16" O.C.
4" Bat Insulation, 1 Layer 1/2"
Drywall each side.

*For Declaration see Deed Vol. 552
Page 39.*

318627

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 2:17 O'CLOCK P.M.
JUN 4 1974

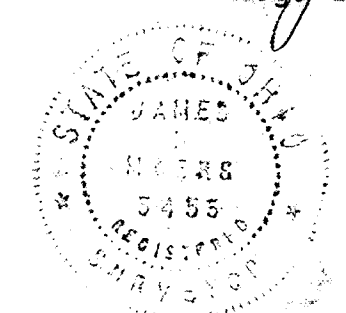
Dated at Lima, Ohio *May 23*, 1974

Kohli and Kalher Associates, Limited

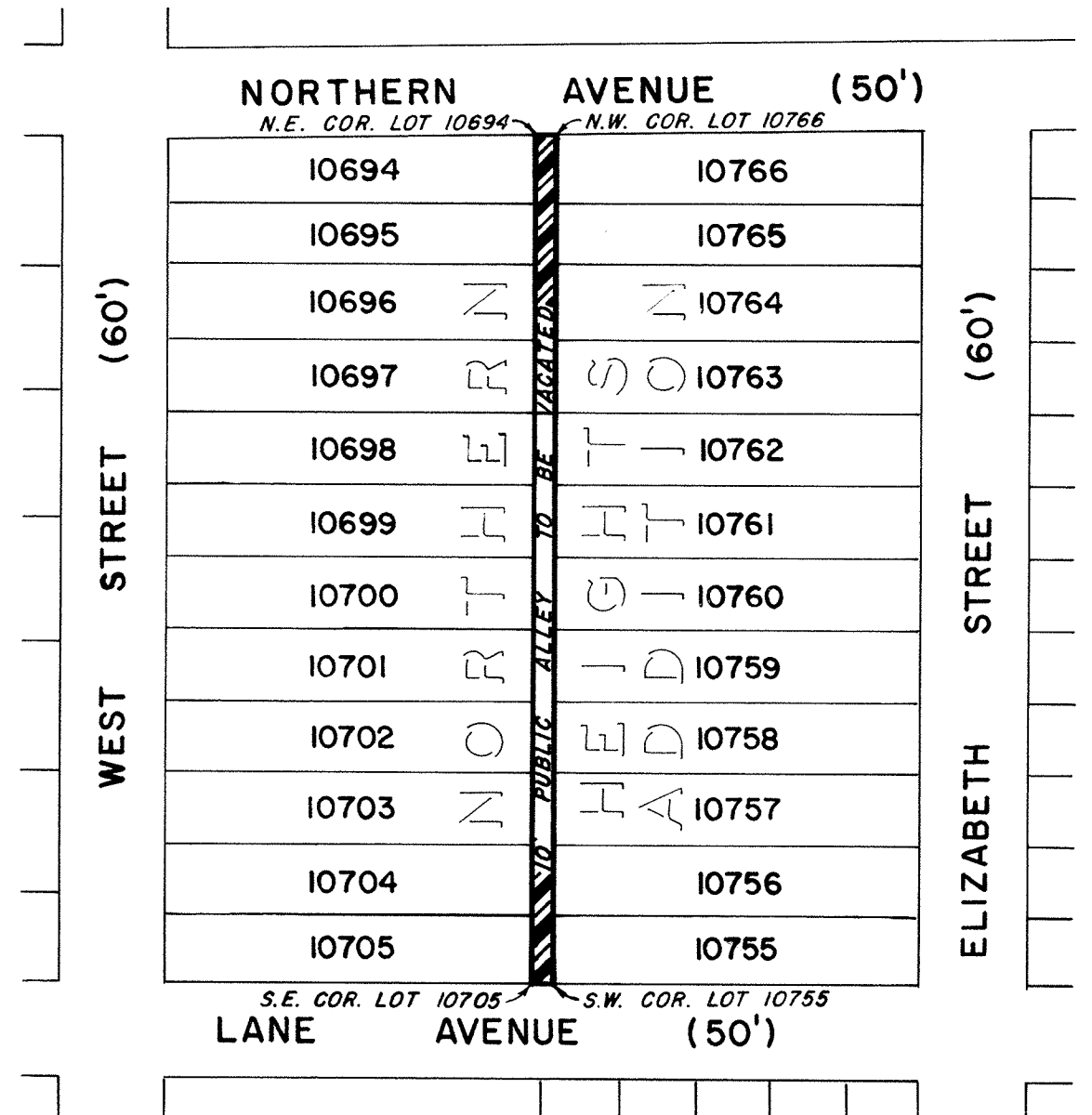
RECORDED June 4 1974
Plat VOL 13 PAGE 56
Bernice Montano
Recorder
Fee 41.50
MAY 27 1974

James R. Myers
Reg. Surveyor 5453

James R. Myers
Reg. Engineer 32719



BASEMENT



VACATION PLAT
 OF
 A 10' PUBLIC ALLEY
 IN NORTHERN HEIGHTS ADDITION
 TO THE CITY OF LIMA,
 ALLEN COUNTY, OHIO

Scale : 1" = 100'

DESCRIPTION

BEING A 10 FOOT PUBLIC ALLEY AS PLATTED IN NORTHERN HEIGHTS ADDITION, TO THE CITY OF LIMA, ALLEN COUNTY, OHIO AND BEING FURTHER DESCRIBED AS FOLLOWS :

BEGINNING AT THE NORTHWEST CORNER OF LOT 10766 IN NORTHERN HEIGHTS ADDITION TO THE CITY OF LIMA; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF LOT'S 10766 THRU 10755 TO THE SOUTHWEST CORNER OF LOT 10755; THENCE WESTERLY TO THE SOUTHEAST CORNER OF LOT 10705; THENCE NORTHERLY ALONG THE EASTERLY LINE OF LOT'S 10705 THRU 10694 TO THE NORTHEAST CORNER OF LOT 10694; THENCE EASTERLY TO THE NORTHWEST CORNER OF LOT 10766 AND THE PLACE OF BEGINNING.

February 12, 1974
 Dwn by DRF

Sheldon & Associates, Inc.
 1430 North Cole Street
 Lima, Ohio

Albert O. Weisman
 Albert O. Weisman
 Reg. Surveyor #6037

*For Ordinance to Vacate Alley
 See Deed Vol. 552 Page 512.*

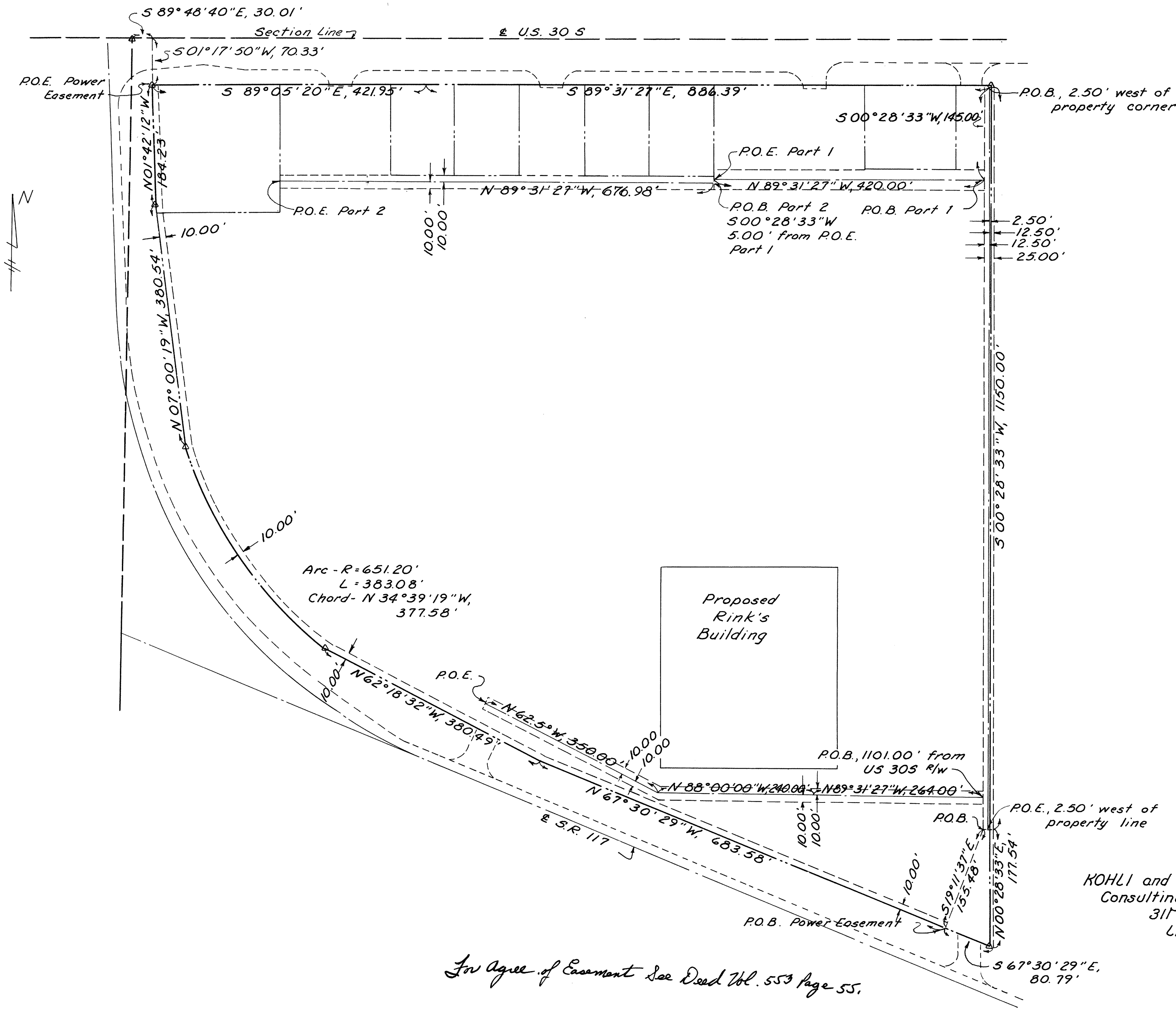


314216

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 2:07 O'CLOCK P.M.
 JUN 19 1974

RECORDED June 18 1974
 Plat VOL 13 PAGE 61
Carmine Montague
 REG. RECORDER
File # 8-30 by K

ROSCHMAN SHOPPING CENTER PHASE I SANITARY & WATER EASEMENTS



314498

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 2:32 O'CLOCK P.M.
 JUN 25 1974

RECORDED June 25 1974
 Plat VOL 13 PAGE 62
Bonnie Montagna
 RECORDER
Lee 8.30

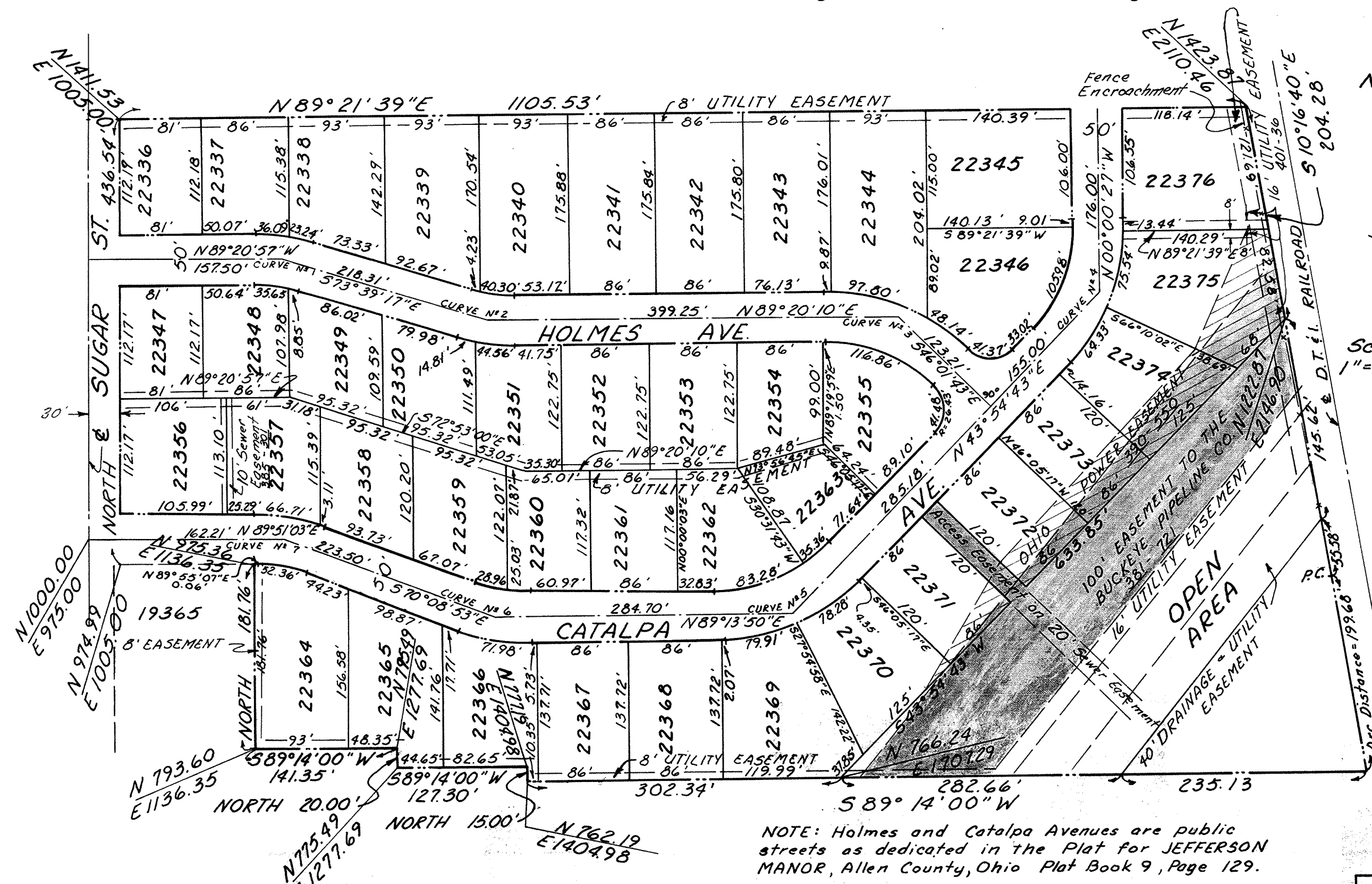
KOHLI and KALHER ASSOCIATES, Ltd
 Consulting Engineers & Surveyors
 311 E Market St
 Lima, Ohio

Dwg. No 1974-3

For Agree of Easement See Deed Vol. 553 Page 55.

AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio



For Affidavit Correcting Distance
See Deed Vol 590 pg 718

N ^o	Δ	D	T	R	L
1	16°59'46"	32°44.4'	26.15'	175'	519.1'
2	17°00'33"	32°44.4'	26.17'	175'	519.5'
3	44°38'07"	32°44.4'	71.84'	175'	136.33'
4	43°55'10"	32°44.4'	70.56'	175'	134.14'
5	45°19'07"	32°44.4'	73.06'	175'	138.42'
6	20°37'17"	32°44.4'	31.84'	175'	62.98'
7	20°00'04"	32°44.4'	30.86'	175'	61.09'

Scale: 1"=100'

Condominium Description	Sheet
Unit, Common, and Limited Common Areas	1
Unit Plans	2-3
Utility Locations	4-6
	7-8

Condominium Boundary Line	—————
Center Line	—————
Platted Lot Line	—————
Easement	—————

COORDINATE LOCATIONS
All coordinates are located with the assumption that the intersection of the centerline of Sugar Street and the centerline of Catalpa Avenue is N 1000.00, E 975.00.

OWNER	VOLUME	PAGE	TYPE
Buckeye Pipeline	381	721-726	100' Pipeline
Ohio Power	390	550	Utility
Lot 22376	401	36	Utility
Lot 22357	385	301-302	10' Sewer
Lima Telephone & Telegraph	390	270-271	Utility
Ohio Power	386	725-726	Utility
Ohio Power	397	157	Utility
Ohio * Indiana Consolidated			
Natural * Illuminating Gas Co. - 109		555	Gas
Ohio Power	43	25	Utility

All other Easements are as shown.

This plat is an accurate representation of bearings and distances of an area which shall be recorded as AMERICAN CORNERS CONDOMINIUM and was previously known as JEFFERSON MANOR SUBDIVISION. * It should be noted that various bearings and distances do not agree when both plats are compared even though they represent the same lines on the ground. This disagreement was caused by mathematical errors on the Jefferson Manor Plat. The bearings and distances on this plat are based on a survey with an error of closure of 1 foot in 90,386 feet.

DESCRIPTION
AMERICAN CORNERS CONDOMINIUM is situated in the City of Lima and the Southwest Quarter of Section 5, Perry Township, T-4-S, R-7-E, Allen County, Ohio, more particularly described as follows:
Beginning at the northwest corner of Lot No. 22336 in Jefferson Manor Subdivision as platted in Plat Book No. 9, Page 129 at the Allen County Recorder's Office; thence N 89° 21' 39" E with the north line of Lots No. 22336 to 22345 inclusive and Lot No. 22376 in said Subdivision, 1105.53 feet to the northeast corner of Lot No. 22376 and the west right-of-way line of the Detroit, Toledo & Ironton Railroad (said right-of-way line located 33 feet in a westerly direction and parallel to the centerline of the main line tracks, the 33 feet being measured at right angles to said centerline); thence S 10° 16' 40" E with the east line of Lot No. 22376 and 22375 and the west right-of-way line of said Railroad also being 33 feet west of and parallel to the centerline of the main line tracks 204.28 feet; thence continuing S 10° 16' 40" E with the east line of said Subdivision and with the west right-of-way line of said Railroad, 33 feet west of and parallel to the centerline of said main line tracks to an original corner of said Subdivision, 201.20 feet; thence continuing S 10° 16' 40" E with the west right-of-way line of said Railroad, 33 feet west of and parallel to said Railroad & 55.58 feet; thence with a 1° 00' 20.8" curve (chord definition) to the right, said curve being 33 feet west of and parallel to a 1° 00' 00" curve (chord definition) of the centerline of said Railroad, 199.68 feet; thence S 89° 14' 00" W, 235.13 feet to a corner of said Subdivision; thence continuing S 89° 14' 00" W with the south line of said Subdivision, 282.66 feet to the south line of Lot No. 22369 in said Subdivision; thence continuing S 89° 14' 00" W with the south line of Lot No. 22369, 119.99 feet and with the south line of Lot No. 22368, 86.00 feet and with the south line of Lot No. 22367, 86.00 feet and with the south line of Lot No. 22366, 10.35 feet or a total distance of 302.34 feet; thence N 0° 00' 00" W, 15.00 feet; thence S 89° 14' 00" W with the south line of Lot No. 22366, 82.65 feet and with the south line of Lot No. 22365, 44.65 feet or a total distance of 127.30 feet; thence N 0° 00' 00" W, 20.00 feet; thence S 89° 14' 00" W with the south line of Lot No. 22365, 48.35 feet and the south line of Lot No. 22364, 93.00 feet or a total distance of 141.35 feet to the southwest corner of Lot No. 22364 in said Subdivision; thence N 0° 00' 00" W with the west line of Lot No. 22364, 181.76 feet to the northwest corner of Lot No. 22364 and the south line of Catalpa Avenue; thence S 89° 50' 30" W with the south line of Catalpa Avenue, 131.35 feet to the west line of Sugar Street; thence N 0° 00' 00" W with the west line of Lot No. 22356, 22347 and 22336 and the east line of Sugar Street, 436.54 feet to the PLACE OF BEGINNING, subject to all legal easements and rights-of-way of record and containing a total area of 725,215 square feet or 16.649 Acres more or less comprised of 620,374 square feet or 14.241 Acres more or less of Condominium Area and 104,841 square feet or 2.408 Acres more or less of area dedicated for roadway purposes.

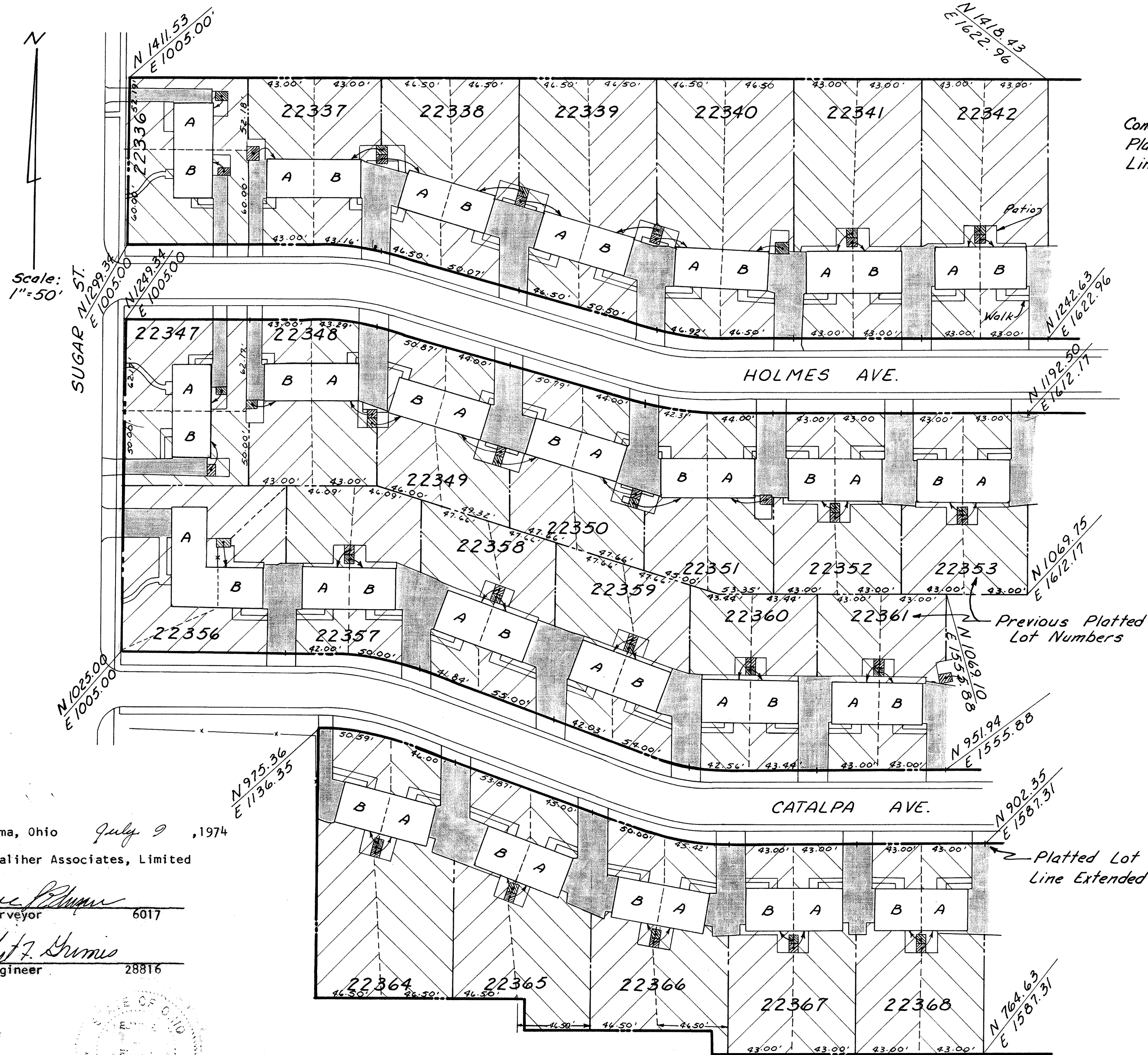
We certify that the hereon drawings entitled American Corners Condominium and numbered consecutively Sheets 1 of 8 to 8 of 8 correctly represent buildings as constructed, unit dimensions, directions of areas designated common, limited common and unit so far as graphically possible. Encroachments are as shown.

July 9, 1974
 Eugene P. Main, Reg. Surveyor 6017
 Robert F. Grimes, Reg. Engineer 28816

* JEFFERSON MANOR SUBDIVISION and a parcel of Section land located in the SW 1/4, Section 5, Perry Township.

AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio



LEGEND

Condominium Boundary Line ————

Platted Lot Line - - - - -

Limited Common Areas

a. Yards, Patios, and Walks

1. Unit A //

2. Unit B //

(A is on left, B is on right as viewed racing building)

b. Drives

NOTE: Shaded areas indicate drives for the use of units immediately adjacent thereto.

c. Storage sheds

NOTE: Arrow indicates unit entitled to the exclusive use of the designated (storage) area.

Scale: 1"=50'

Dated at Lima, Ohio July 9, 1974
Kohli and Kaliher Associates, Limited

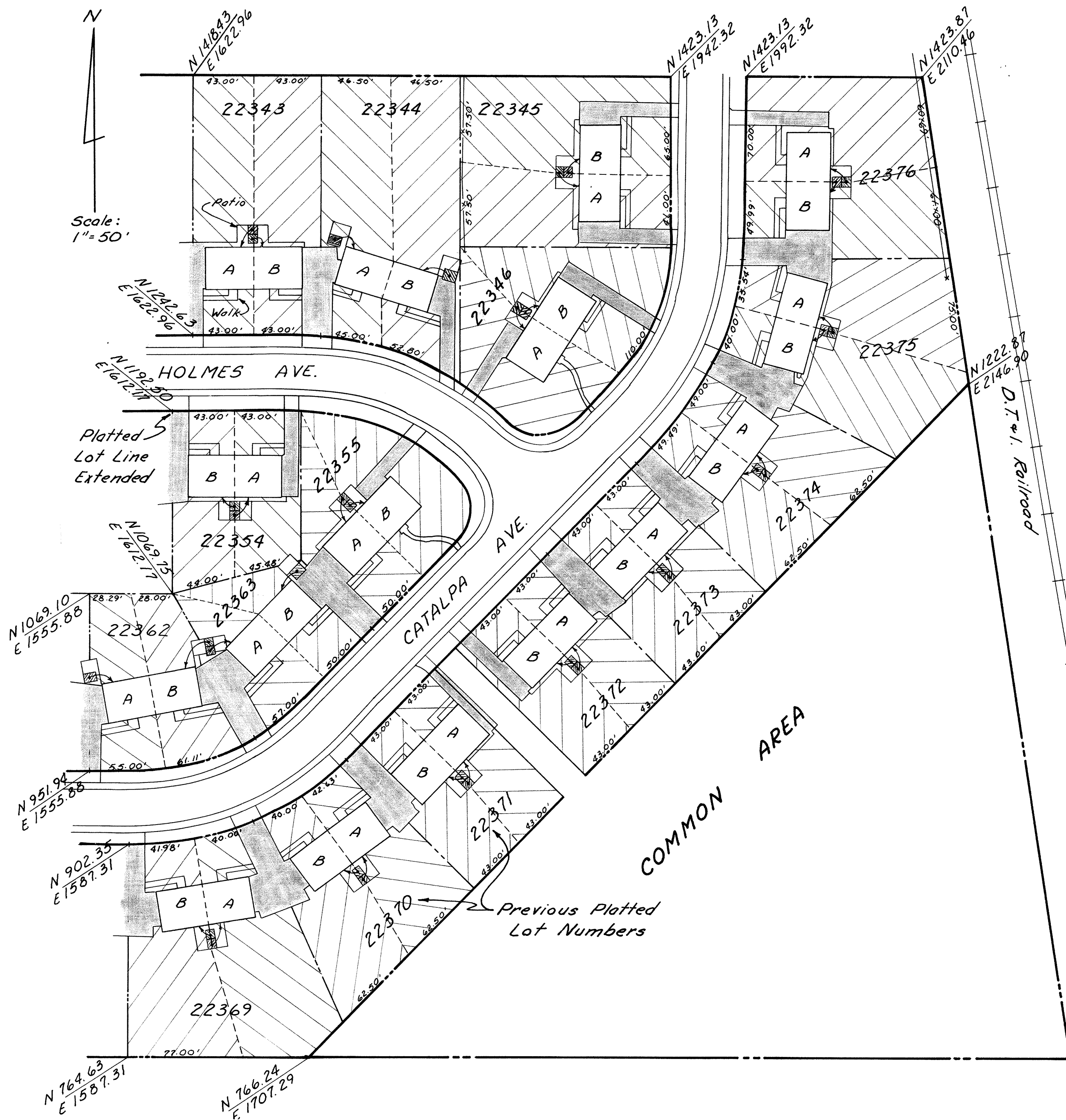
By Ernest J. Schuman
Reg. Surveyor 6017

Robert F. Yermis
Reg. Engineer 28816



AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio



LEGEND

Condominium Boundary Line
 Platted Lot Line

Limited Common

a. Yards, Patios, and Walks

1. Unit A

2. Unit B

(A is on left, B is on right as viewed facing building)

b. Drives

NOTE: Shaded areas indicate drives for the use of units immediately adjacent thereto.

c. Storage sheds

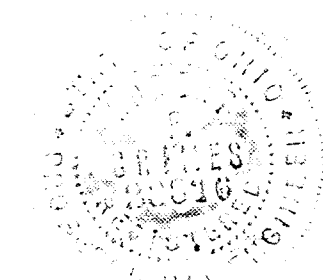
NOTE: Arrow indicates unit entitled to the exclusive use of the designated (storage) area.

Dated at Lima, Ohio July 9, 1974

Kohli and Kalher Associates, Limited

By Eugene Redman
Reg. Surveyor 6017

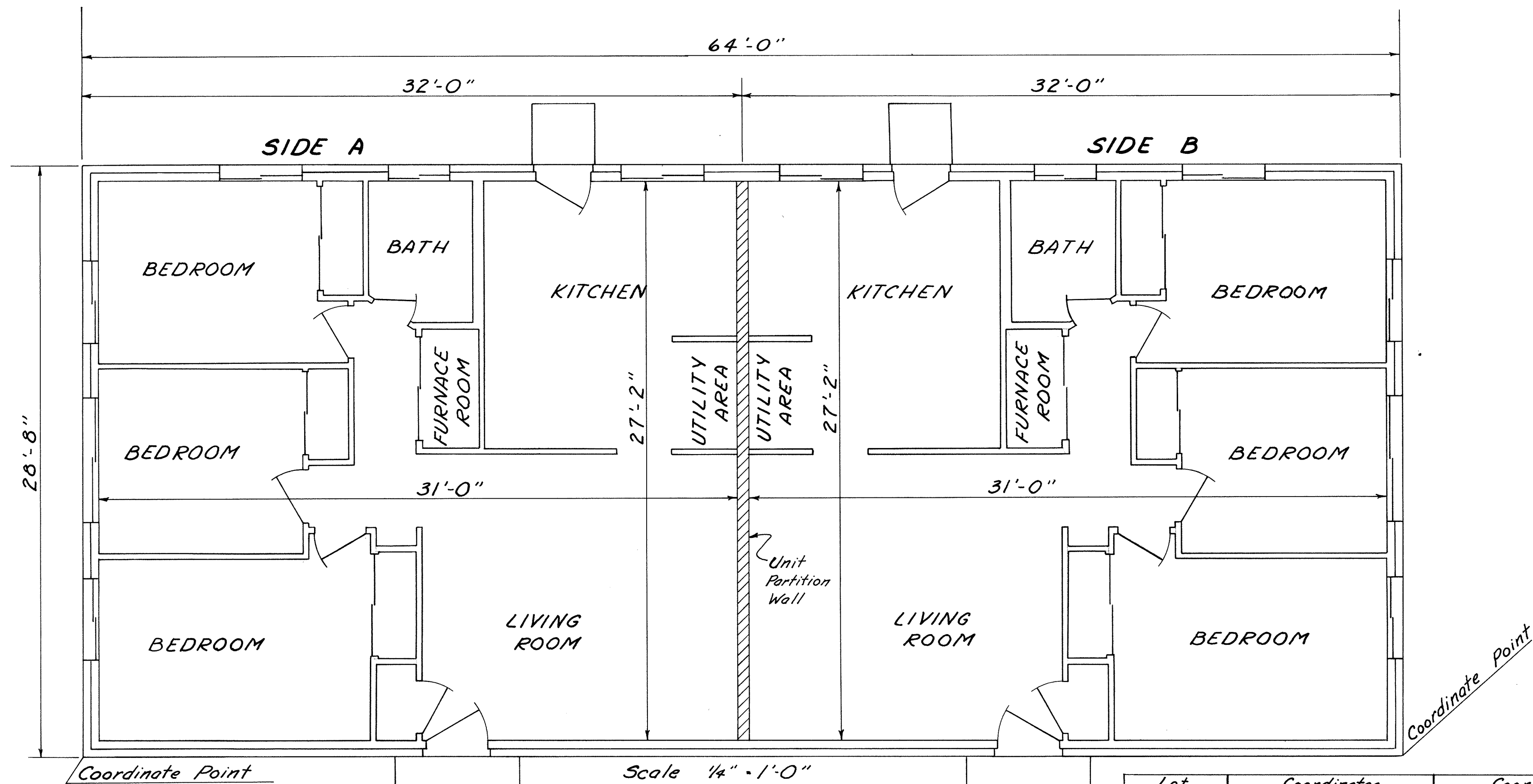
Robert F. Grimes
Reg. Engineer 28816



AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio

66
4
8



Coordinate Point

Scale 1/4" = 1'-0"

Coordinate Point

PRINCIPAL MATERIALS OF CONSTRUCTION

Roof - Asbestos Shingle

Exterior - 2x4 Frame Construction with
Brick Veneer on Concrete Slab

Interior - Drywall on 2x4 Construction
Fully Carpeted except for
Tile in Bath and Kitchen.
Ceiling height equals 8'-0"

Three Bedroom = 842 sq. ft. per unit side

Dated at Lima, Ohio July 9, 1974

Kohli and Kaliher Associates, Limited

By Eugene Redman
Reg. Surveyor 6017

Robert F. Shuman
Reg. Engineer 28816

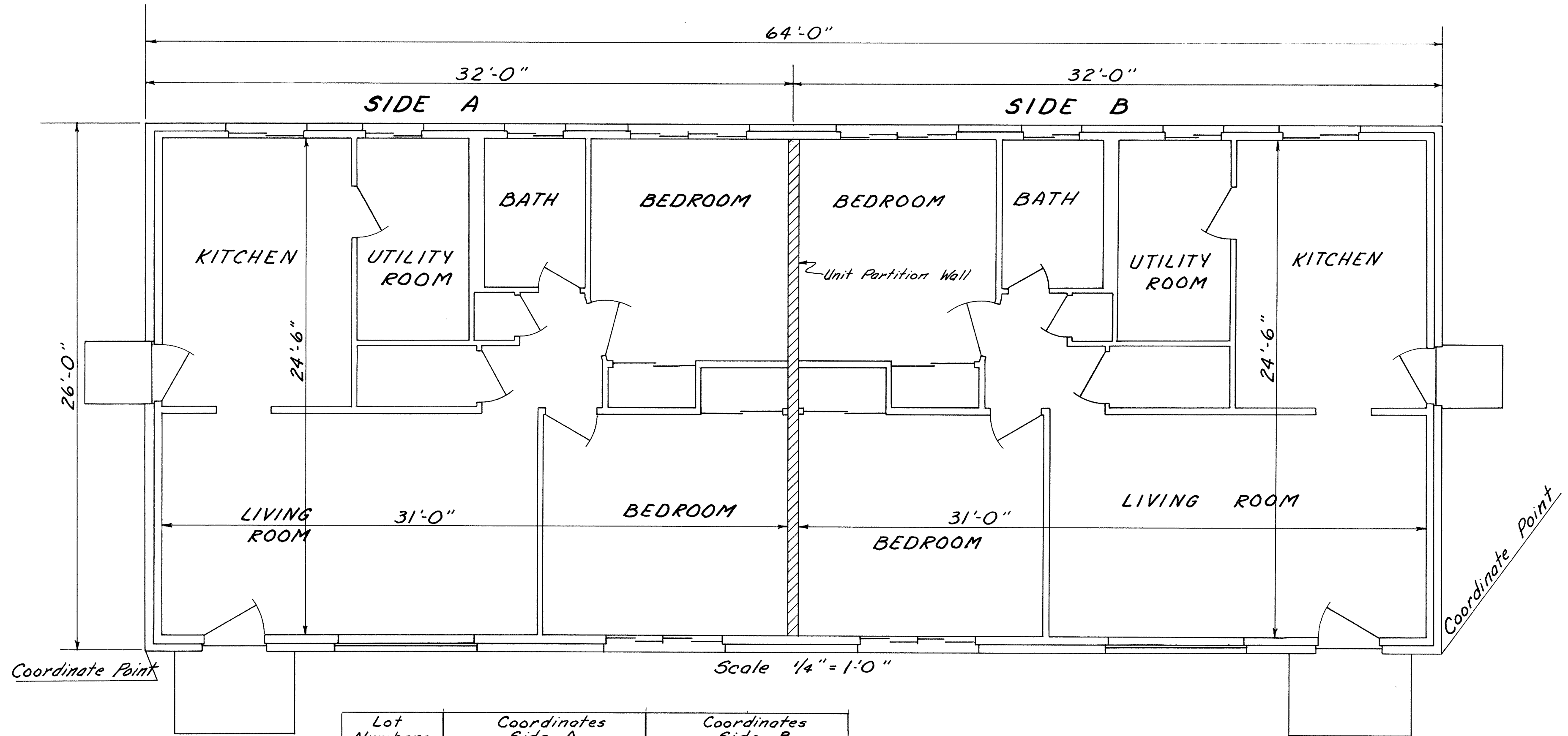


Lot Numbers	Coordinates Side A		Coordinates Side B	
22341	1270.662	1461.896	1271.359	1525.866
22342	1273.579	1548.038	1274.248	1611.992
22343	1272.722	1633.565	1273.562	1697.613
22345	1321.579	1911.117	1385.702	1911.065
22346	1214.169	1860.693	1268.279	1894.232
22352	1161.346	1515.045	1160.619	1451.047
22353	1160.733	1600.804	1159.669	1536.576
22354	1163.488	1686.864	1162.678	1622.753
22355	1084.063	1733.836	1129.729	1778.309
22357	1055.087	1123.997	1055.185	1188.098
22358	1042.346	1212.550	1020.760	1272.876
22359	1009.831	1303.274	988.147	1363.579
22360	981.858	1394.814	981.842	1458.803
22361	981.984	1481.029	982.094	1545.067
22364	924.236	1216.899	939.452	1154.712
22365	890.276	1310.976	912.097	1250.772
22366	868.025	1402.579	878.116	1339.245
22367	871.186	1490.247	870.380	1426.151
22368	871.392	1576.231	871.245	1512.062
22369	883.499	1666.376	871.573	1603.289
22370	933.486	1744.287	894.499	1693.454
22371	998.093	1805.139	951.968	1760.710
22372	1074.889	1878.555	1028.581	1834.184
22373	1136.842	1938.129	1090.644	1893.717
22374	1204.150	1995.508	1152.197	1957.153
22375	1289.742	2021.978	1227.656	2006.339
22376	1381.618	2020.936	1317.684	2020.843

AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio

67
5
8



Two Bedroom = 760 sq. ft.
per unit side

Dated at Lima, Ohio July 9, 1974
Kohli and Kalher Associates, Limited

By Eugene S. Edman
Reg. Surveyor 6017

Robert F. Shimeo
Reg. Engineer 28816

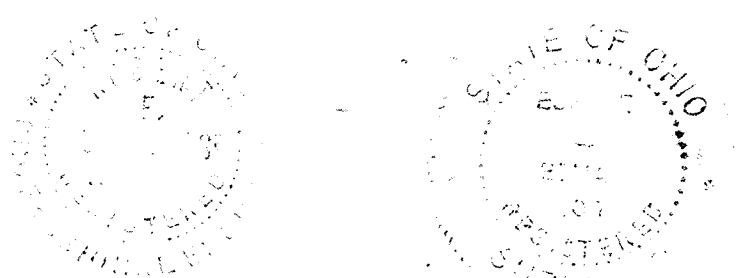
Lot Numbers	Coordinates Side A		Coordinates Side B	
	1	2	3	4
22336	1393.715	1034.927	1329.905	1034.725
22337	1329.890	1096.093	1330.933	1161.035
22338	1324.499	1184.280	1307.027	1245.989
22339	1298.558	1277.165	1279.649	1337.697
22340	1274.454	1371.790	1271.171	1435.770
22344	1277.628	1720.584	1259.365	1781.991
22347	1219.582	1034.978	1155.662	1035.172
22348	1221.135	1160.940	1220.451	1096.911
22349	1194.710	1251.299	1212.330	1189.515
22350	1167.663	1342.859	1185.877	1281.274
22351	1160.446	1429.026	1159.806	1365.012
22362	983.017	1571.250	995.183	1634.193
22363	1015.172	1668.808	1061.497	1713.233

PRINCIPAL MATERIALS OF CONSTRUCTION

Roof - Asbestos Shingle

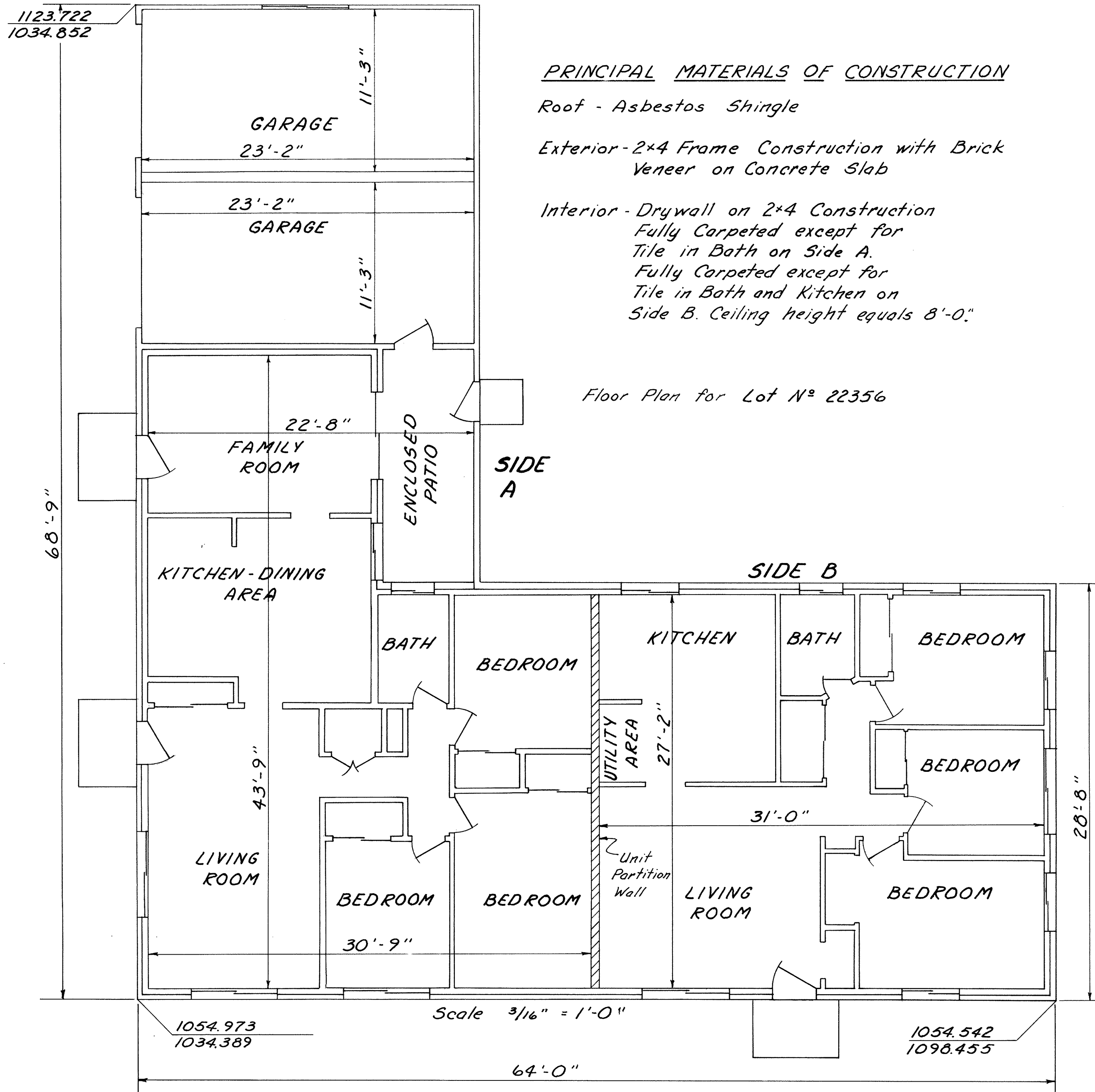
Exterior - 2x4 Frame Construction with Brick Veneer on Concrete Slab

Interior - Drywall on 2x4 Construction Fully Carpeted except for Tile in Bath and Kitchen. Ceiling height equals 8'-0"



AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio



PRINCIPAL MATERIALS OF CONSTRUCTION

Roof - Asbestos Shingle

Exterior - 2x4 Frame Construction with Brick Veneer on Concrete Slab

Interior - Drywall on 2x4 Construction
Fully Carpeted except for Tile in Bath on Side A.
Fully Carpeted except for Tile in Bath and Kitchen on Side B. Ceiling height equals 8'-0."

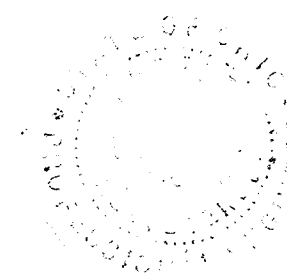
Floor Plan for Lot N° 22356

Unit A = 1,213 sq. ft. + 521 sq. ft. of garage
Unit B = 842 sq. ft.

Dated at Lima, Ohio July 9, 1974
Kohli and Kalher Associates, Limited

By Ernest P. Thompson
Reg. Surveyor 6017

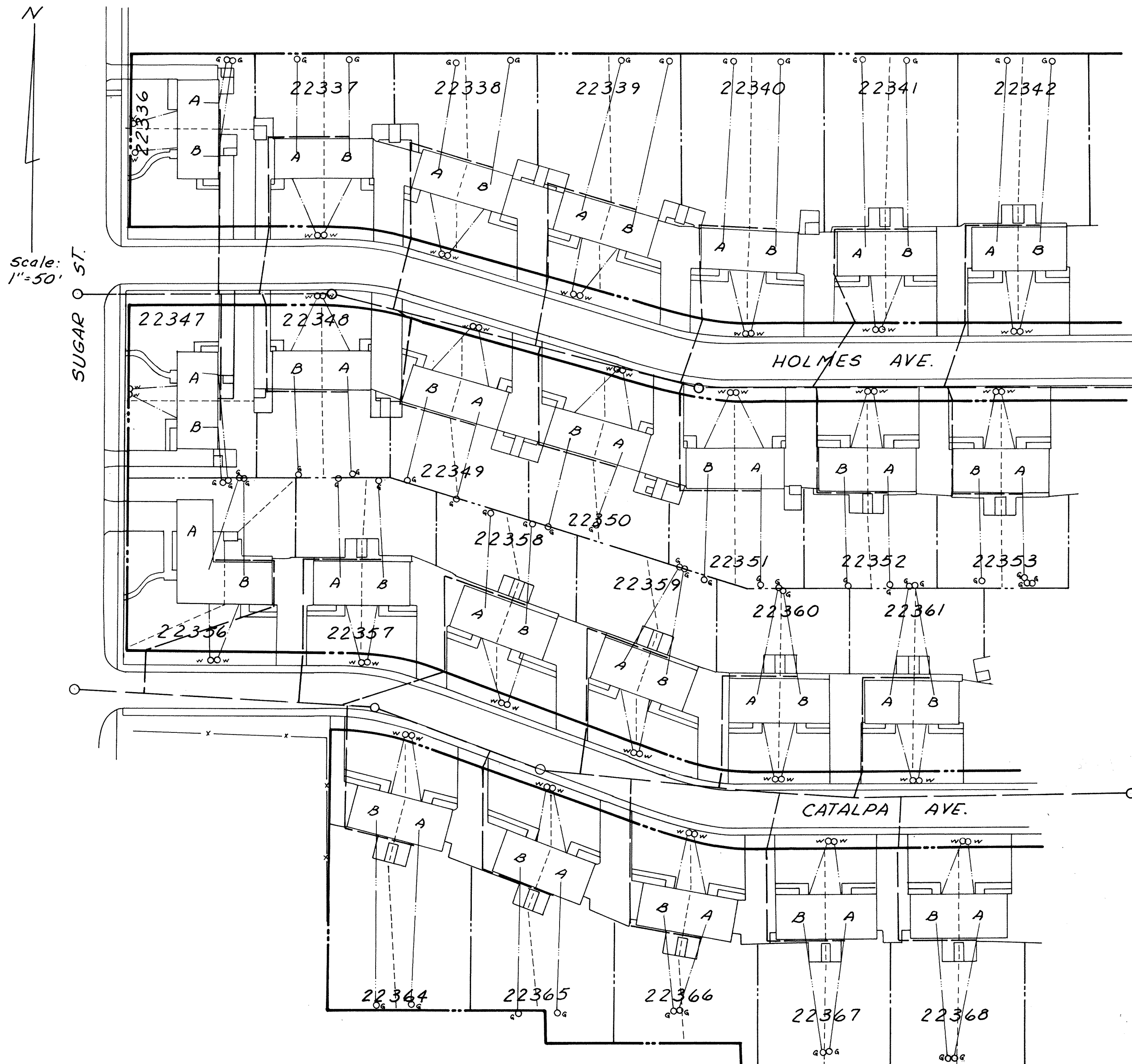
Robert F. Grimes
Reg. Engineer 28816



AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio

67
7
8



Scale: 1"=50'
SUGAR ST.

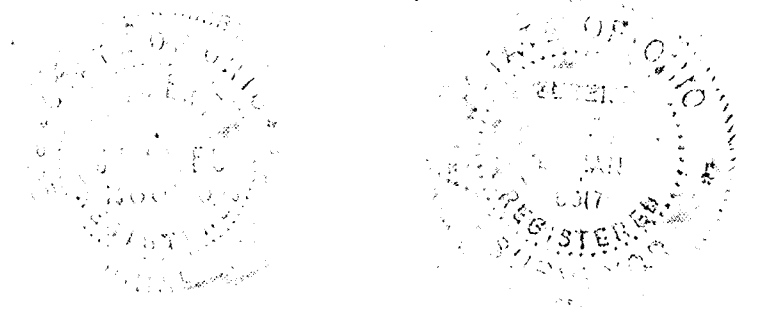
LEGEND

- Condominium Boundary Line
- Platted Lot Line
- Gas Line
- Water Line
- Sanitary Sewer

Dated at Lima, Ohio July 9, 1974
Kohli and Kalher Associates, Limited

By Eugene P. Edman
Reg. Surveyor 6017

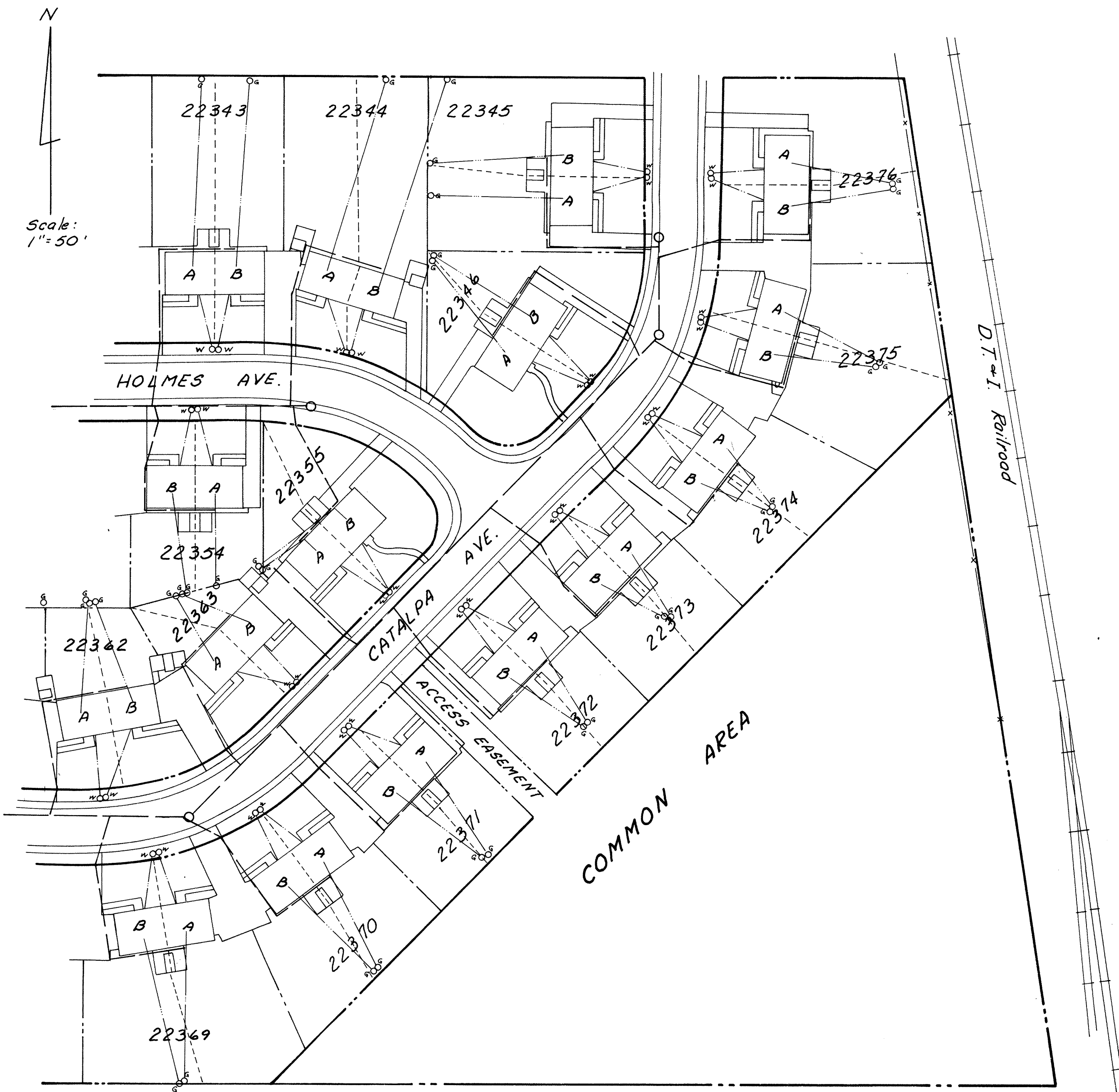
Robert J. Grimes
Reg. Engineer 28816



AMERICAN CORNERS CONDOMINIUM

S.W. 1/4, Sec. 5, Perry Twp., City of Lima, Allen County, Ohio

70
8
8



LEGEND

- Condominium Boundary Line
- Platted Lot Line
- Gas Line
- Water Line
- Sanitary Sewer

316037

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 1:31 O'CLOCK P.M.

AUG 1 1974

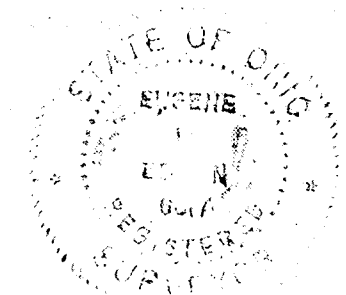
RECORDED Aug 1 1974
Plat VOL 13 PAGE 663
Bernice Mortgage
Fee 6640

See Declaration See Deed Vol. 555 Page 58

Dated at Lima, Ohio July 9, 1974
Kohli and Kalher Associates, Limited

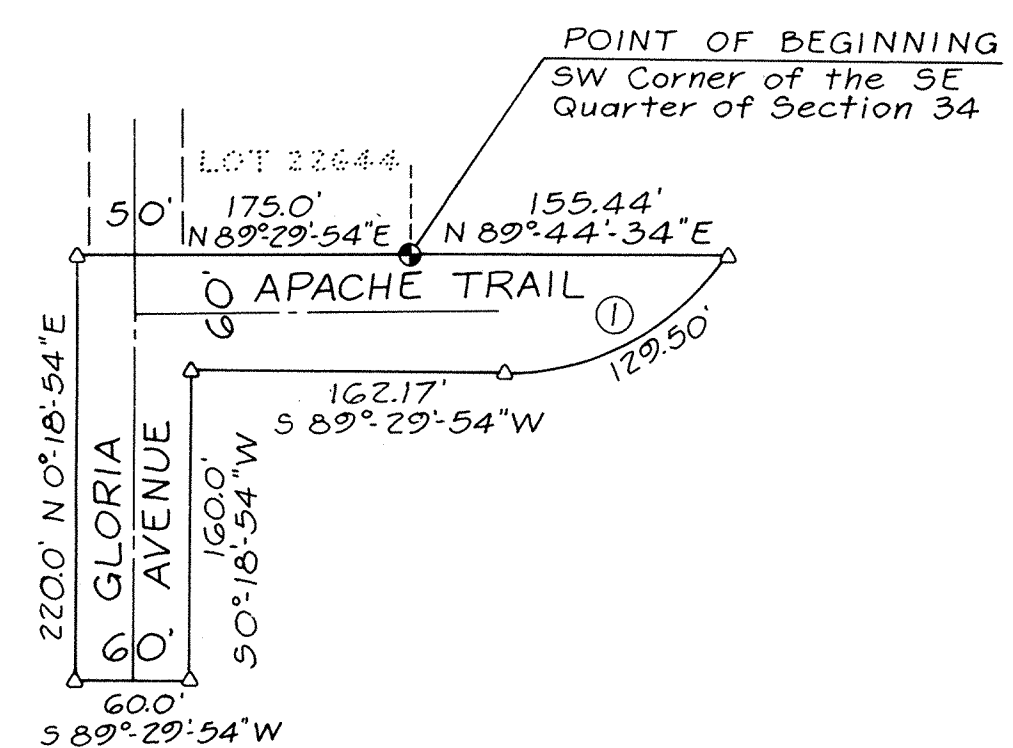
By Eugene F. Edman
Reg. Surveyor 6017

Robert F. Gumes
Reg. Engineer 28816



GLORIA AVENUE EXTENSION 71

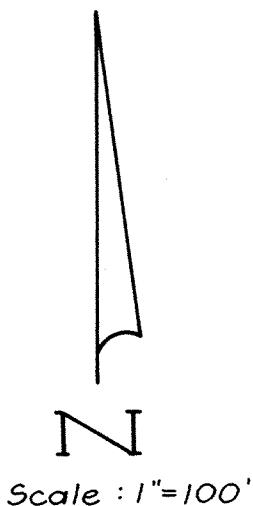
N 1/2 of SECTION 3, T4S - R6E SHAWNEE TOWNSHIP - ALLEN COUNTY, OHIO



Right-of-Way Curve Data

Curve No.	Radius	Delta	Arc	Tangent
①	130.0'	57°04'25"	129.50'	70.69'

△ Denotes Concrete Monument
● Denotes Existing Monument

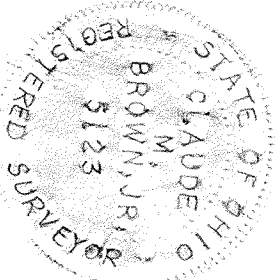


Surveyors Certification

I hereby certify that in September, 1973, I surveyed the following described land in the North 1/2 of Section 3, all in Town 4 South, Range 6 East, in Shawnee Township, Allen County, Ohio, and that concrete monuments were placed as shown.

BEGINNING at an existing monument that is 145.00 feet east of the center-line of Gloria Avenue and along the North line of the Northwest Quarter of Section 3 of said Township, also being the North line of Shawnee Township; thence N 89°-44'-34" E a distance of 155.44 feet to a point; thence along a curve to the right whose Radius is 130.00 feet, a Delta of 57°-04'-25", an Arc Length of 129.50 feet, and whose Chord is S 60°-57'-50" W a distance of 124.21 feet to a point; thence S 89°-29'-54" W a distance of 162.17 feet to a point; thence S 0°-18'-54" W a distance of 160.00 feet to a point; thence S 89°-29'-54" W a distance of 60.00 feet to a point; thence N 0°-18'-54" E a distance of 220.00 feet to a point; thence N 89°-29'-54" E a distance of 175.00 feet to the point of BEGINNING. Said parcel contains 0.63 acres more or less subject to all roadways and easements of record.

Claude M. Brown, Jr.
Claude M. Brown, Jr. P.E. Registered Surveyor No. 5123



Office Of Allen County Auditor

This Plat filed in the Office of the Allen County Auditor this 1 day of August, 19 74.

Fee: No fee

Richard L. Ditto
Allen County Auditor R.C.

Approval Of City Planning Commission

This Plat having been approved by the Planning Commission of the City of Lima, Ohio, I the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City and said Commission approve and accept this Plat this 1st day of August, 19 74.

Jerry V. Moyer
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

Dedication of Gloria Avenue & Apache Trail

LIMA DEVELOPMENT CORPORATION, the undersigned, Owners of the property hereon described, do hereby dedicate to public use the street and right of way shown as Gloria Avenue and Apache Trail. The Owners certify that they will improve this right of way with the following installations: water mains, pavement, and storm sewers as shown on the approved plans for this subdivision.

IN WITNESS WHEREOF, LIMA DEVELOPMENT CORPORATION, by its PRESIDENT, Joseph H. Schulte, and its SECRETARY, Thomas J. Kania, hereunto duly authorized, have hereunto set their hands this 12 day of July, 19 74.

Signed and acknowledged in the presence of:
Mary C. Langenderfer
Edna D. Laver

LIMA DEVELOPMENT CORPORATION
Joseph H. Schulte
Joseph H. Schulte, President
Thomas J. Kania
Thomas J. Kania, Secretary

State Of Ohio
County Of Lucas SS:

On this 12th day of JULY, 19 74, before me personally appeared LIMA DEVELOPMENT CORPORATION, by its PRESIDENT, Joseph H. Schulte, and by its SECRETARY, Thomas J. Kania, who acknowledge the signing of this Plat to be their free act and deed, and the voluntary act of the said corporation, for the purpose hereon mentioned.

IN TESTIMONY WHEREOF, I have hereunto subscribed my hand and affixed my official seal this 12th day of JULY, 19 74.

Richard Erickson
Notary Public in and for Lucas County, Ohio
RICHARD ERICKSON
Notary Public, Lucas County, Ohio
My Commission expires _____
My Commission Expires Mar. 10, 1978

Office Of Allen County Recorder

No. 316057

Filed for record in the Office of the Allen County Recorder this 1st day of August, 19 74 at 3:36 P.M. and recorded in Allen County, Ohio Plat Book 13 on page 71.

Fee: 8.30

Bernice Montague
Allen County Recorder

SHAWNEE WOODS CONDOMINIUM PARCEL ONE

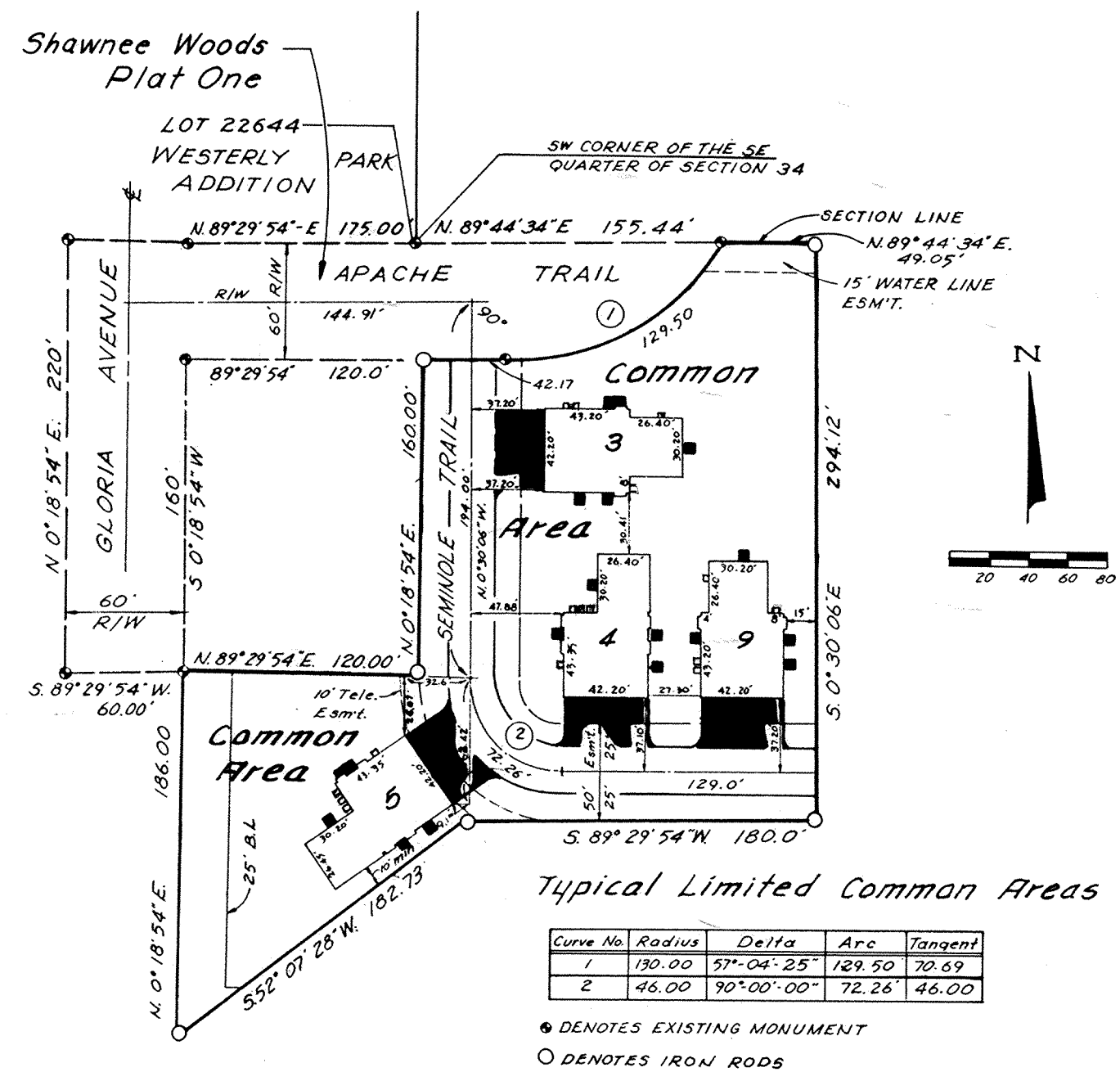
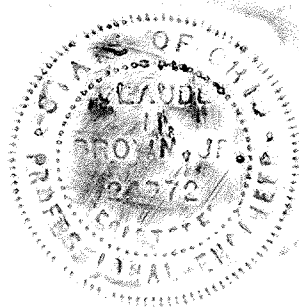
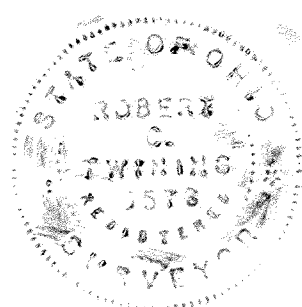
DRAWINGS
AND
CERTIFICATION

July 22, 1974

The set of drawings attached hereto; consisting of a plot plan of Shawnee Woods Condominium Parcel One, eight pages of floor plans for buildings numbered 3, 4, 5 and 9, and four pages of typical elevations of said buildings; show, insofar as is graphically possible: (i) the particulars of the buildings in the condominium, including but not limited to, the layout, location, designation, and dimensions of each unit therein; and (ii) the layout, location, and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned, being, respectively, a registered surveyor and a licensed professional engineer, hereby certify that said drawings accurately show the buildings as constructed.

Robert C. Twining
ROBERT C. TWINING, Registered
Surveyor No. 5576

Claude M. Brown, Jr.
CLAUDE M. BROWN, JR., Registered
Engineer No. 24372



Typical Limited Common Areas

316350

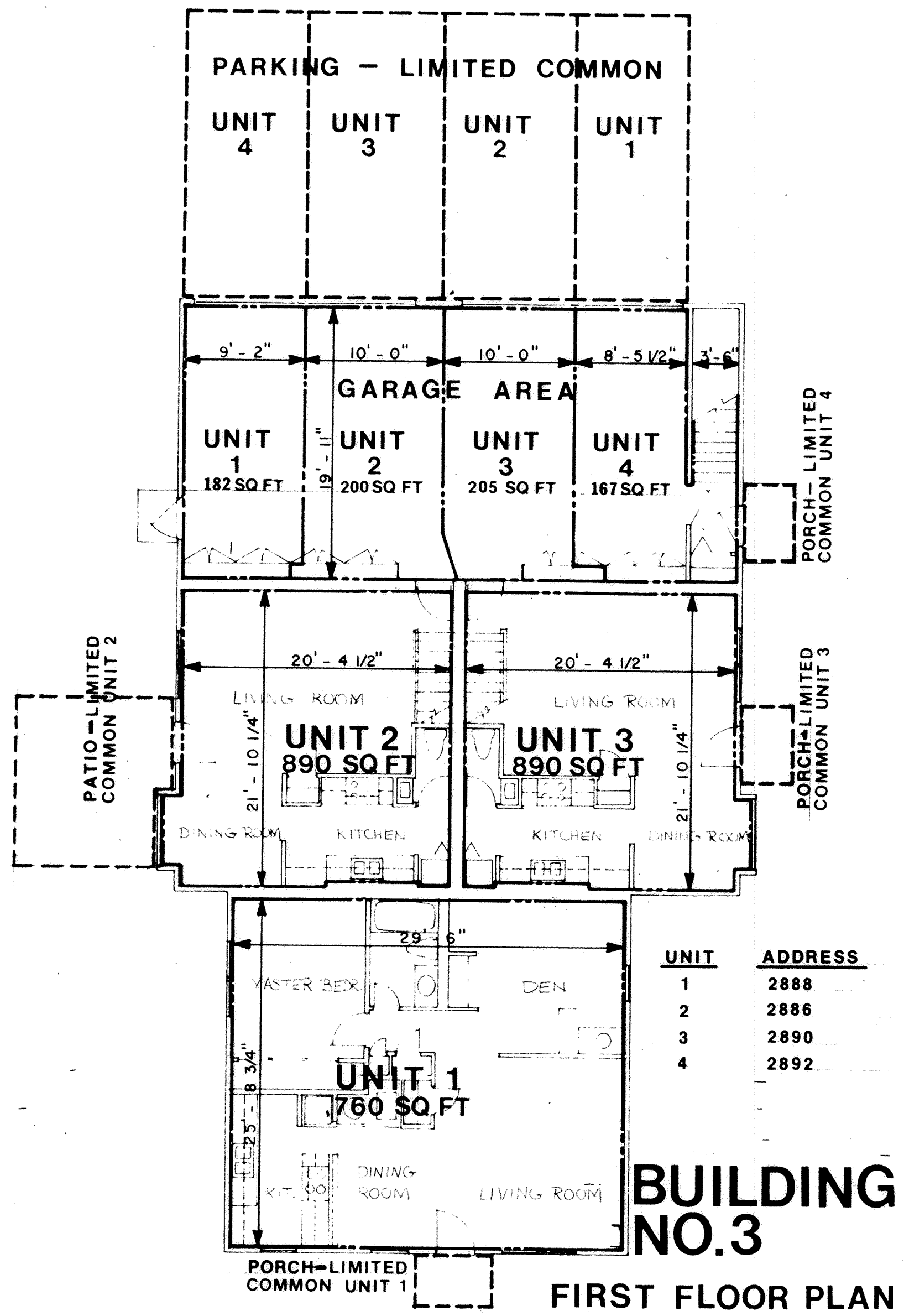
RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 2:25 O'CLOCK P.M.

AUG 8 1974

RECORDED *Aug 8* 1974
PLAT VOL 13 PAGE 72
Bernice Montague
RECORDER

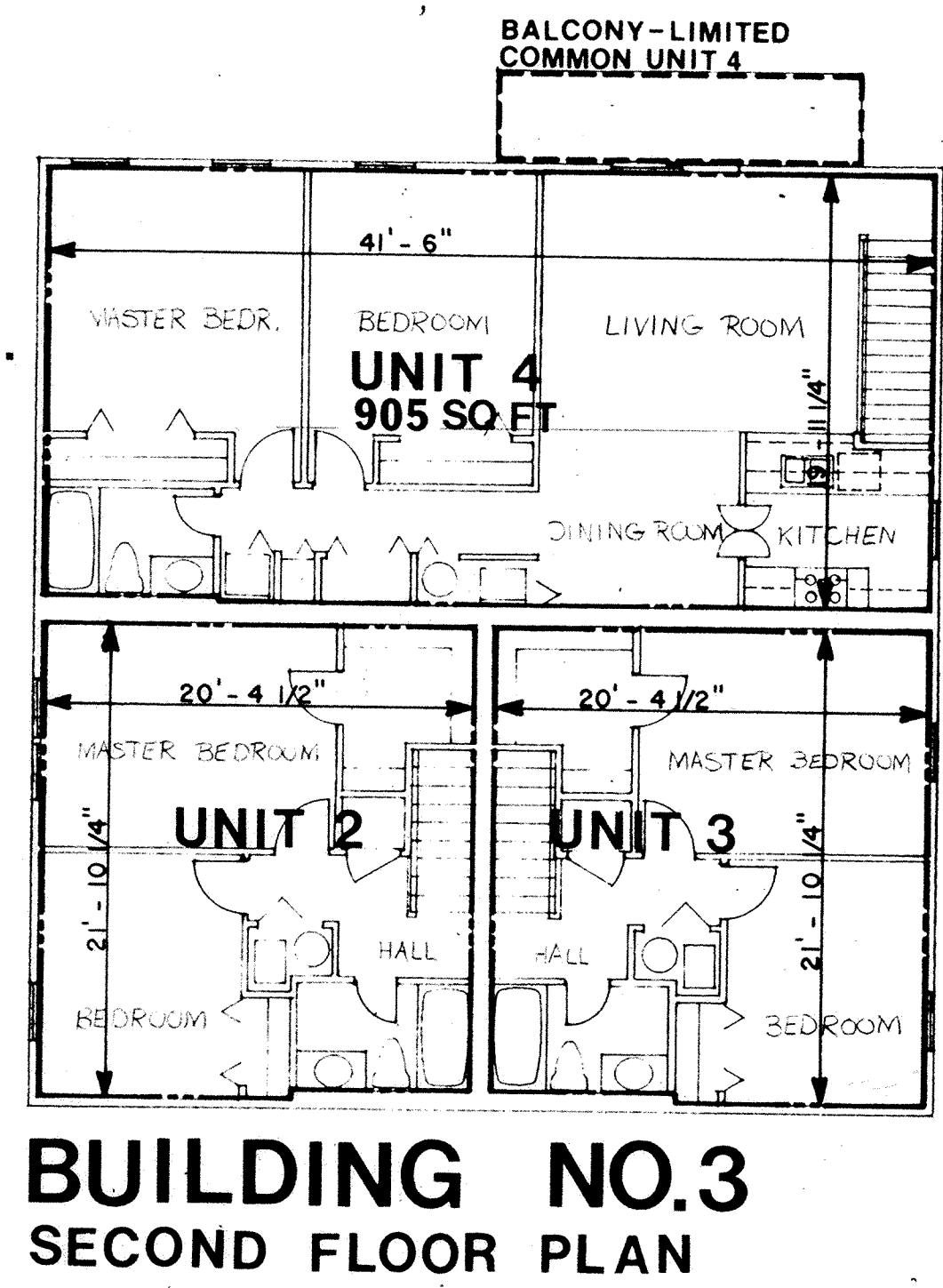
Fee \$58¹⁰

For Declaration of Condominium
See Deed Vol. 555 Page 293.



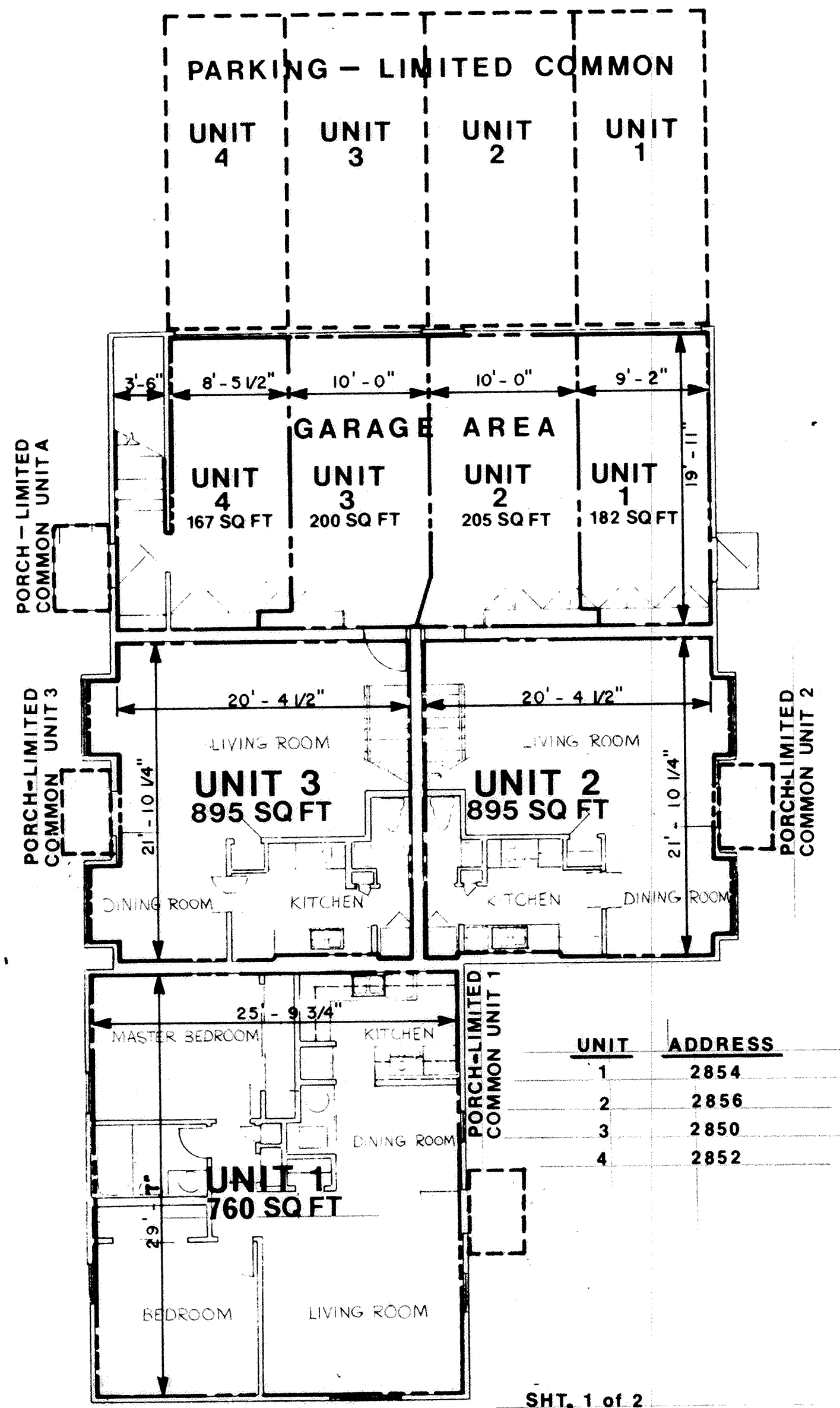
SHT. 1 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS

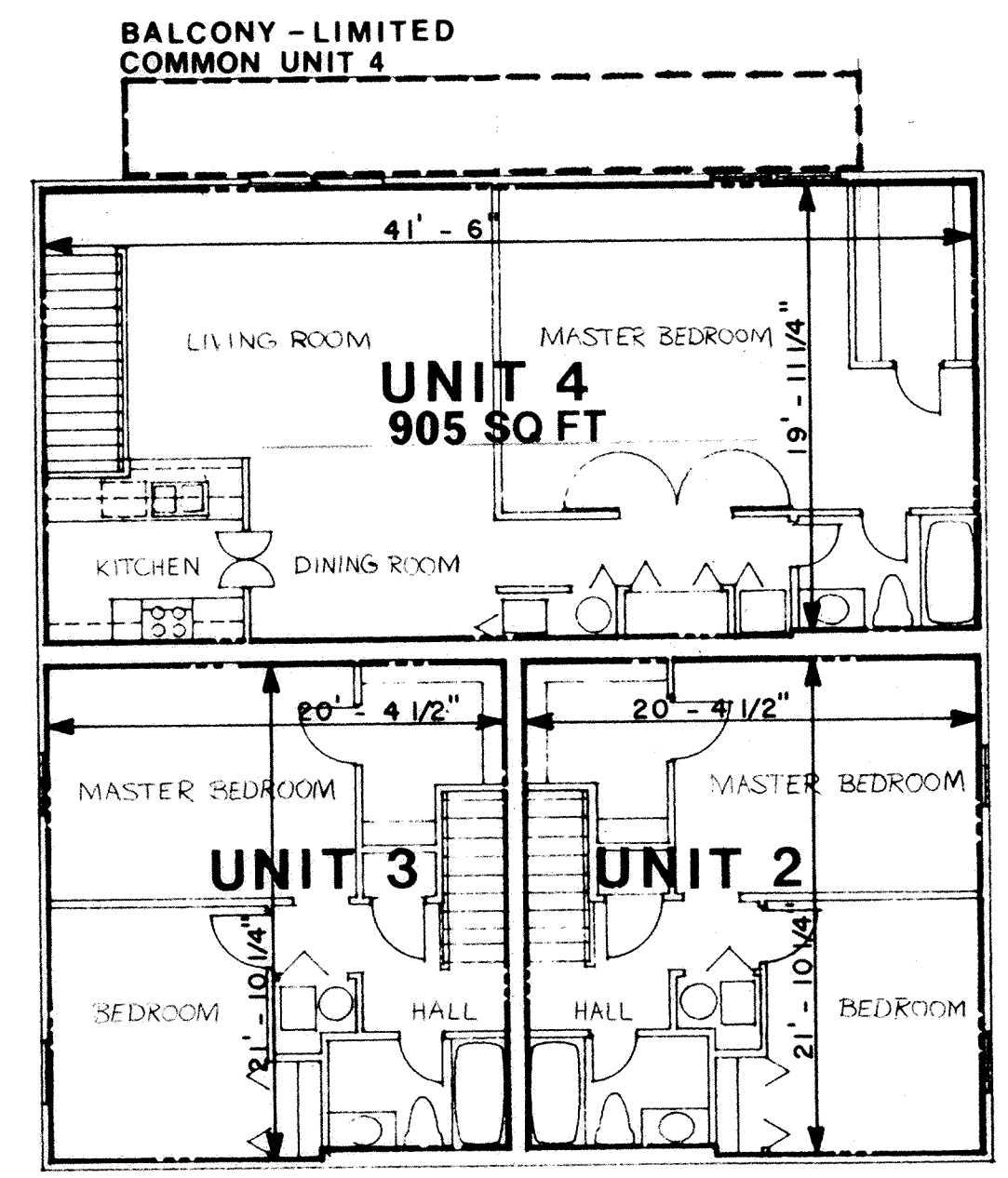


SHT. 2 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS

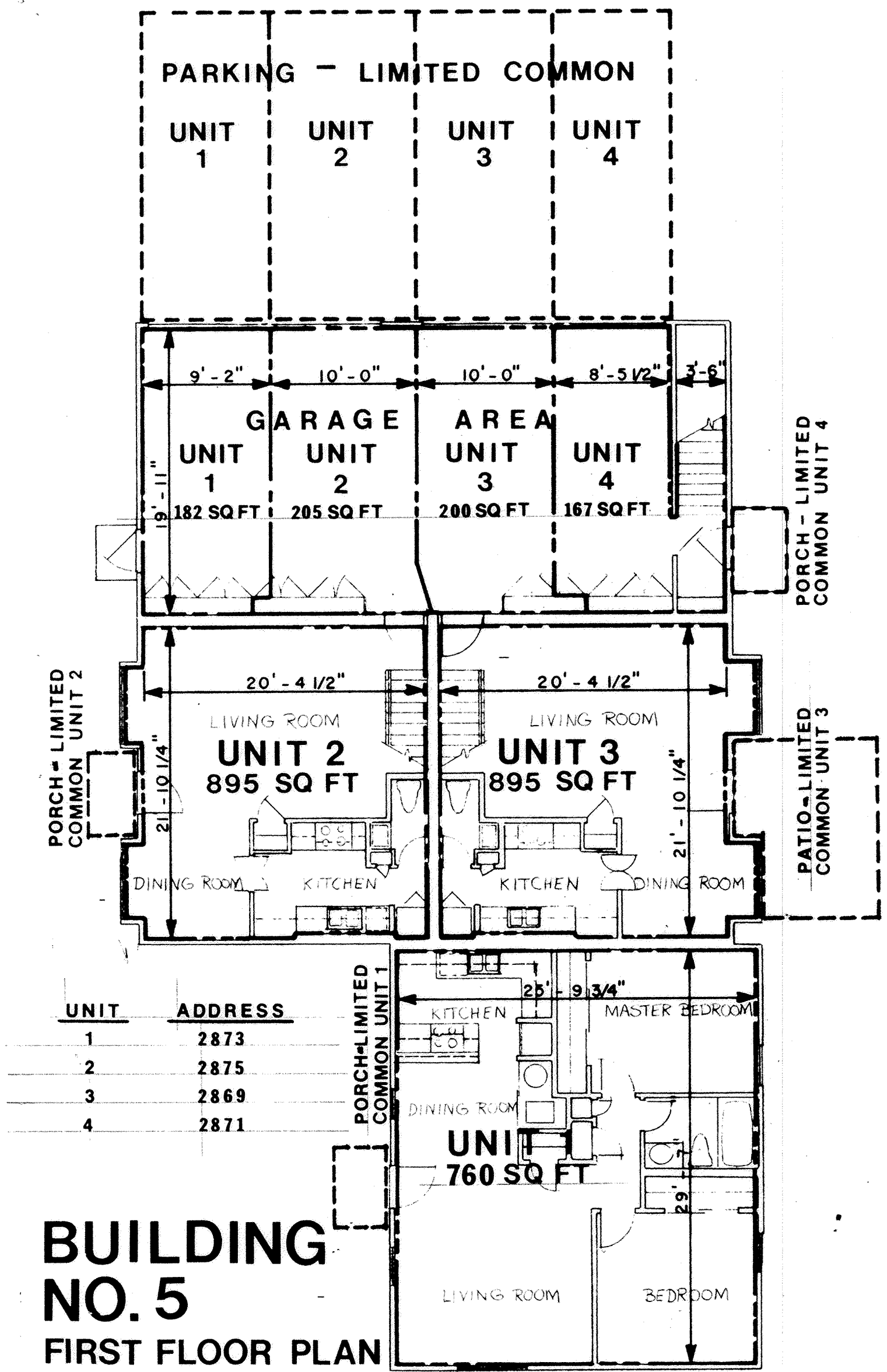


BUILDING NO. 4 FIRST FLOOR PLAN
 SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
 ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



BUILDING NO. 4 SECOND FLOOR PLAN

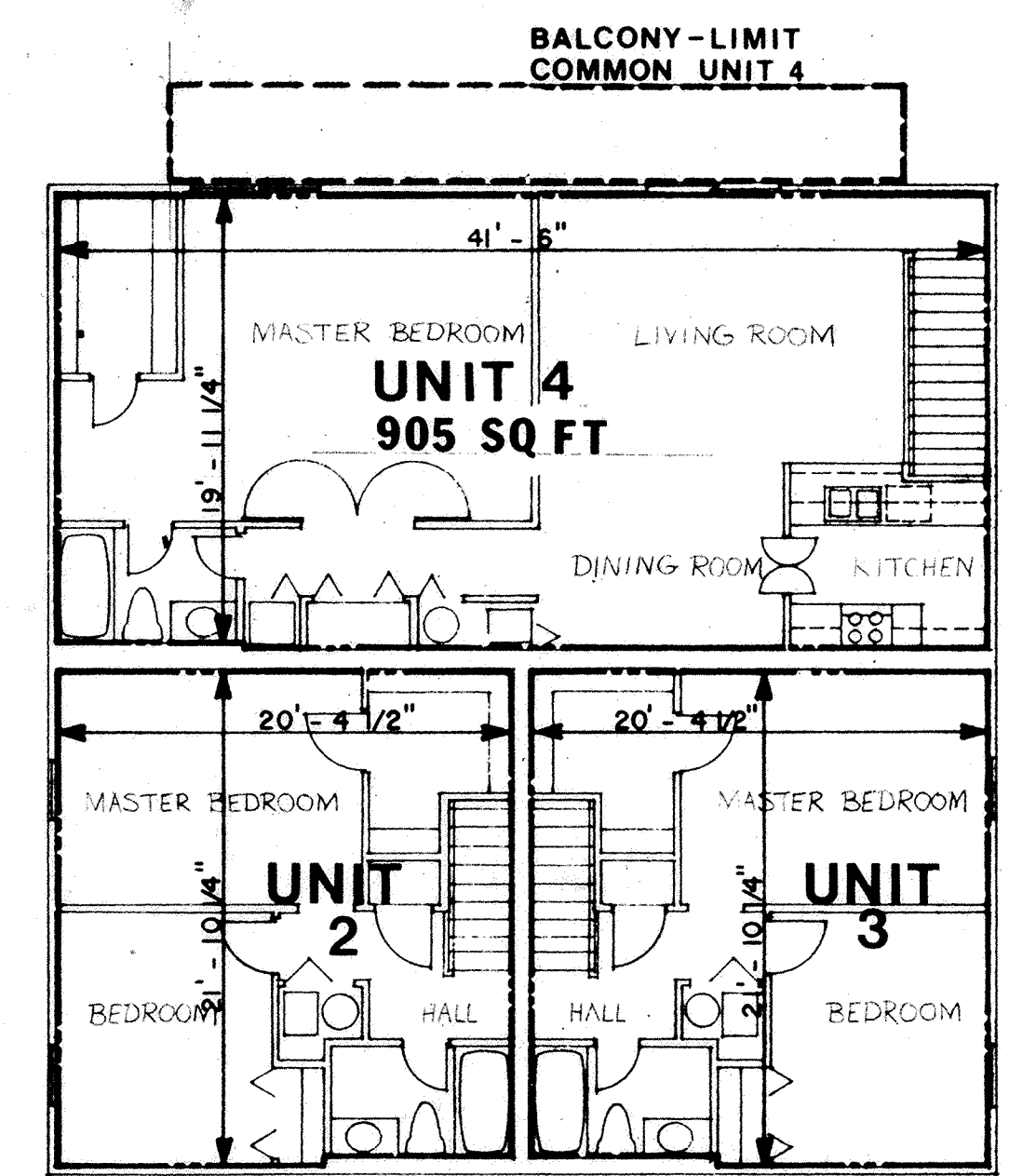
SHT. 2 of 2
 SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
 ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



BUILDING NO. 5
FIRST FLOOR PLAN

SHT. 1 of 2

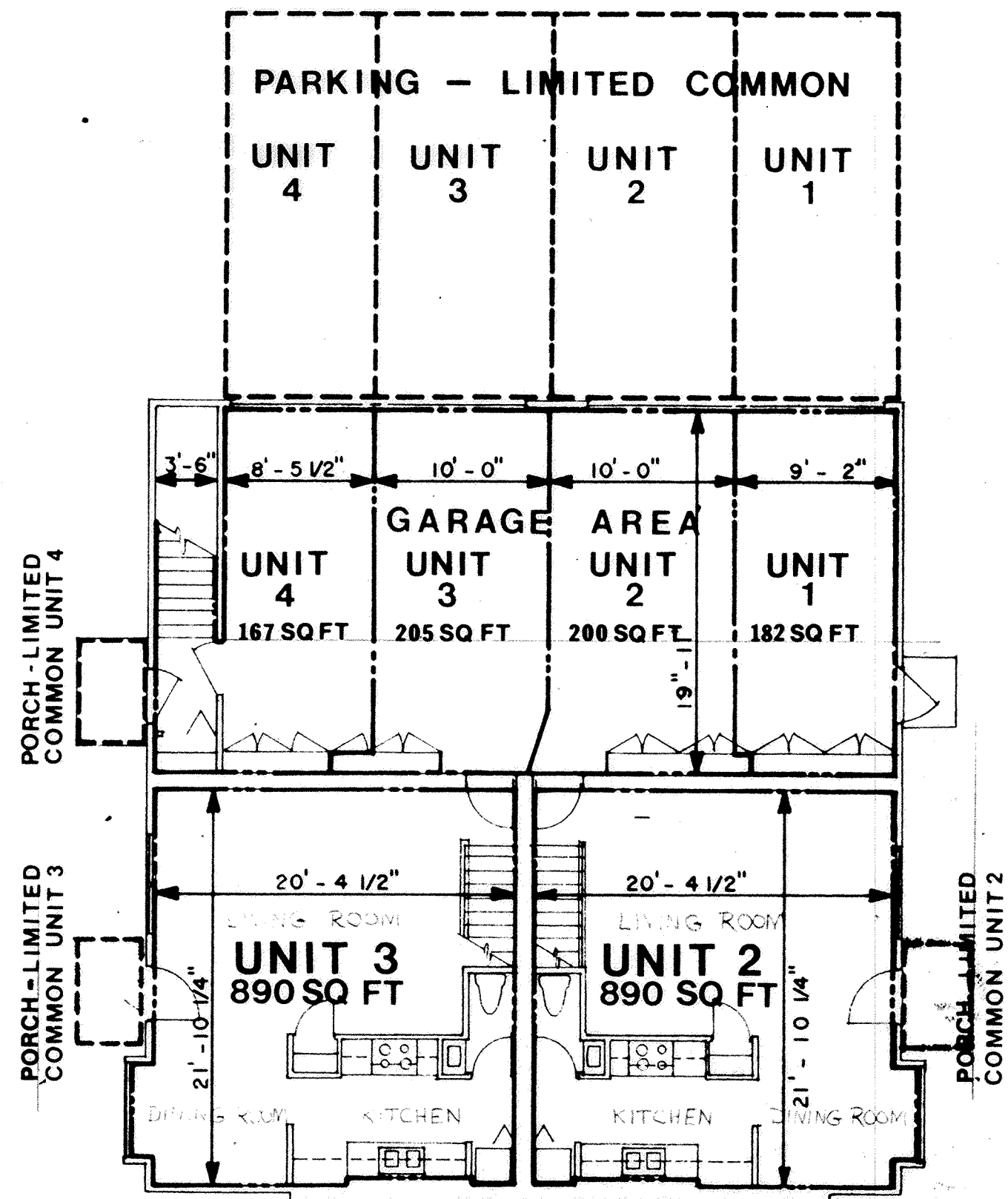
SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



BUILDING NO. 5
SECOND FLOOR PLAN

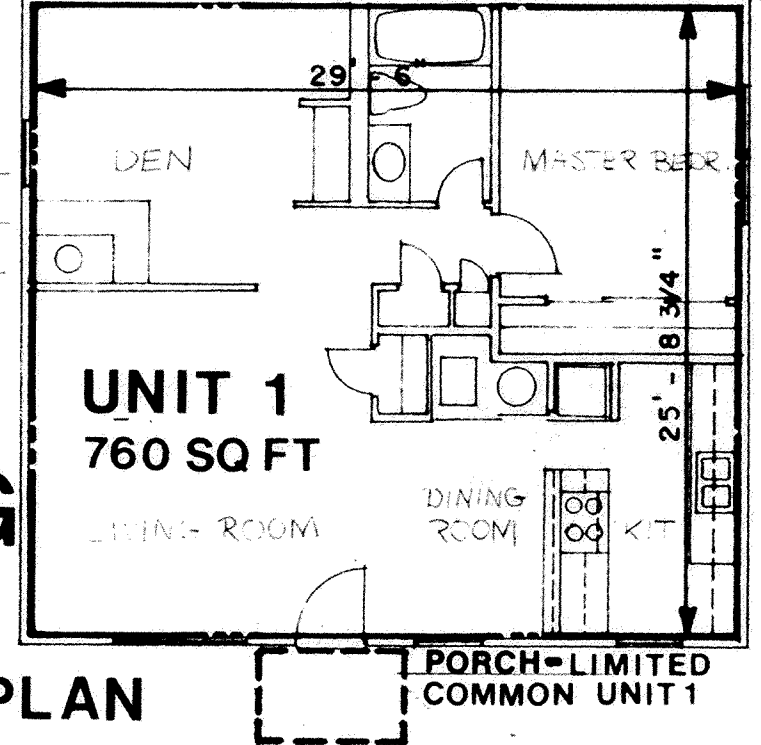
SHT. 2 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS

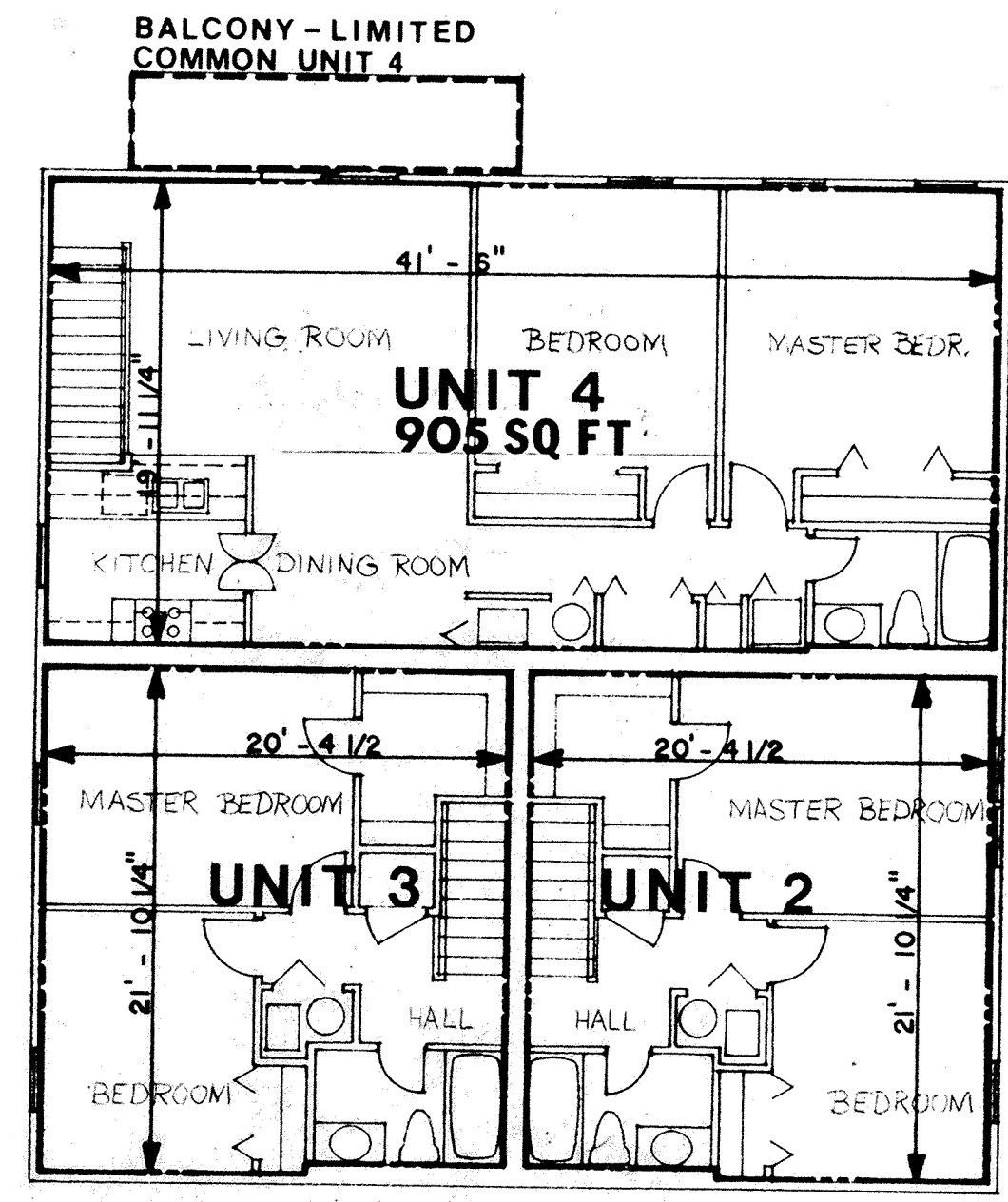


UNIT	ADDRESS
1	2844
2	2846
3	2842
4	2848

BUILDING NO.9
FIRST FLOOR PLAN

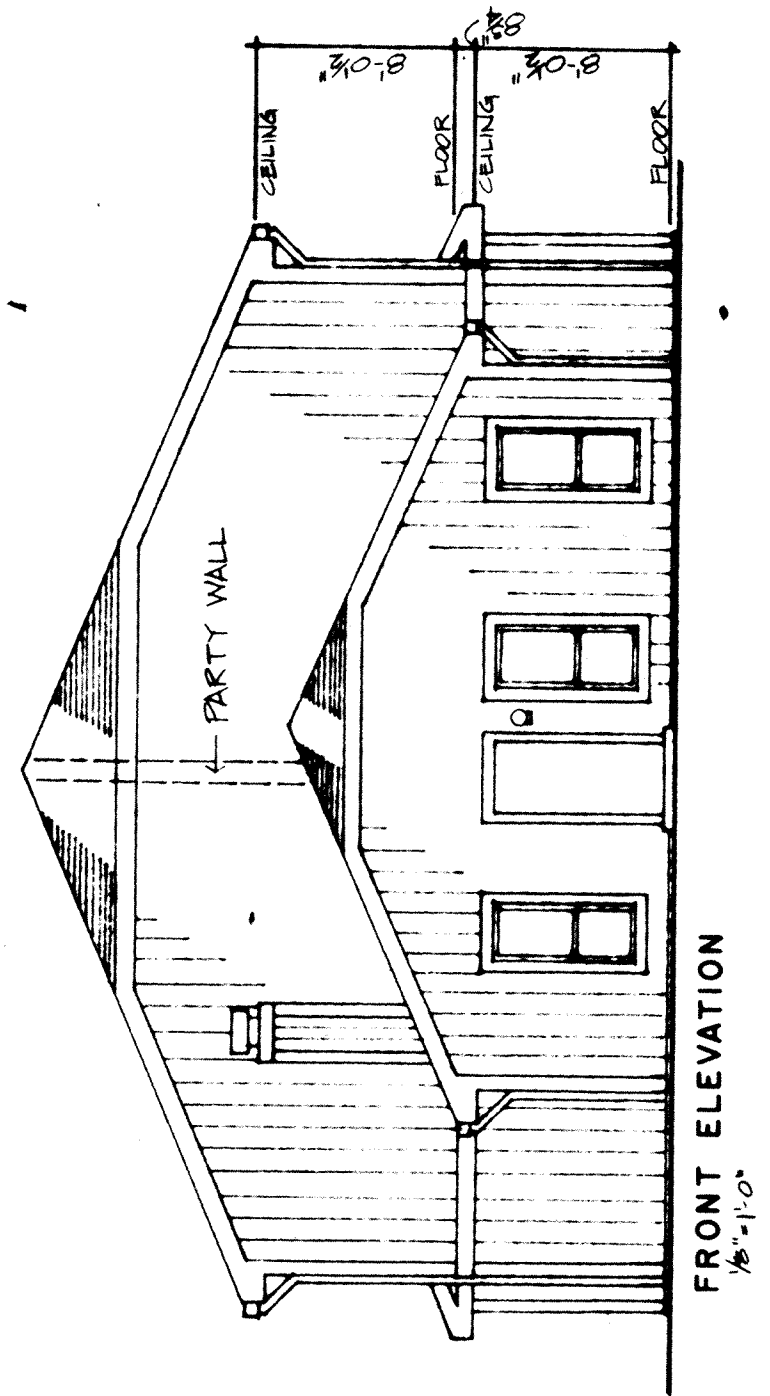


SHT. 1 of 2



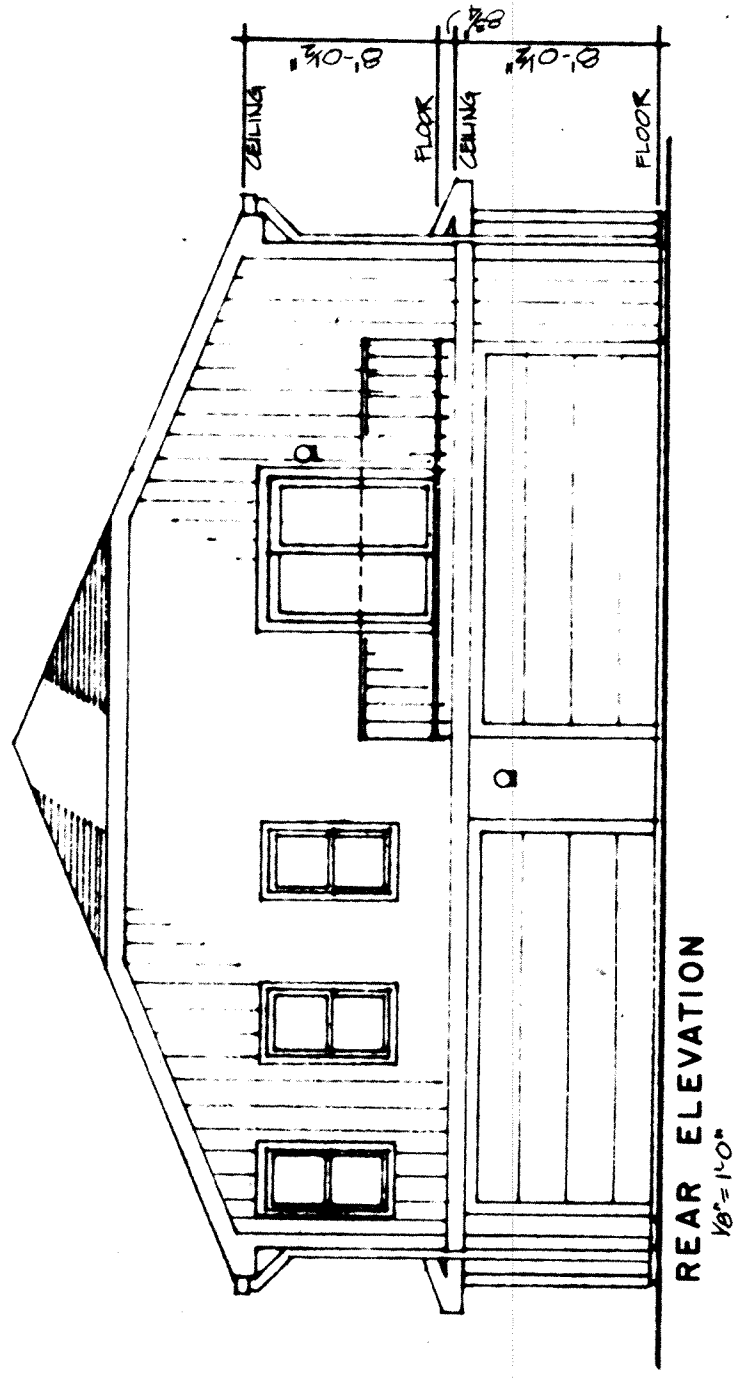
BUILDING NO.9
SECOND FLOOR PLAN

SHT. 2 of 2

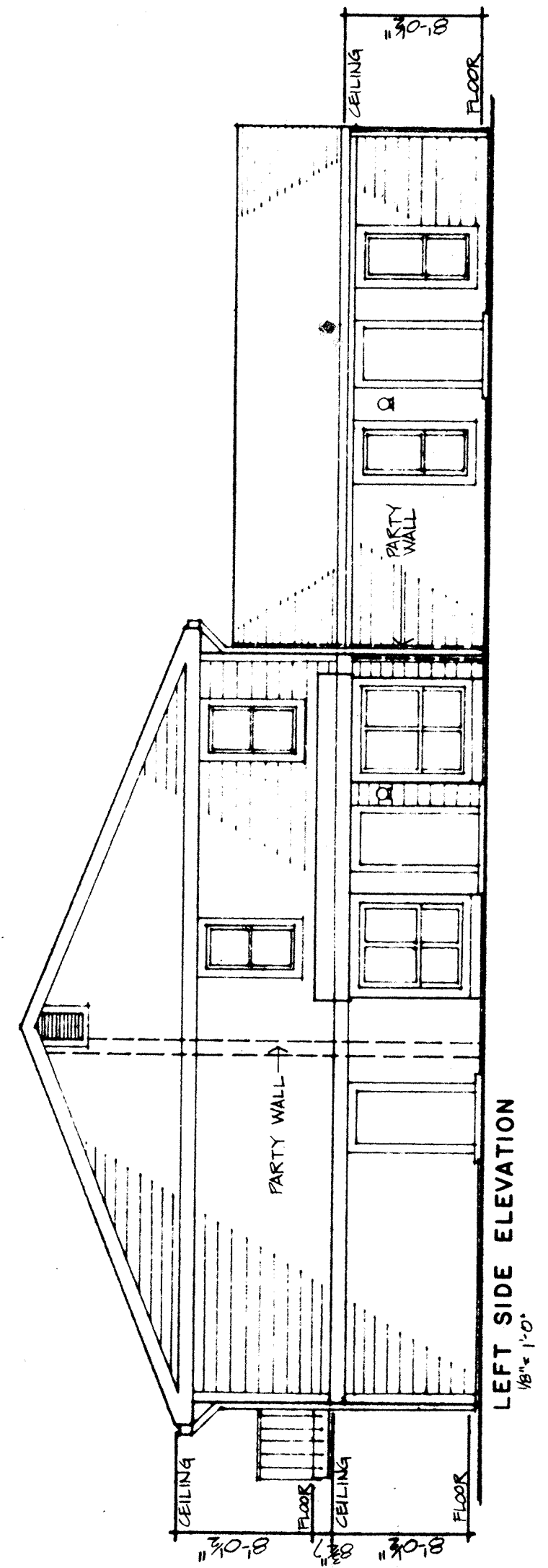


FRONT ELEVATION
1/8" = 1'-0"

TYPICAL OF BUILDINGS:
3 (MIRROR IMAGE) & # 9
EXTERIOR MATERIALS AND ROOF
LINE MAY DIFFER FROM
BUILDING TO BUILDING

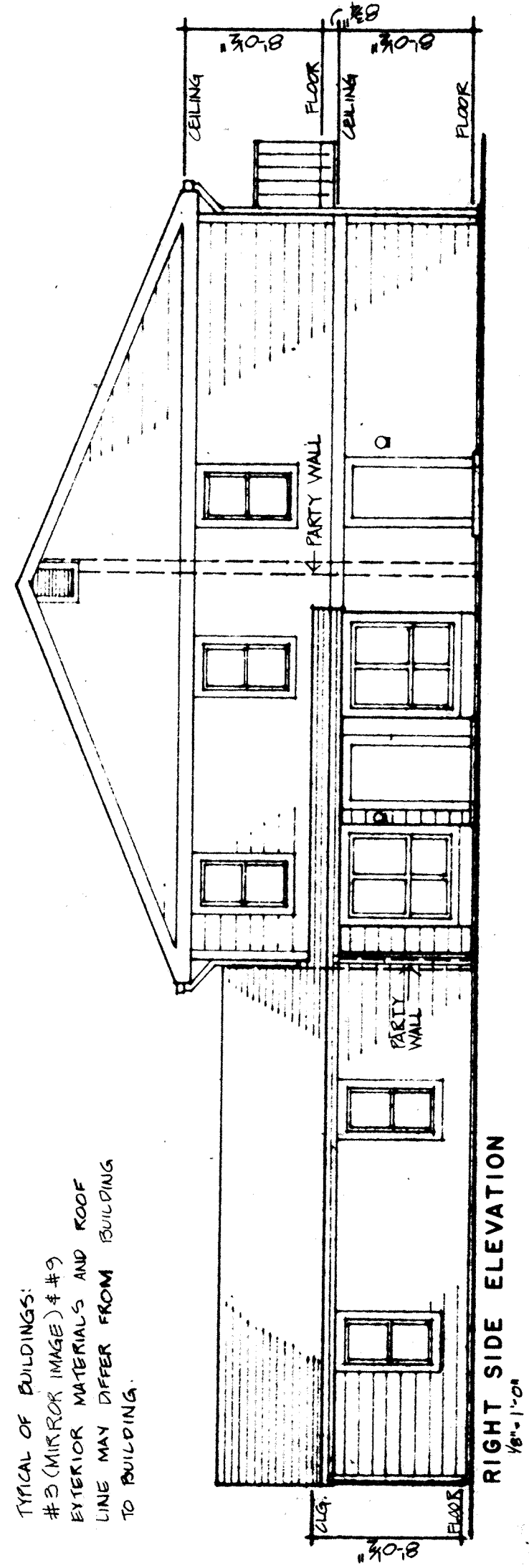


REAR ELEVATION
1/8" = 1'-0"

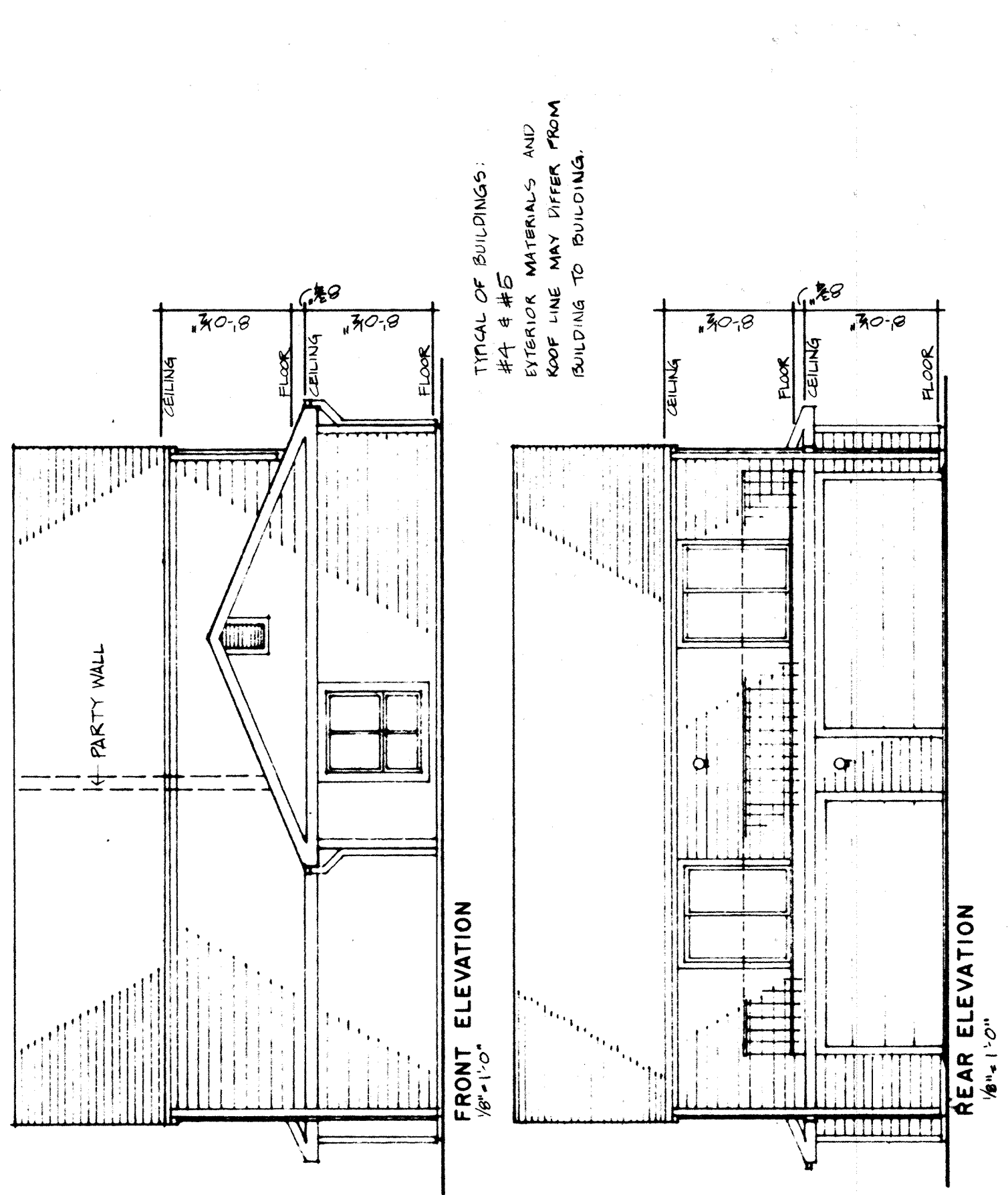


LEFT SIDE ELEVATION
1/8" = 1'-0"

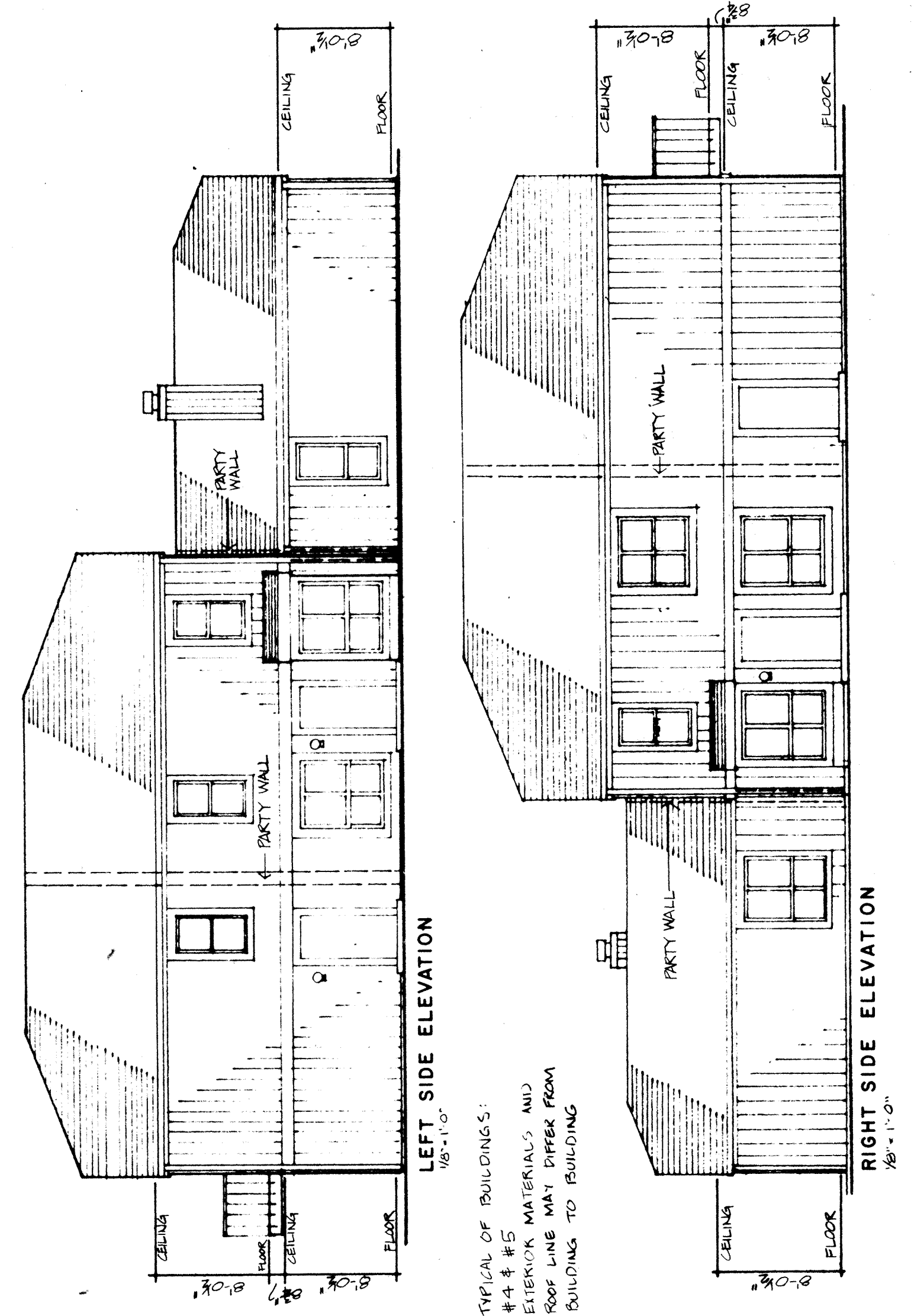
TYPICAL OF BUILDINGS:
3 (MIRROR IMAGE) & # 9
EXTERIOR MATERIALS AND ROOF
LINE MAY DIFFER FROM
BUILDING TO BUILDING



RIGHT SIDE ELEVATION
1/8" = 1'-0"



TYPICAL OF BUILDINGS:
#4 & #5
EXTERIOR MATERIALS AND
ROOF LINE MAY DIFFER FROM
BUILDING TO BUILDING.



TYPICAL OF BUILDINGS:
#4 & #5
EXTERIOR MATERIALS AND
ROOF LINE MAY DIFFER FROM
BUILDING TO BUILDING.

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS

RICKER DEVELOPMENT SECTION #3 IN THE N.E. 1/4 OF SECTION 19, T2S-R5E, CITY OF DELPHOS, ALLEN COUNTY, OHIO

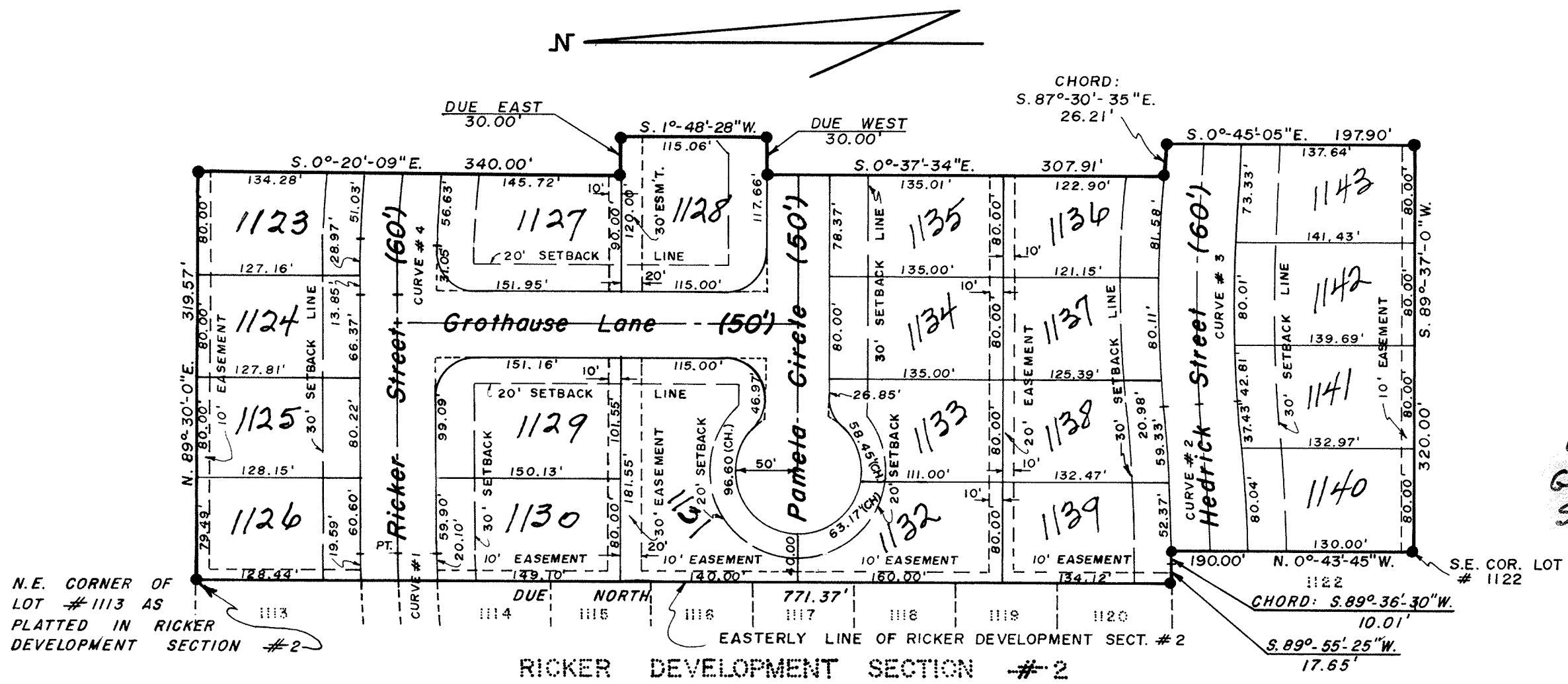
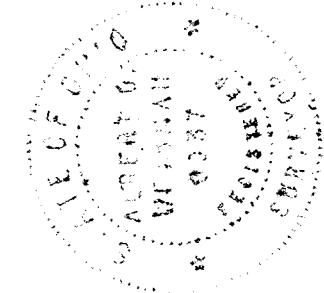
For Ordinance #1990-29
Ordinance Changing The Street Name of
Grothouse Lane to Pamela Circle
See Deed Vol 838 P 753

BEING A TRACT OF LAND IN THE N.E. 1/4 OF SECTION 19, T2S-R5E, IN THE
CITY OF DELPHOS, ALLEN COUNTY, OHIO AND BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.E. CORNER OF LOT 1122 AS PLATTED IN RICKER DEVELOPMENT SECTION # 2; THENCE FROM THIS PLACE OF BEGINNING ALONG THE EASTERLY LINES OF RICKER DEVELOPMENT SECTION # 2 WITH THE FOLLOWING COURSES: N. 0°-43'-45" W., 190.00 FEET; ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 1402.40 FEET WITH A CHORD OF S. 89°-36'-30" W., 10.01 FEET; S. 89°-55'-25" W., 17.65 FEET; DUE NORTH, 771.37 FEET; THENCE N. 89°-30'-0" E., 319.57 FEET; THENCE S. 0°-20'-09" E., 340.00 FEET; THENCE DUE EAST FOR 30.00 FEET; THENCE S. 1°-48'-28" W., 115.06 FEET; THENCE DUE WEST FOR 30.00 FEET; THENCE S. 0°-37'-34" E., 307.91 FEET; THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 1089.71 FEET WITH A CHORD OF S. 87°-30'-35" E., 26.21 FEET; THENCE S. 0°-45'-05" E., 197.90 FEET; THENCE S. 89°-37'-0" W., 320.00 FEET TO THE PLACE OF BEGINNING.

CONTAINING IN ALL 7.15 ACRES.

Albert O. Weisman
ALBERT O. WEISMAN
REG. SURVEYOR # 6037



CURVE #1	CURVE #2	CURVE #3	CURVE #4
Δ = 10°-00'-00"	Δ = 6°-10'-00"	Δ = 10°-55'-00"	Δ = 5°-32'-34"
D = 6°-00'-00"	D = 4°-56'-16"	D = 5°-24'-24"	D = 13°-52'-02"
R = 954.93'	R = 1160.94'	R = 1059.71'	R = 413.27'
T = 83.55'	T = 62.54'	T = 101.26'	T = 20.00'
L = 166.67'	L = 124.89'	L = 201.91'	L = 39.97'

SCALE: 1" = 100'

● DENOTES CONC. MONUMENTS

DEDICATION

BEING THE SOLE OWNERS OF THE ABOVE DESCRIBED PREMISES, WE HEREBY DEDICATE THE STREETS AS SHOWN TO THE PUBLIC FOR THEIR USE FOREVER. SIGNED THIS 6TH DAY OF August 1974.

OWNERS
Ricker Contracting Co.
C.S. Ricker plus Geraldine T. Ricker

WITNESS
James L. Heck
Mary Jane Osting

ACKNOWLEDGEMENT

COUNTY OF ALLEN, STATE OF OHIO
BEFORE ME A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR, THE ABOVE SIGNED OWNERS WHO ACKNOWLEDGED THE SIGNING OF THIS DOCUMENT TO BE THEIR FREE ACT AND DEED, IN TESTIMONY THEREOF, I HAVE AFFIXED MY HAND & SEAL, THIS 6TH DAY OF August 1974, MY COMMISSION EXPIRES Oct. 24 1978.

Mary Jane Osting
NOTARY PUBLIC

BEING THE DULY ELECTED MAYOR OF THE CITY OF DELPHOS, OHIO, I HEREBY ACCEPT THIS PLAT FOR THE CITY. ACCEPTED FOR THE CITY PLANNING COMMISSION.

Ralph E. Wagner
MAYOR OF THE CITY OF DELPHOS, OHIO

Donald E. Weideman
SECY CITY PLANNING COMMISSION

FILED FOR TRANSFER, THIS 20th DAY OF August 1974, IN THE OFFICE OF THE ALLEN COUNTY AUDITOR.

Richard J. Ditt
ALLEN COUNTY AUDITOR

NO. 316737
FILED FOR RECORD, THIS 20th DAY OF August 1974, AT 1:34 O'CLOCK P M. IN THE OFFICE OF THE ALLEN COUNTY RECORDER, AND RECORDED IN PLAT BOOK 13 PAGE 79.

Bernice Montague
ALLEN COUNTY RECORDER

FEE \$ 16.60

SHELDON & ASSOCIATES, INC.
1430 NORTH COLE STREET
LIMA, OHIO

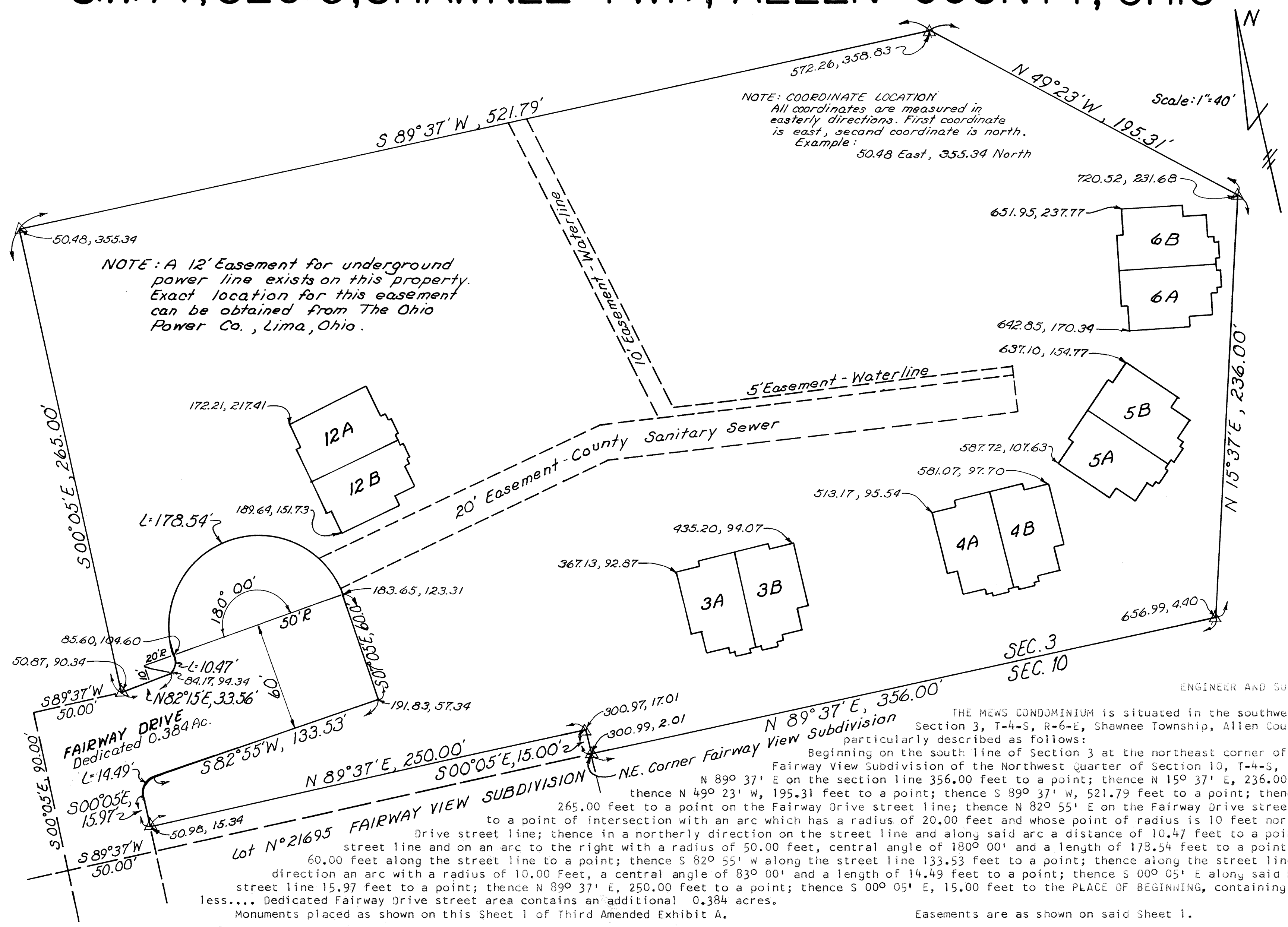
RESTRICTIONS FOR RICKER DEVELOPMENT SECTION # 3

1. All lots within the sub-division shall be known and described as single or double family residential lots.
2. All buildings shall be constructed of new materials and no building or other structure erected elsewhere shall be moved on any building site. Storage sheds shall not be less than 80 sq. ft. and must be approved by the grantor.
3. No boats, mobile homes or camping trailers shall be kept, permitted or used on any single residential lot in this sub-division.
4. No parking of commercial vehicles shall be permitted on private drives or on the street except for loading and unloading. Small pickup trucks and panel trucks will be permitted on drives.
5. No residential structure shall be constructed on lots having a living space less than 1,000 sq. feet.
6. No sign, advertisement or billboard shall be erected or maintained on any building site. (For Sale or For Rent shall be permitted.)
7. No detached garage shall be erected built or placed on said lot until location and plans have been approved by the grantor in writing. No garage shall have more than 2 car capacity.
8. All driveways shall be blacktop or concrete. All lots shall have concrete public walks 4' wide.
9. No building, residence or structure shall exceed 2 stories above ground level.
10. No portion of said premise nearer than the required setback shall be used for any purpose other than lawn.
11. No animals, livestock or poultry shall be kept or maintained on any part of this sub-division except for the ordinary household pets provided they are not kept, bred or maintained for any commercial purpose and do not cause a nuisance.
12. Setback requirements shall be obtained from the Official Plot Plan.
13. No Modular Homes to be erected without grantor's permission.

MEWS CONDOMINIUM

THIRD AMENDED EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO



NOTE: A 12' Easement for underground power line exists on this property. Exact location for this easement can be obtained from The Ohio Power Co., Lima, Ohio.

NOTE: COORDINATE LOCATION
All coordinates are measured in easterly directions. First coordinate is east, second coordinate is north.
Example: 50.48 East, 355.34 North

Scale: 1" = 40'

ENGINEER AND SURVEYOR'S CERTIFICATE

THE MEWS CONDOMINIUM is situated in the southwest quarter of Section 3, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio, more particularly described as follows:
Beginning on the south line of Section 3 at the northeast corner of Lot No. 21695 in Fairway View Subdivision of the Northwest Quarter of Section 10, T-4-S, R-6-E; thence N 89° 37' E on the section line 356.00 feet to a point; thence N 15° 37' E, 236.00 feet to a point; thence N 49° 23' W, 195.31 feet to a point; thence S 89° 37' W, 521.79 feet to a point; thence S 00° 05' E, 265.00 feet to a point on the Fairway Drive street line; thence N 82° 55' E on the Fairway Drive street line 33.56 feet to a point of intersection with an arc which has a radius of 20.00 feet and whose point of radius is 10 feet north of the Fairway Drive street line; thence in a northerly direction on the street line and along said arc a distance of 10.47 feet to a point; thence on the street line and on an arc to the right with a radius of 50.00 feet, central angle of 180° 00' and a length of 178.54 feet to a point; thence S 07° 05' E, 60.00 feet along the street line to a point; thence S 82° 55' W along the street line 133.53 feet to a point; thence along the street line in a southwesterly direction an arc with a radius of 10.00 feet, a central angle of 83° 00' and a length of 14.49 feet to a point; thence S 00° 05' E along said Fairway Drive street line 15.97 feet to a point; thence N 89° 37' E, 250.00 feet to a point; thence S 00° 05' E, 15.00 feet to the PLACE OF BEGINNING, containing 4.708 acres more or less.... Dedicated Fairway Drive street area contains an additional 0.384 acres.
Monuments placed as shown on this Sheet 1 of Third Amended Exhibit A.

We hereby certify that the Third Amended Exhibit A drawings consisting of 17 sheets accurately showing area used, buildings constructed, unit dimensions, dimensions of common areas and facilities and dimensions of limited common areas and facilities in so far as graphically possible.

Dated at Lima, Ohio August 21, 1974

COHLI AND KALHER ASSOCIATES, LIMITED
By Richard D. Manier, PE.
Registered Engineer 34873
By Allen C. Hollinger
Registered Surveyor 561

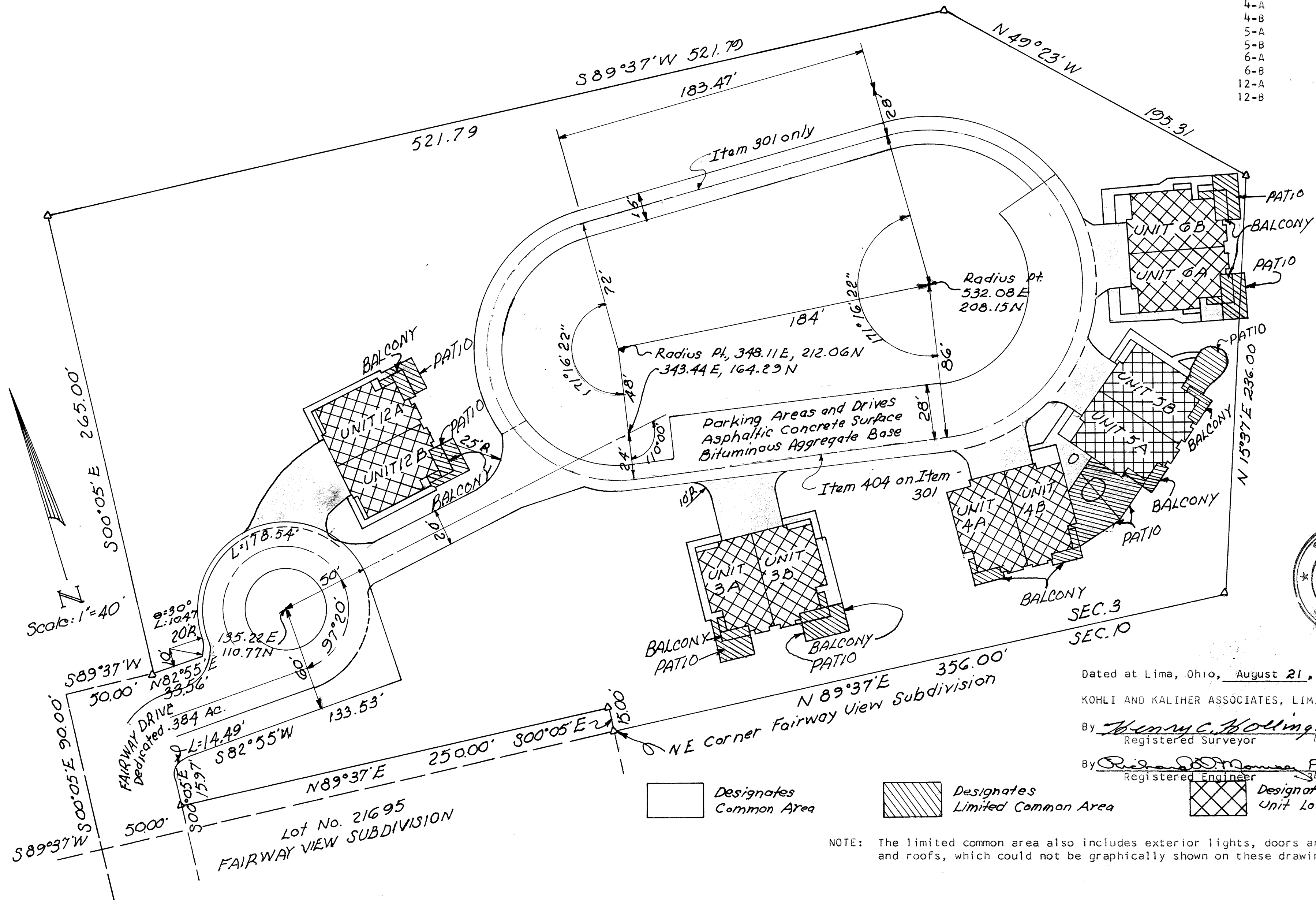
MEWS CONDOMINIUM

THIRD AMENDED EXHIBIT A Sheet 2 of 17

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

UNIT AREAS

UNIT	AREA (Sq. Ft.)
3-A	3669
3-B	3635
4-A	3352
4-B	3324
5-A	2993
5-B	2987
6-A	3618
6-B	3611
12-A	3681
12-B	3679



Dated at Lima, Ohio, August 21, 1974

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Henry C. Hollinger
Registered Surveyor 4561

By Richard D. Manna P.E.
Registered Engineer 34373

□ Designates Common Area

▨ Designates Limited Common Area

▩ Designates Unit Location

NOTE: The limited common area also includes exterior lights, doors and windows, and roofs, which could not be graphically shown on these drawings.

COUNTY AUDITOR'S ENDORSEMENT

MEWS CONDOMINIUM Third Amended Exhibit A filed with the undersigned this 21st day of August, 1974.

Richard D. Manna
Auditor, Allen County, Ohio

DECLARATION

For declaration of covenants, conditions and restrictions see Deed Vol. 479, Page 431 and as amended by instrument recorded in Deed Vol. 489, Page 365 and as amended the second time by instrument recorded in Deed Vol. 527, Page 612 and as amended the third time by instrument recorded in Deed Vol. 555, Page 630.

COUNTY RECORDER'S CERTIFICATE

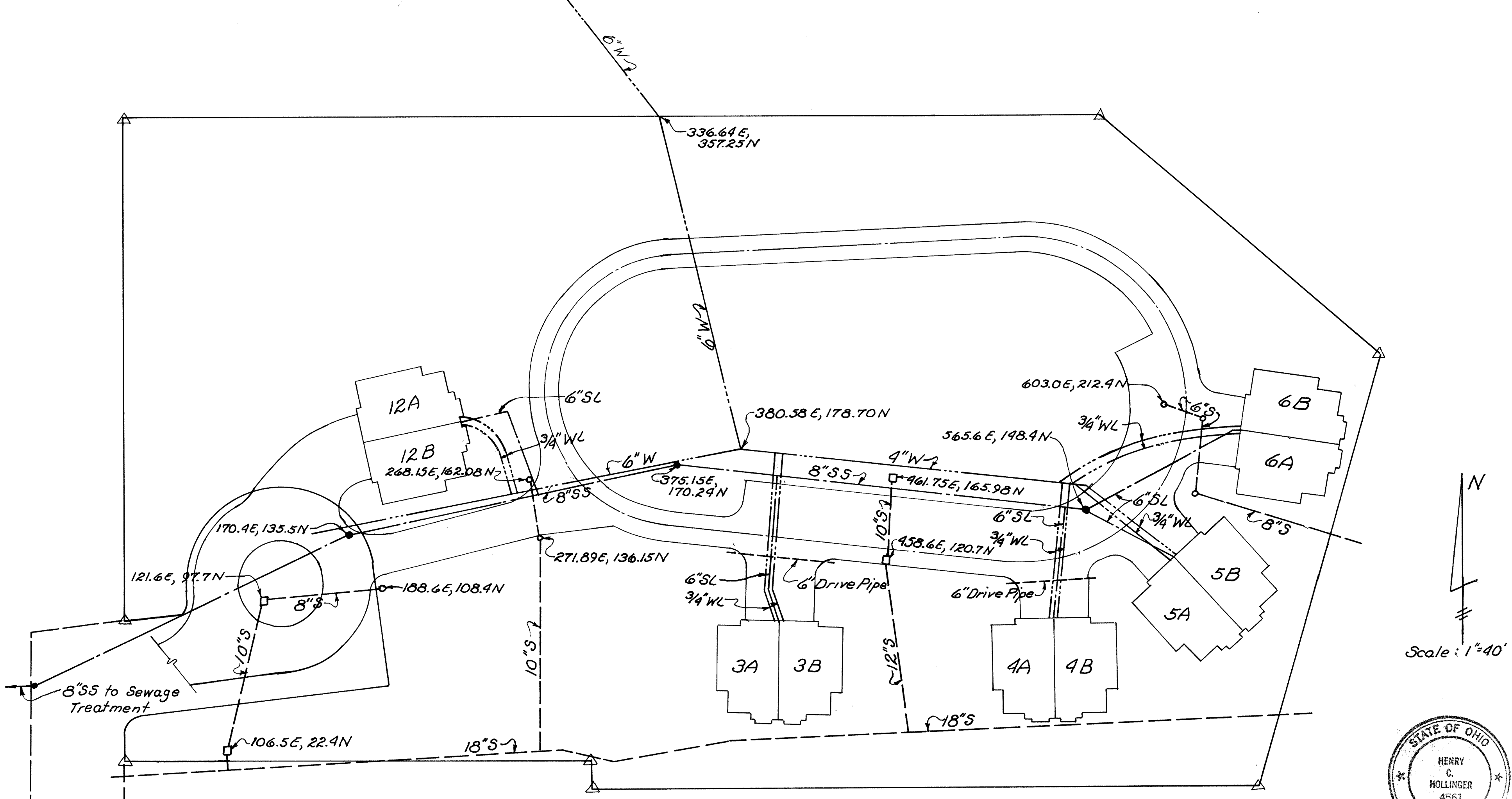
No. 316807
Filed for record in the Allen County, Ohio, Recorder's Office this 21st day of August, 1974, at 4:01 o'clock P.M. and recorded in Allen County, Ohio, Plat Book 13, Page 81.
Fee: 141.10

Bernice Montague
Recorder, Allen County, Ohio.

MEWS CONDOMINIUM

THIRD AMENDED
EXHIBIT A

S.W. 1/4 SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO



- Manholes 4" Diam. Precast Concrete Ring
- Sanitary Sewer (SS) or Lateral (SL)
- - - Cast Iron Water Lines (W) or (under 4") Copper Service (WL)
- - - Storm Sewer (S)
- Storm Inlet - 18" Diameter Pipe
- ◻ Storm Catch Basin



Dated at Lima, Ohio August 21, 1974
 KOHLI AND KALIHAR ASSOCIATES, LIMITED
 by Henry C. Hollinger
 Registered Surveyor 4561
Richard D. Mowsey P.E.
 Registered Engineer 34373

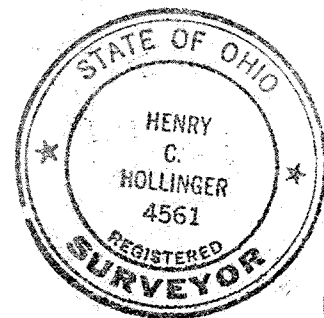
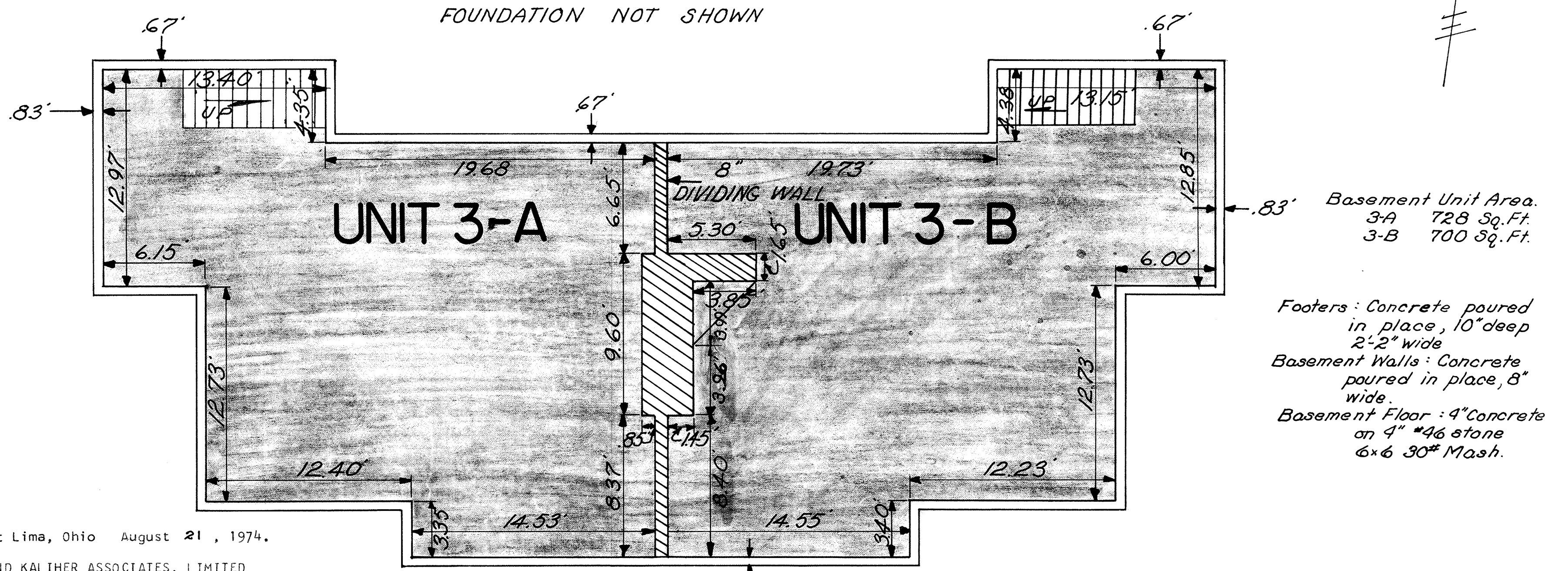


Plan Showing Common Facilities (Underground Utilities)

MEWS CONDOMINIUM

THIRD AMENDED Sheet 4 of 17
EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO



Dated at Lima, Ohio August 21, 1974.

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Henry C. Hollinger
Registered Surveyor 4561

By Richard D. Menice P.E.
Registered Engineer 34373

BASEMENT PLAN

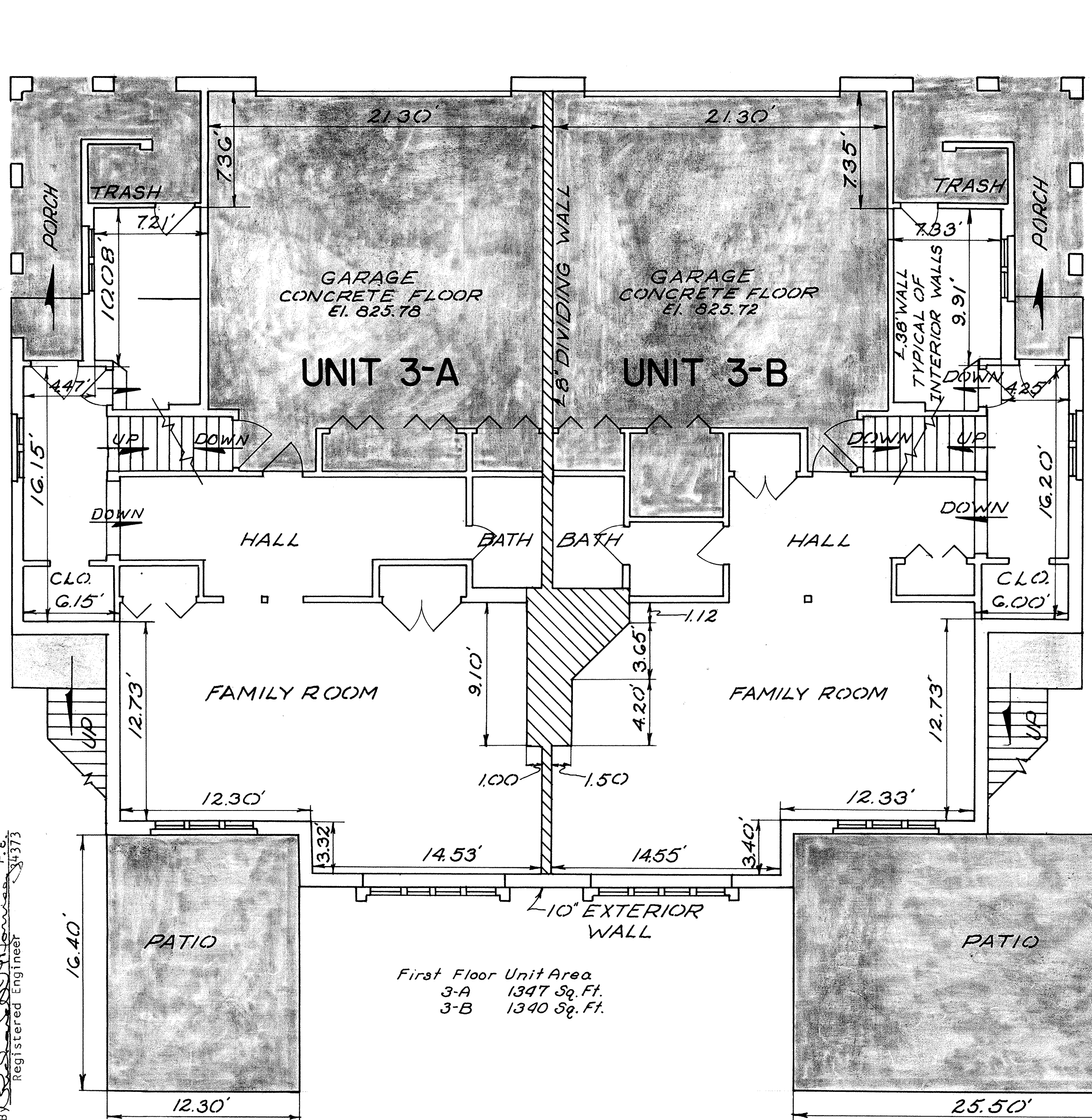
DESIGNATE UNIT PARTITION

DESIGNATE CONCRETE

SCALE 1"=5'

MEWS CONDOMINIUM

THIRD AMENDED Sheet 5 of 17
EXHIBIT A
S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO



N

Designates Unit Partition

Designates Concrete

Scale: 1"=5'

EXTERIOR WALLS:
Typical 2"x4" Studs,
16" O.C., 7/8" sheathing
Brick Veneer-outside
Drywall -inside

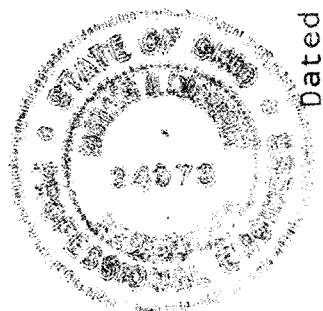
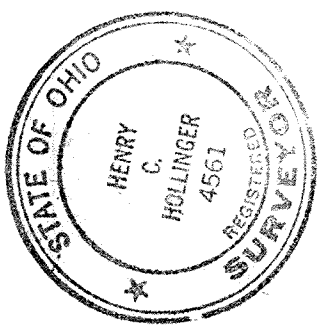
INTERIOR PARTITIONS:
2"x4" Stud Walls and
Drywall.

DIVIDING WALL:
8" Concrete block
and Drywall

First Floor Unit Area

3-A	1347 Sq. Ft.
3-B	1340 Sq. Ft.

FIRST FLOOR



Dated at Lima, Ohio August 21, 1974

KOHLI AND KALHER ASSOCIATES, LIMITED

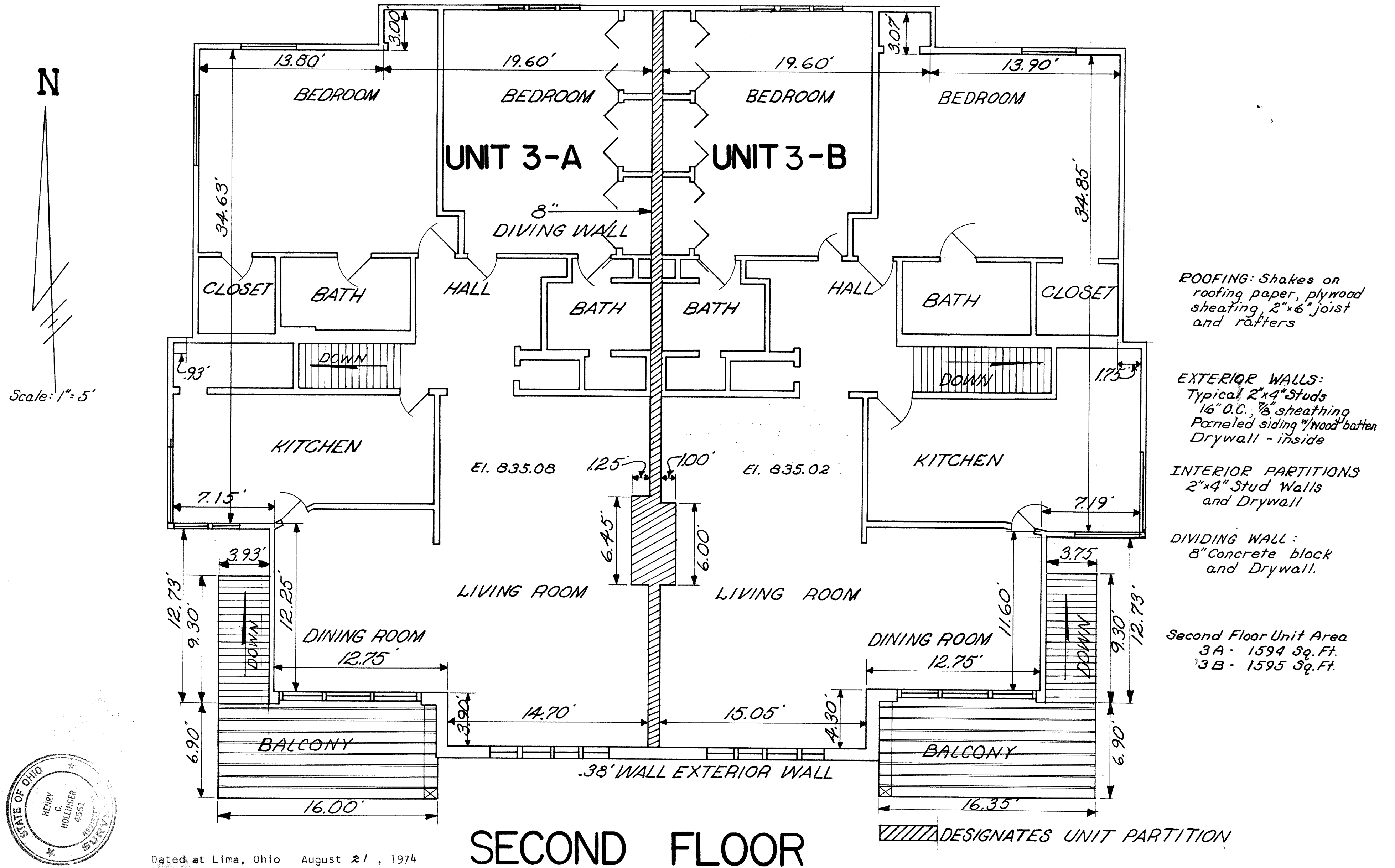
By *Henry C. Hollinger*
Registered Surveyor 4561

By *Robert S. Dorman*
Registered Engineer 4373

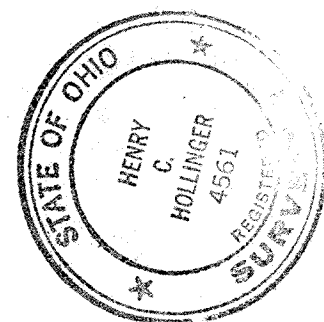
MEWS CONDOMINIUM

THIRD AMENDED
EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP, ALLEN COUNTY, OHIO



SECOND FLOOR



Dated at Lima, Ohio August 21, 1974

KOHLI AND KALHER ASSOCIATES, LIMITED

By Henry C. Hollinger
Registered Surveyor 4561

By Richard D. Morrison P.E.
Registered Engineer 34373

MEWS CONDOMINIUM THIRD AMENDED EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

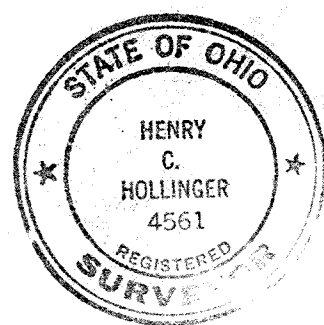
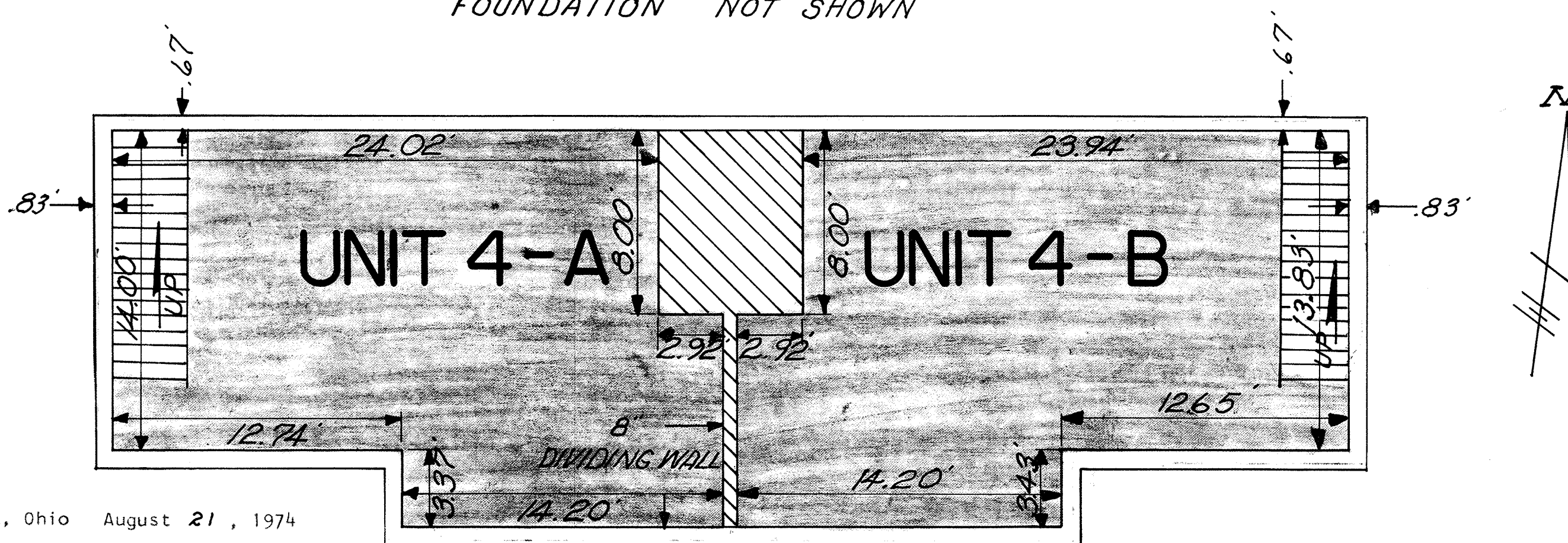
Sheet 7 of 17

Footers : Concrete poured
in place, 10" deep
2'-2" wide

Basement Walls : Concrete
poured in place, 8" wide
Basement Floor : 4" concrete
on 4" #46 stone
6x6 30lb wire mesh

Basement Unit Area
4-A 361 Sq. Ft.
4-B 356 Sq. Ft.

FOUNDATION NOT SHOWN



Dated at Lima, Ohio August 21, 1974

KOHLI AND KALHER ASSOCIATES, LIMITED

By Henry C. Hollinger
Registered Surveyor 4561



Richard D. Manion P.E.
Registered Engineer 94373

BASEMENT PLAN

DESIGNATES UNIT PARTITION

SCALE 1" = 5'

MEWS CONDOMINIUM

THIRD AMENDED
EXHIBIT A

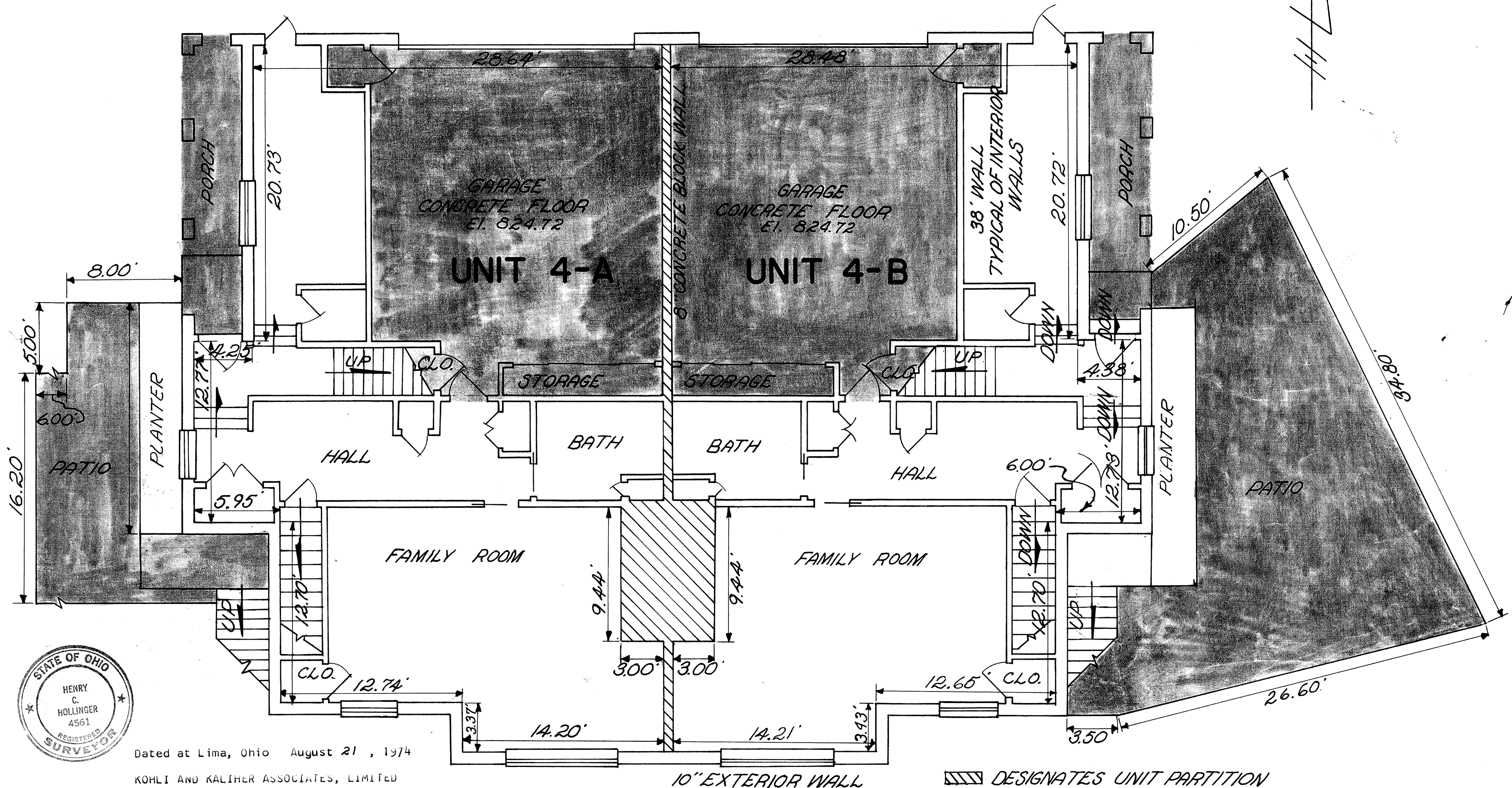
S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

EXTERIOR WALLS:
Typical 2"x4" Studs
16" OC, 7/8" sheathing
Brick Veneer - outside
Drywall - inside

INTERIOR PARTITION:
2"x4" Stud and Drywall

DIVIDING WALL:
As shown.

First Floor Unit Area
4-A 1375 Sq Ft
4-B 1370 Sq Ft



Dated at Lima, Ohio August 21, 1974

KOHLI AND KALHER ASSOCIATES, LIMITED

By Henry C. Hollinger
Registered Surveyor 4561



By Richard D. Morrison P.E.
Registered Engineer 4373

FIRST FLOOR

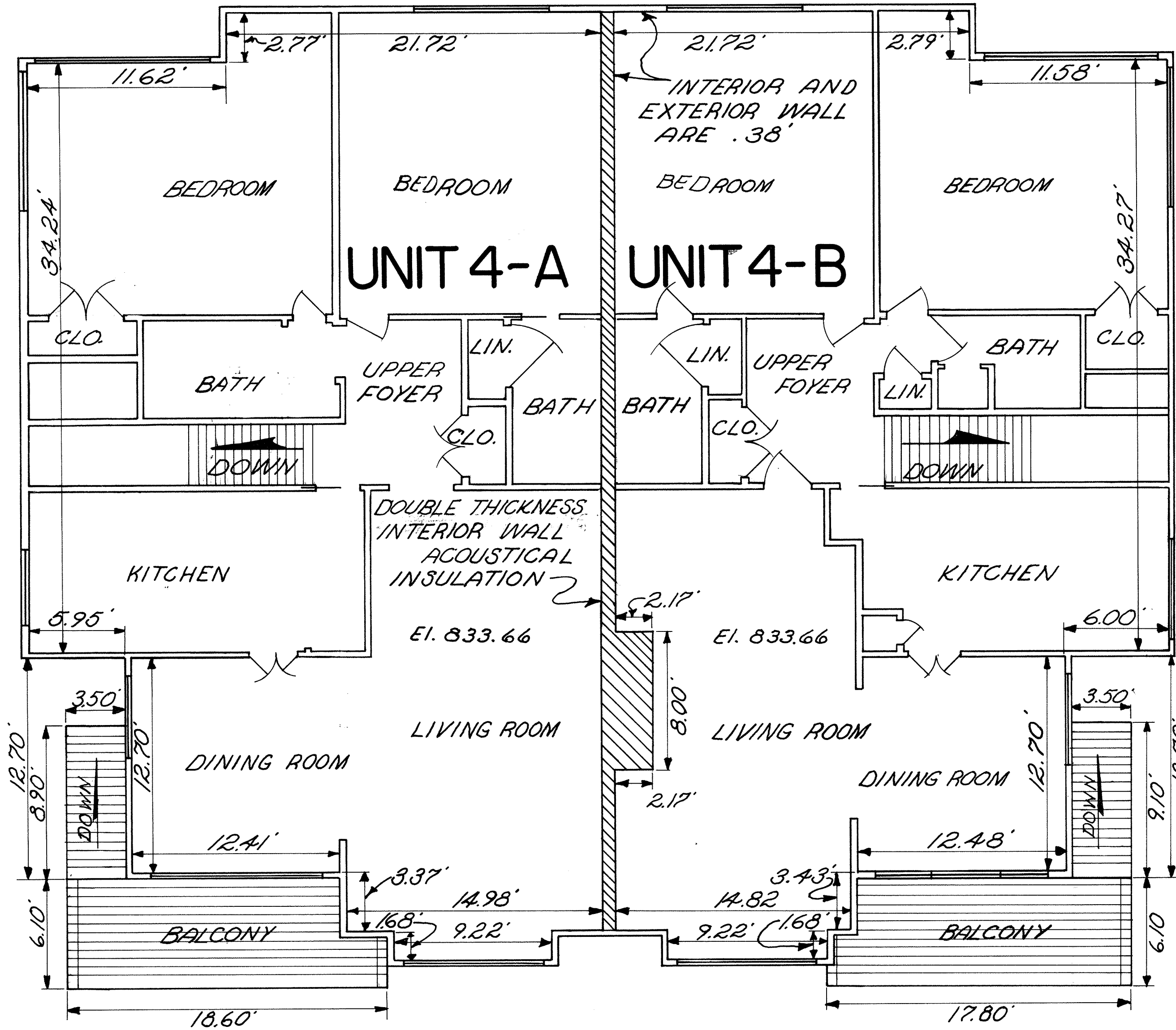
DESIGNATES UNIT PARTITION

DESIGNATES CONCRETE

SCALE: 1" = 5'

MEWS CONDOMINIUM

S.W 1/4 SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO



ROOFING: Shakes on roofing paper, plywood sheathing, 2"x6" joist and rafter

EXTERIOR WALLS: Typical 2"x4" studs 16" O.C., 7/8" sheathing, paneled siding w/wood batten Drywall - inside

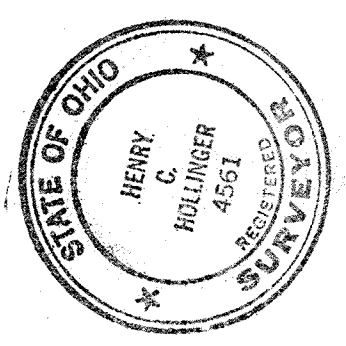
INTERIOR PARTITION: 2"x4" studs and drywall

DIVIDING WALL: As shown

Second Floor Unit Area
4-A 1616 Sq. Ft.
4-B 1598 Sq. Ft.

SECOND FLOOR

DESIGNATE UNIT PARTITION
SCALE 1" = 5'



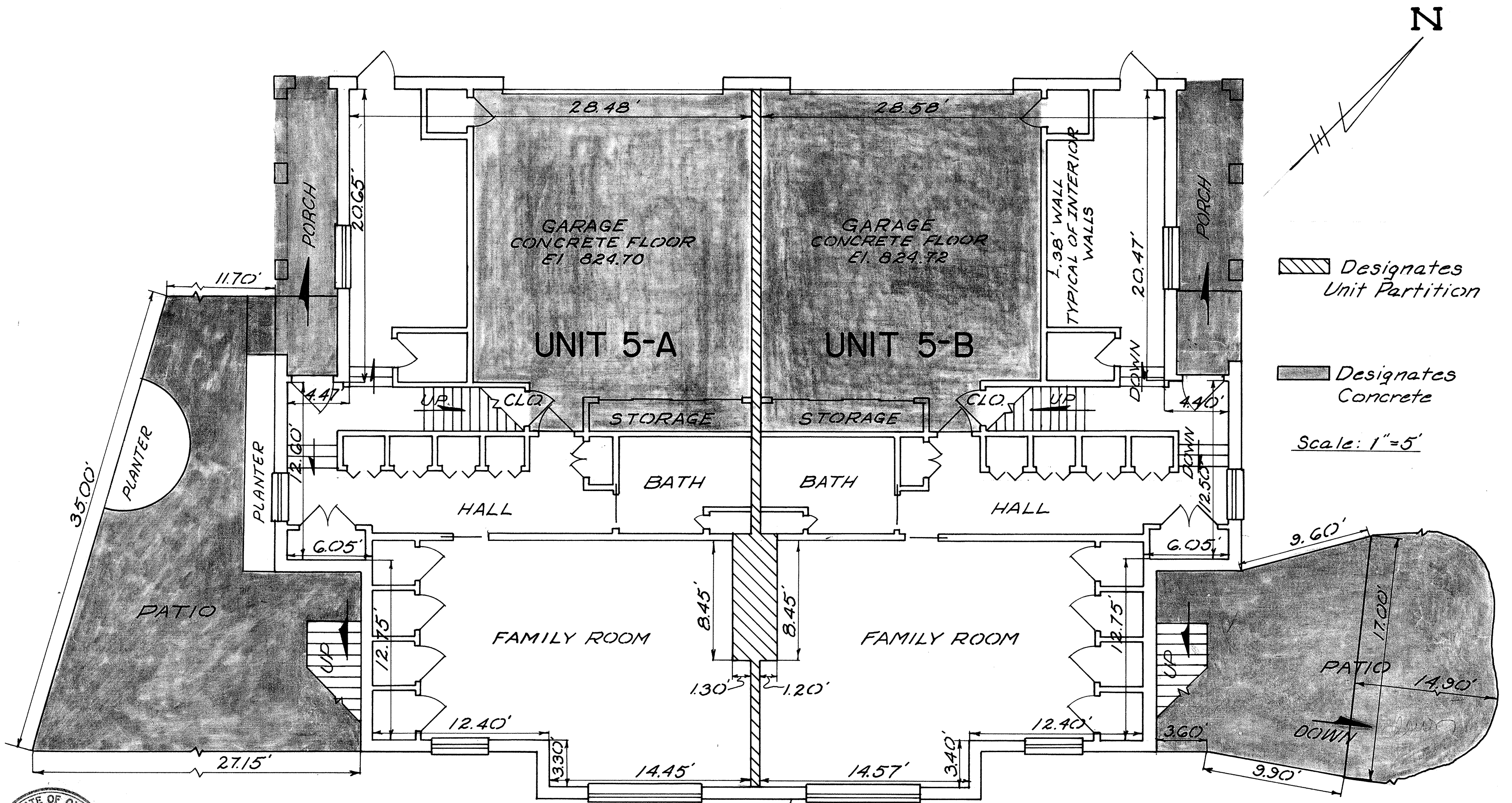
Dated at Lima, Ohio August 21, 1974
KOHLI AND KALIHER ASSOCIATES, LIMITED
By *Henry C. Hollinger*
Registered Surveyor 4561
Henry C. Hollinger
P.E.
Registered Engineer 34373



MEWS CONDOMINIUM

THIRD AMENDED EXHIBIT A
 S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

Sheet 10 of 17



Designates Unit Partition

Designates Concrete

Scale: 1"=5'



Dated at Lima, Ohio August 21, 1974
 KOHLI AND KALIKER ASSOCIATES, LIMITED

By Henry C. Hollinger
 Registered Surveyor 4561



By Richard D. Manney RE
 Registered Engineer 34373

EXTERIOR WALLS:
 Typical 2"x4" Studs
 16" OC, 7/8" sheathing
 Brick Veneer outside
 Drywall inside

INTERIOR PARTITION
 2"x4" Studs and drywall
 DIVIDING WALL
 8" Concrete block with
 drywall

First Floor Unit Area
 5-A 1381 Sq. Ft.
 5-B 1381 Sq. Ft.

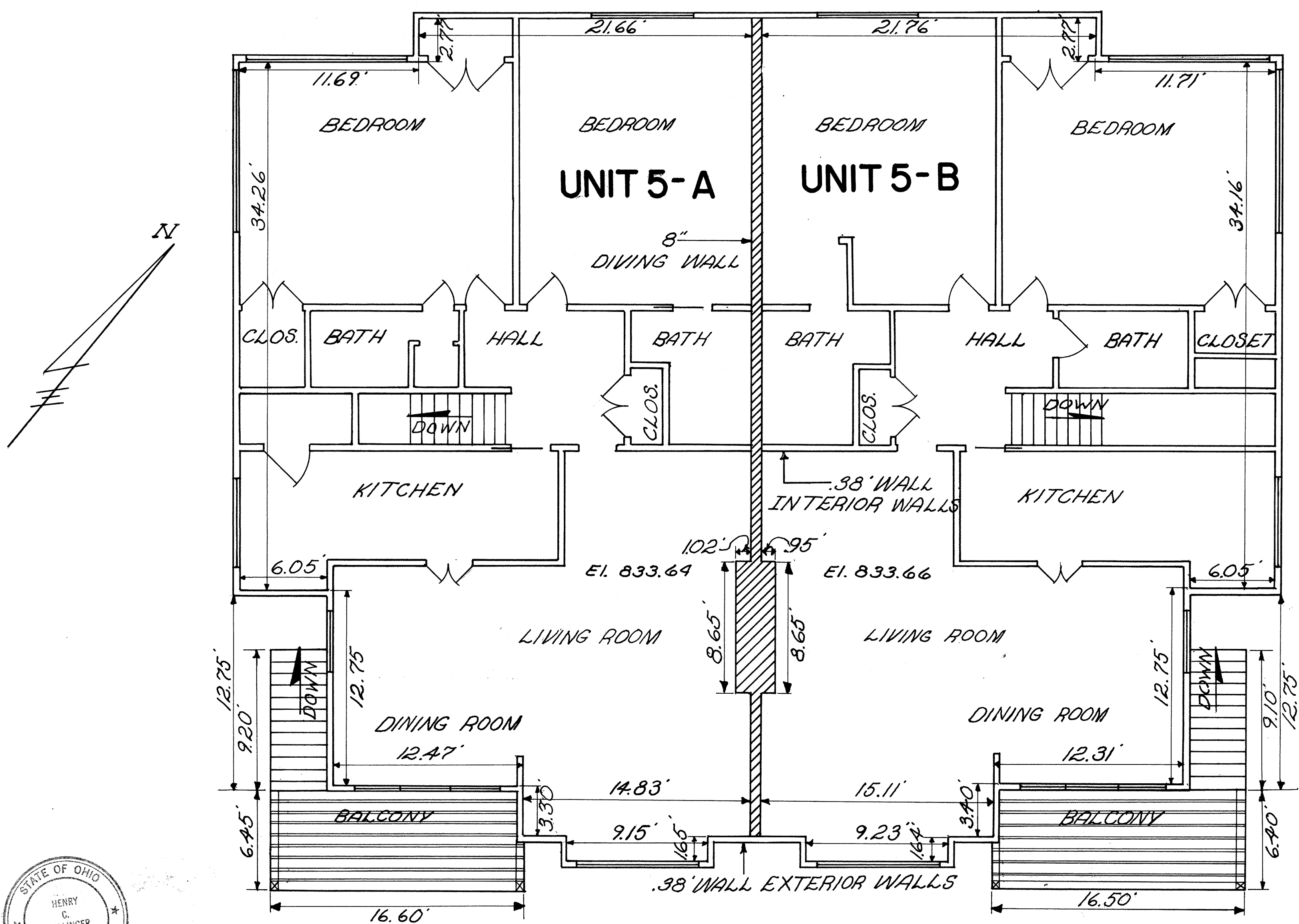
FIRST FLOOR

MEWS CONDOMINIUM

THIRD AMENDED
EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

Sheet II of 17



ROOFING: Shakes on roofing paper, plywood sheathing, 2" x 6" joist and rafter.

EXTERIOR WALLS: Typical 2" x 4" studs 16" OC, 1/8" sheathing, paneled siding, wood batten, drywall inside

INTERIOR PARTITION 2" x 4" studs with drywall

DIVIDING WALL: 8" concrete block with drywall

Second Floor Unit Area	
5-A	1612 Sq. Ft.
5-B	1606 Sq. Ft.

DESIGNATES UNIT PARTITION

SCALE 1" = 5'

SECOND FLOOR



Dated at Lima, Ohio August 21, 1974
KOLLI AND KALIHAR ASSOCIATES, LIMITED



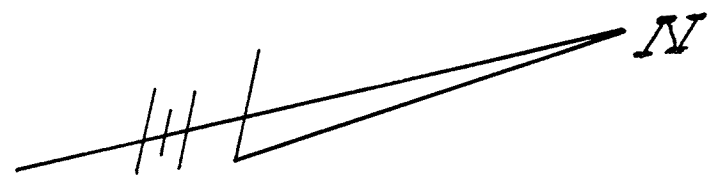
By Henry C. Hollinger Registered Surveyor 4561
Robert D. Hollinger P.E. Registered Engineer 34373

MEWS CONDOMINIUM

THIRD AMENDED
EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

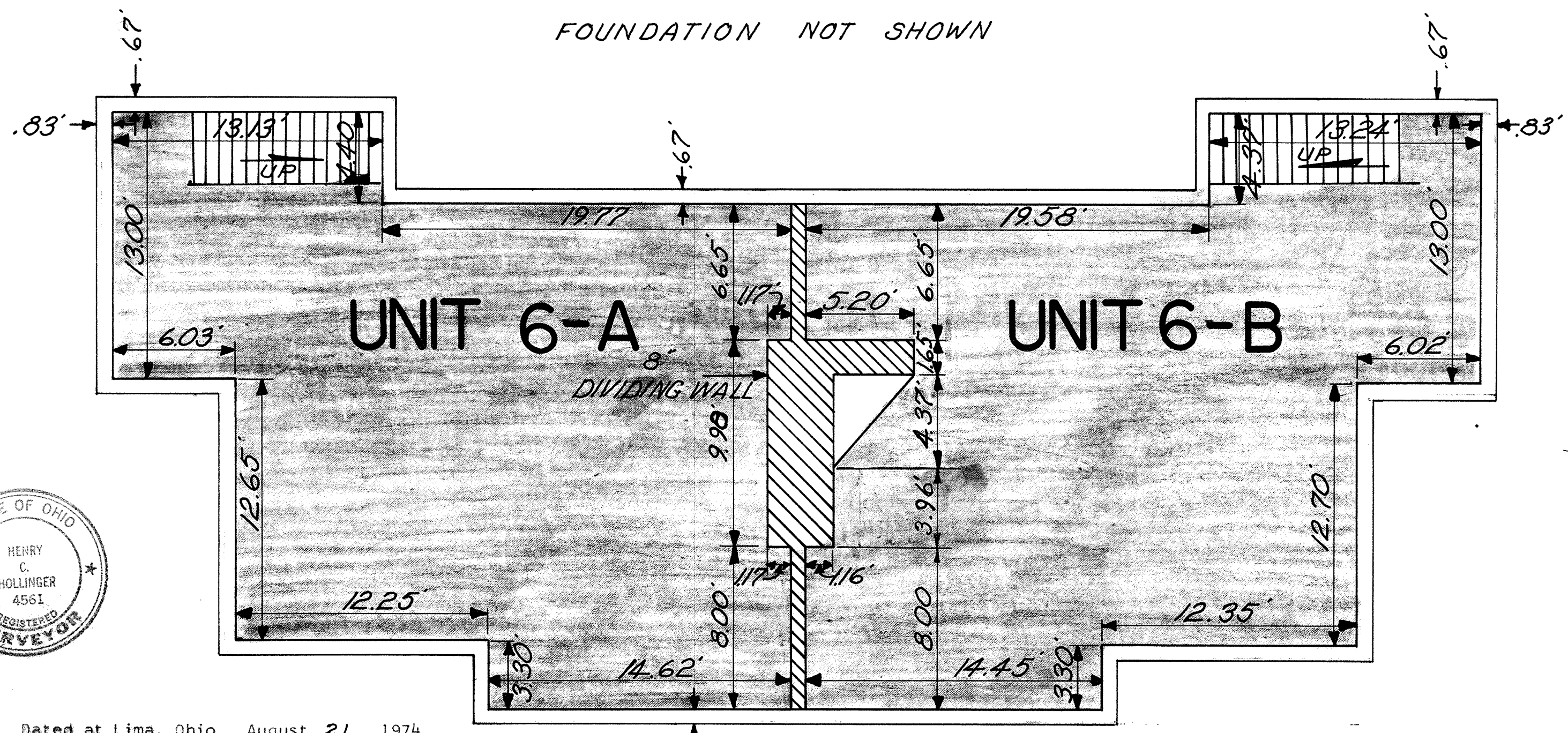
Sheet 12 of 17



Footers: Concrete poured
in place, 10" deep
2'-2" wide

Basement Walls: Concrete
poured in place, 8" wide
Basement Floor: 4" Concrete
on 4" - #46 stone, 6x6
30 lb wire mesh

Basement	Unit Area
6-A	717 Sq. Ft.
6-B	710 Sq. Ft.



Dated at Lima, Ohio August 21, 1974
KOHLE AND KALIHAR ASSOCIATES, LIMITED

BY Henry C. Hollinger
Registered Surveyor 4561

Richard D. Morris RE
Registered Engineer 34373

BASEMENT PLAN

DESIGNATE UNIT PARTITION

DESIGNATE CONCRETE

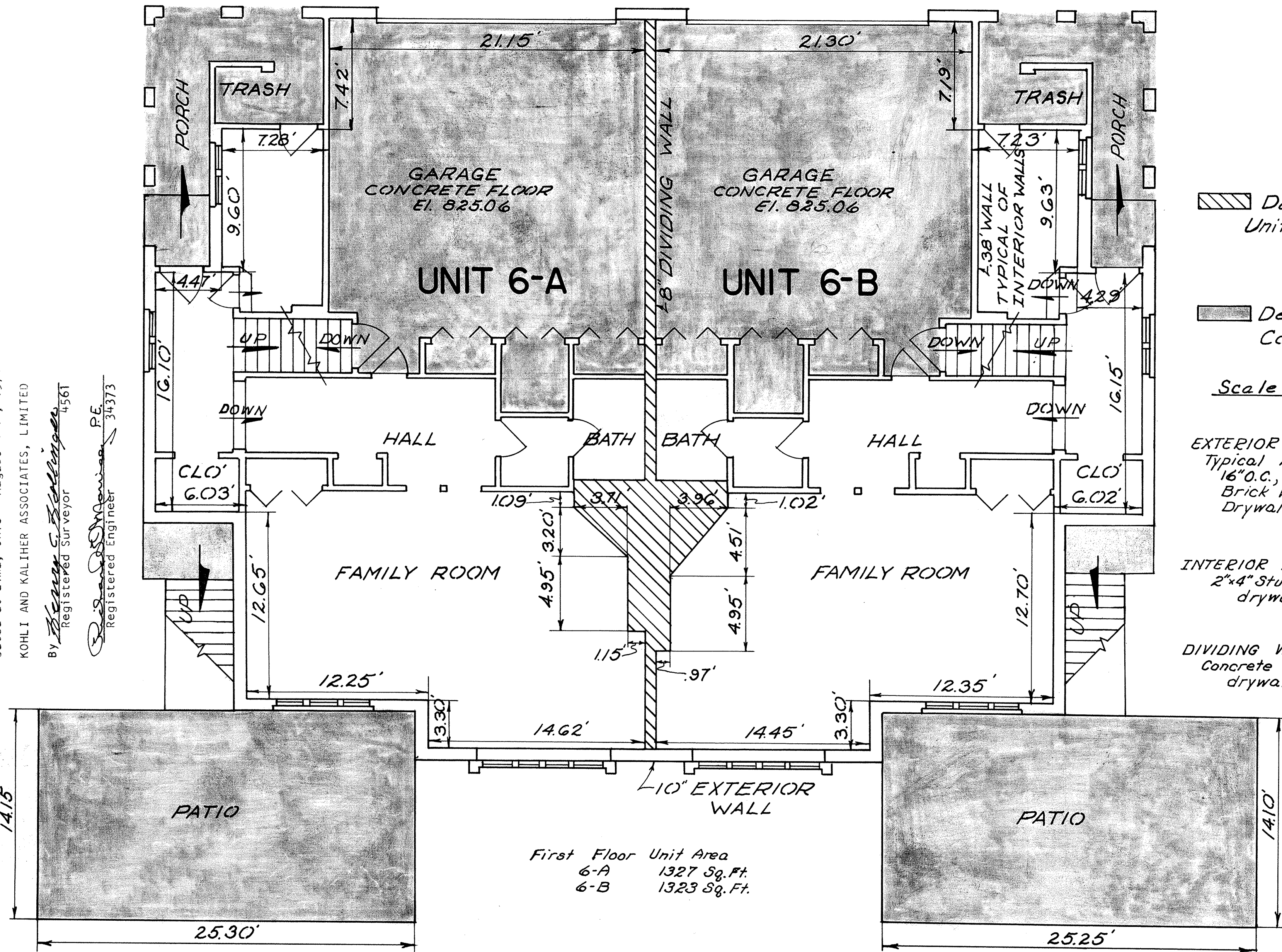
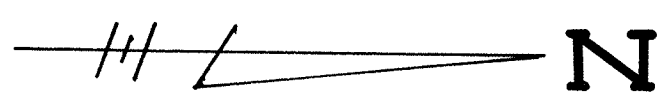
SCALE 1" = 5"

MEWS CONDOMINIUM

THIRD AMENDED EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

Sheet 13 of 17



Designates Unit Partition

Designates Concrete

Scale 1" = 5'

EXTERIOR WALLS:
 Typical 2"x4" Studs
 16" O.C., 7/8" sheeting
 Brick Veneer outside
 Drywall inside

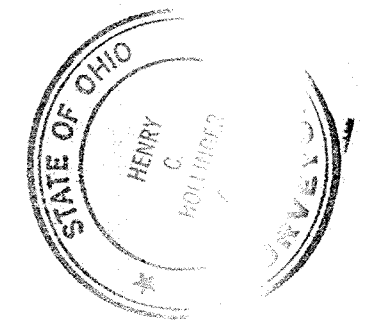
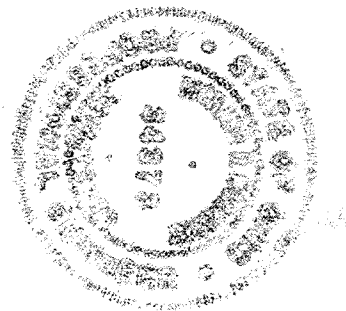
INTERIOR PARTITION
 2"x4" Studs with
 drywall

DIVIDING WALL: 8"
 Concrete block with
 drywall.

First Floor Unit Area

6-A	1327 Sq. Ft.
6-B	1323 Sq. Ft.

Dated at Lima, Ohio August 21, 1974
 KOHLI AND KALHER ASSOCIATES, LIMITED
 By *Henry C. Kohli*
 Registered Surveyor 4561
Robert D. McManis P.E.
 Registered Engineer 34373

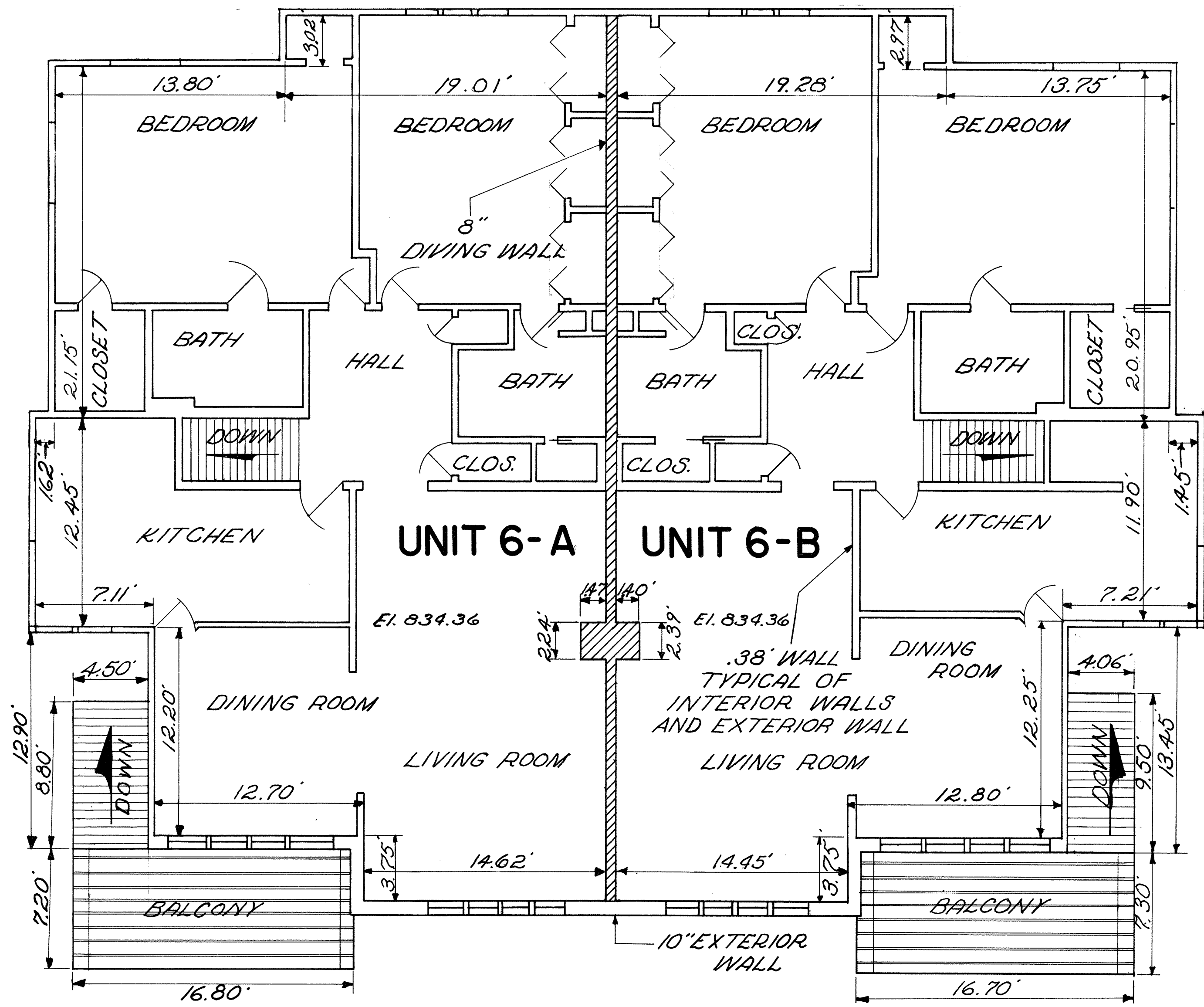
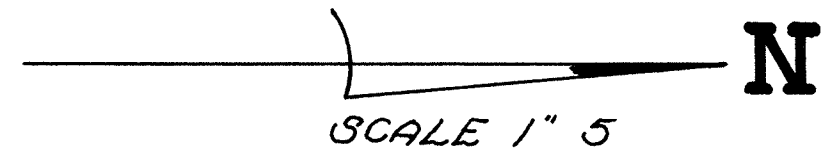


FIRST FLOOR

MEWS CONDOMINIUM

THIRD AMENDED EXHIBIT A

S.W. 1/4 SEC. 3, SHAWNEE TWP, ALLEN COUNTY, OHIO



ROOFING: Shakes on roofing paper, plywood sheathing, 2"x6" joist and rafter.

EXTERIOR WALLS: Typical 2"x4" studs 16" O.C. 1/8" sheathing Paneled siding wood batten Drywall inside

INTERIOR PARTITION 2"x4" studs with drywall.

DIVIDING WALL: 8" Concrete block with drywall.

Second Floor Unit Area.
6-A 1574 Sq. Ft.
6-B 1578 Sq. Ft.

SECOND FLOOR

/// DESIGNATES UNIT PARTITION



Dated at Lima, Ohio August 21, 1974

KOHLI AND KALHER ASSOCIATES, LIMITED

By Henry C. Hollinger
Registered Surveyor 4561



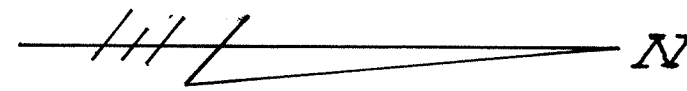
By Richard D. Manis P.E.
Registered Engineer 34373

MEWS CONDOMINIUM

THIRD AMENDED
EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO

Sheet 15 of 17

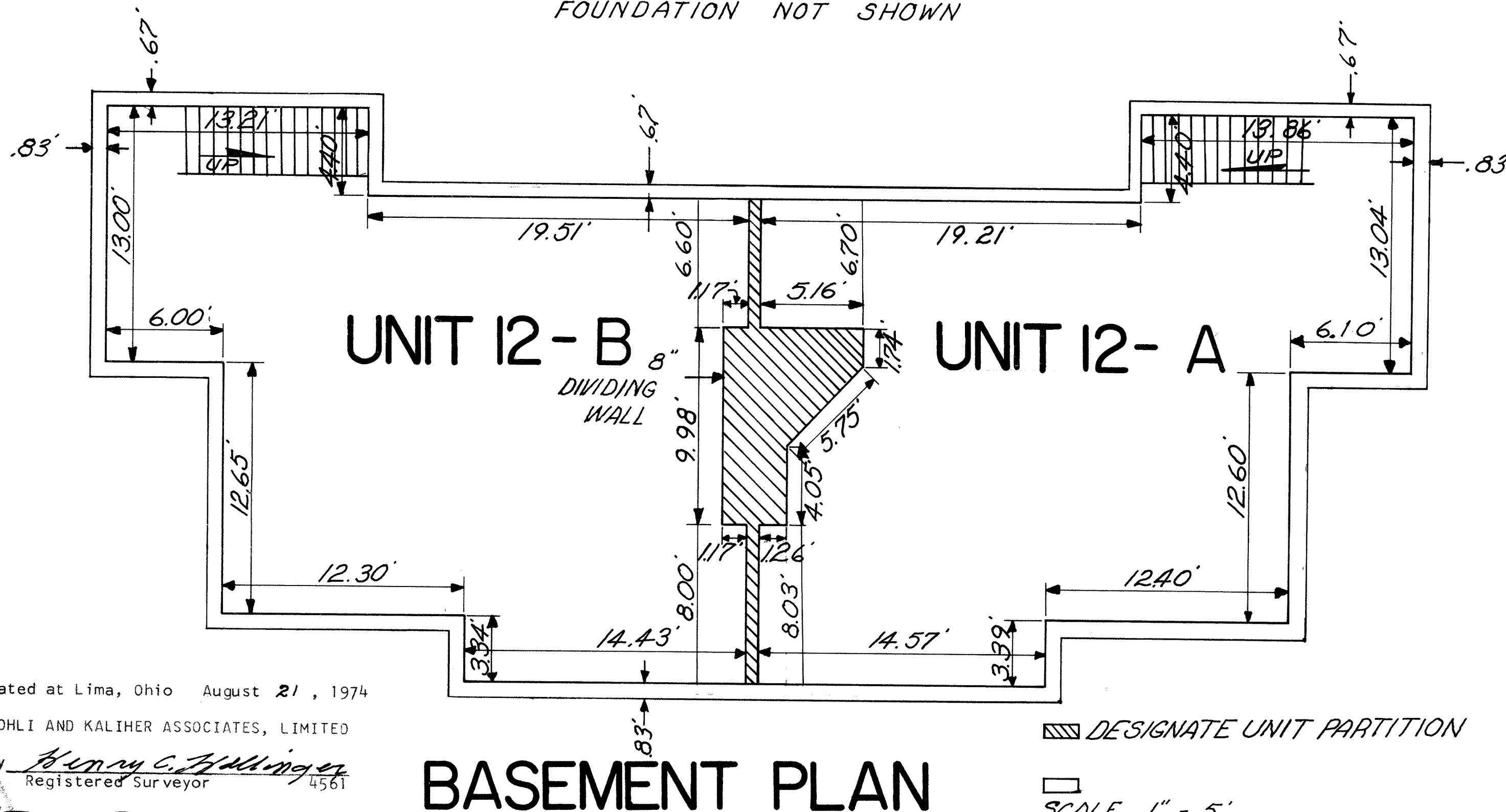


Footer: Concrete poured
in place, 10" w/
2-2" wide

Basement Walls: Concrete
poured in place, 8" wide
Basement Floor: 4" Concrete
on 4" #46 Stone with
6*6 30lb wire mesh.

Basement Unit Area
12A 709 Sq. Ft.
12B 714 Sq. Ft.

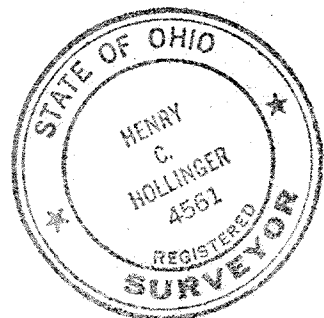
FOUNDATION NOT SHOWN



BASEMENT PLAN

▨ DESIGNATE UNIT PARTITION

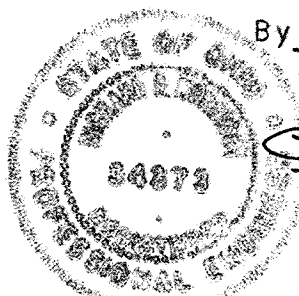
□ SCALE 1" = 5'



Dated at Lima, Ohio August 21, 1974

KOHLI AND KALHER ASSOCIATES, LIMITED

By Henry C. Hollinger
Registered Surveyor 4561

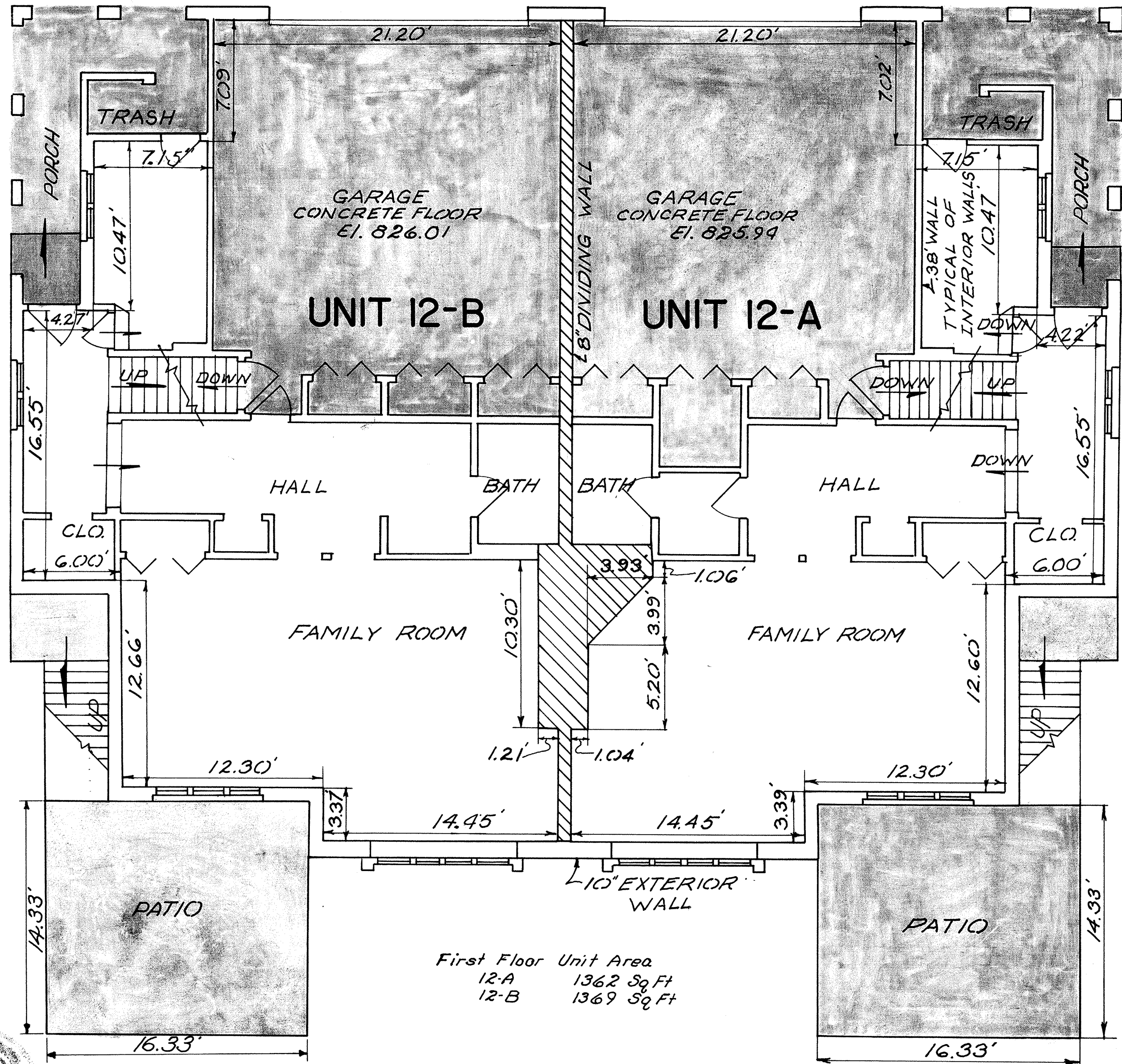
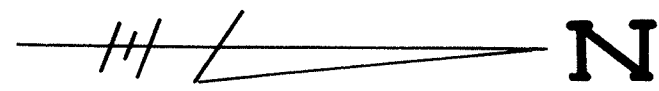


Richard D. Morrison P.E.
Registered Engineer 34373

MEWS CONDOMINIUM

THIRD AMENDED EXHIBIT A

S.W. 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO



Designates Unit Partition

Designates Concrete

Scale: 1" = 5'

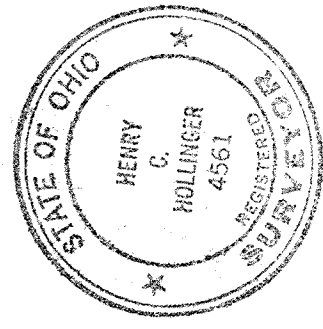
EXTERIOR WALLS:
 Typical 2"x4" Studs
 16" O.C. 1/2" sheathing
 Brick Veneer outside
 Drywall inside

Interior Partition
 2"x4" Stud with
 drywall

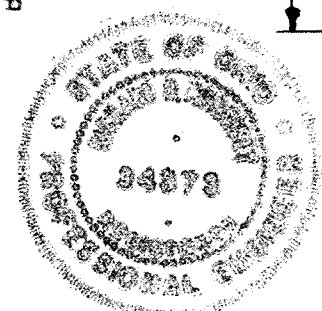
DIVIDING WALL:
 8" Concrete block with
 drywall.

First Floor Unit Area

12-A	1362 Sq Ft
12-B	1369 Sq Ft



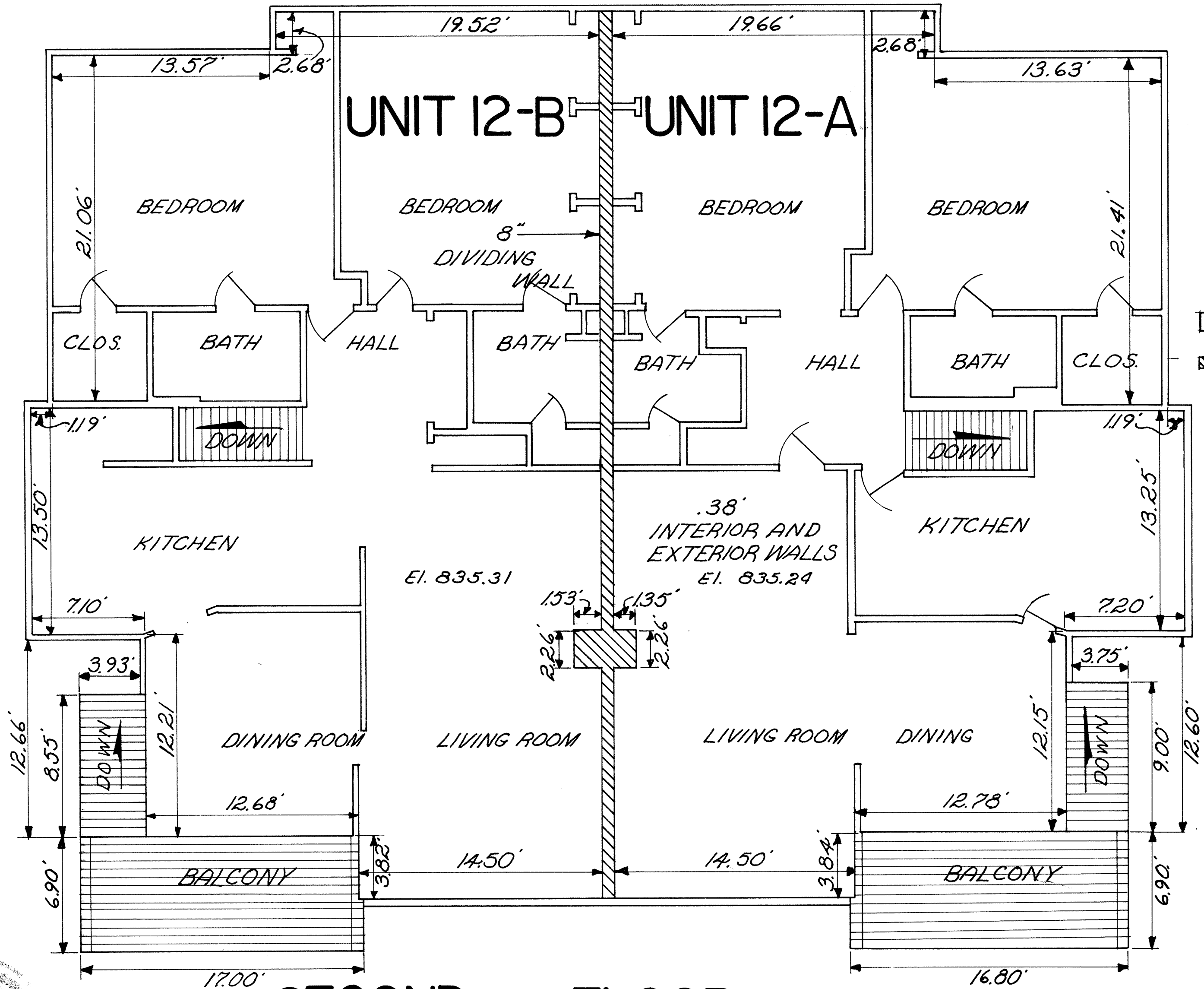
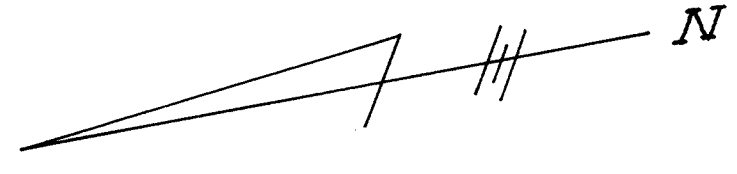
Dated at Lima, Ohio August 21, 1974
 KOHLI AND KALIKER ASSOCIATES, LIMITED
 by *Henry C. Hollinger*
 Registered Surveyor #4561
Robert J. ...
 Registered Engineer #373



FIRST FLOOR

MEWS CONDOMINIUM

THIRD AMENDED Sheet 17 of 17
EXHIBIT A
S.W 1/4, SEC. 3, SHAWNEE TWP., ALLEN COUNTY, OHIO



316807

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 4:01 O'CLOCK P.M.

AUG 21 1974

RECORDED Aug 21 1974
PLAT VOL 13 PAGE 21
Bernice Montague
RECORDER
Fee #14-10

DESIGNATES UNIT PARTITION
SCALE 1" = 5'

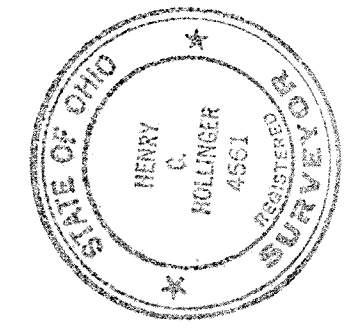
EXTERIOR WALLS:
Typical 2"x4" Studs
16" O.C., 7/8" sheathing
Brick Veneer outside
Drywall inside

INTERIOR PARTITION
2"x4" Stud with
drywall

DIVIDING WALL:
8" Concrete block
with drywall

Second Floor Unit Area
12A 1610 Sq.Ft.
12B 1596 Sq.Ft.

ROOFING: Shakes on
roofing paper, plywood
sheathing, 2"x6" joist
and rafters.



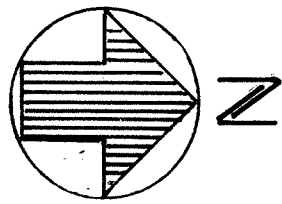
Dated at Lima, Ohio August 21, 1974
KOHLI AND KALHER ASSOCIATES, LIMITED
By *Bernice Montague*
Registered Surveyor No. 4561
Bernice Montague P.E.
Registered Engineer No. 34373



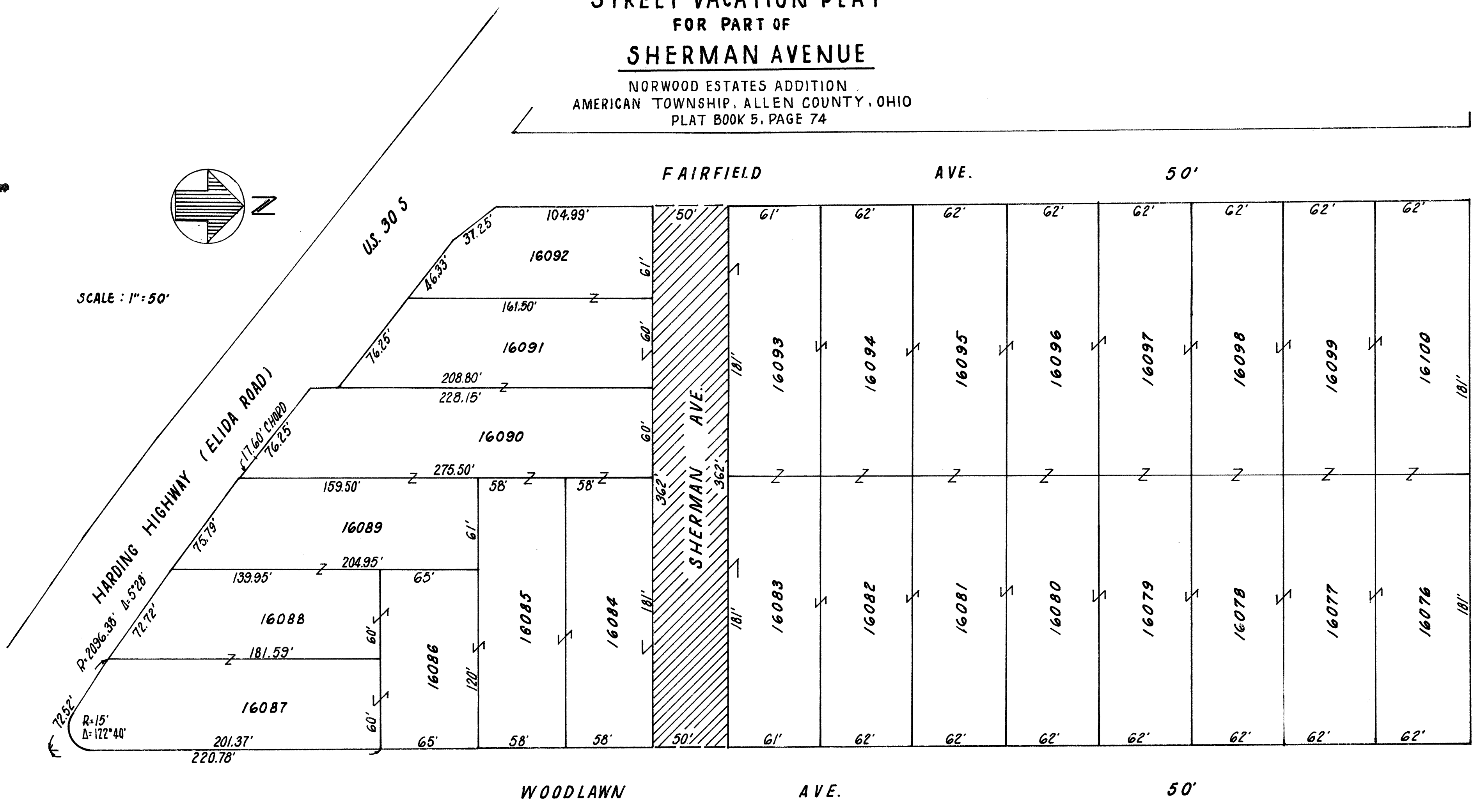
SECOND FLOOR

STREET VACATION PLAT FOR PART OF SHERMAN AVENUE

NORWOOD ESTATES ADDITION
AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO
PLAT BOOK 5, PAGE 74



SCALE: 1" = 50'



VACATION DESCRIPTION FOR SHERMAN AVENUE

BEING A STRIP OF LAND 50 FEET IN WIDTH AND A PART OF SHERMAN AVENUE IN THE NORWOOD ESTATES ADDITION, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO, AS RECORDED IN PLAT BOOK 5, PAGE 74, ALLEN COUNTY RECORDER'S OFFICE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT NO. 16093 OF THE NORWOOD ESTATES ADDITION AND THE EAST LINE OF FAIRFIELD AVENUE; THENCE EAST ALONG THE SOUTH LINE OF LOTS NO. 16093 AND 16083 OF THE SAID ADDITION TO THE WEST LINE OF WOODLAWN AVENUE, A DISTANCE OF 362 FEET; THENCE SOUTH A DISTANCE OF 50 FEET TO THE NORTHEAST CORNER OF LOT NO. 16084 OF THE SAID ADDITION; THENCE WEST FROM THE WEST LINE OF WOODLAWN AVENUE ALONG THE NORTH LINE OF LOTS NO. 16084, 16090, 16091 AND 16092 OF THE SAID ADDITION TO THE EAST LINE OF FAIRFIELD AVENUE, A DISTANCE OF 362 FEET; THENCE NORTH A DISTANCE OF 50 FEET TO THE PLACE OF BEGINNING; SAID STRIP OF LAND CONTAINING 18,100 SQUARE FEET OR 0.416 ACRE MORE OR LESS.

ANY EXISTING UTILITY LINES WHETHER ABOVE OR BELOW THE PORTION OF THE STREET AFFECTED SHALL BE DEEMED TO HAVE A PERMANENT EASEMENT.

PLAT PREPARED BY:
JACK L. WILLIAMS, REG. ENGINEER
3544 MADRID DR.
WESTERVILLE, OHIO
AUGUST 20, 1974

THE ABOVE IS A TRUE REPRESENTATION OF THE PROPOSED STREET VACATION AS TAKEN FROM EXISTING RECORDED INFORMATION.

Alden M. McLee 8/23/74
REGISTERED SURVEYOR, NO. 5679 DATE

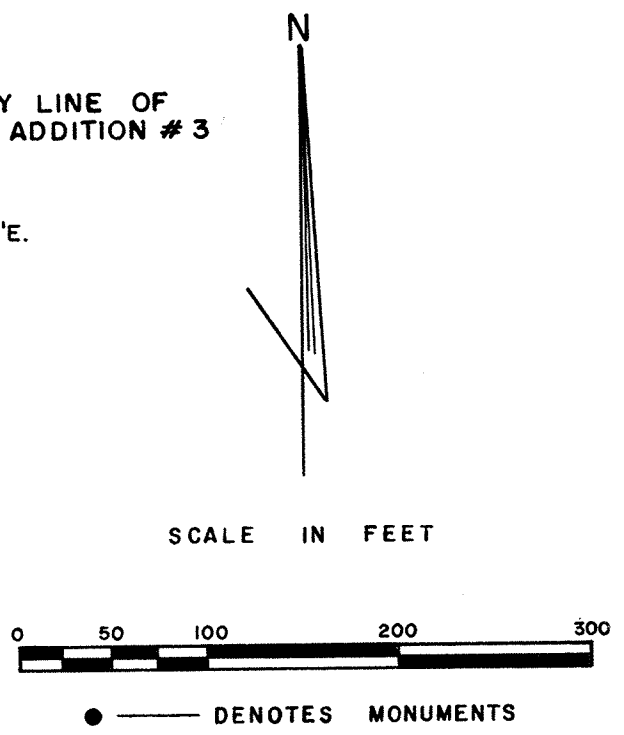
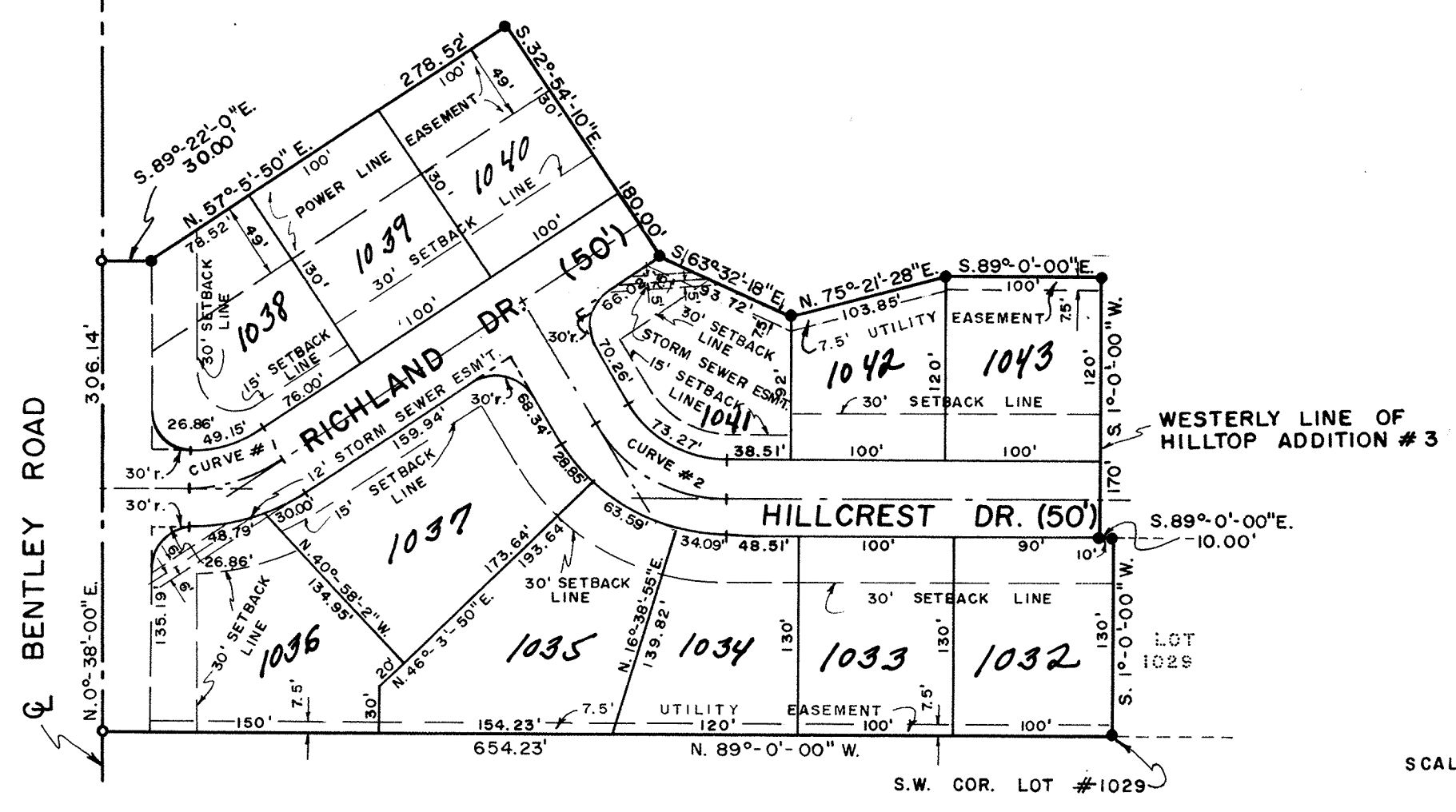
THE ABOVE DESCRIBED PORTION OF SHERMAN AVENUE IS VACATED BY RESOLUTION NO. 277-74 THIS DAY, July 24th, 1974, BY THE COUNTY COMMISSIONERS OF ALLEN COUNTY, OHIO.

*For Resolution to Vacate Portion of
Sherman Ave. See Deed Vol. 556 Page 78.*

316956
RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 3:43 O'CLOCK P.M.
AUG 26 1974
RECORDED Aug 26 1974
Vol. 131 PAGE 98
Beatrice Mortimer
RECORDER
by W.K.

See 8, 30

HILLTOP ADDITION NO. 4 SECTION 1, T2S-R8E, IN THE VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



CURVE # 1

A	33°-32'-10"
B	52°-0'-00"
T	110.18'
L	33.19'
L	64.49'

CURVE # 2

A	58°-17'-30"
B	57°-01'-00"
T	100.22'
L	55.89'
L	101.96'

Surveyor's Certificate

I HEREBY CERTIFY THAT IN DEC., 1973 I SURVEYED THE FOLLOWING DESCRIBED TRACT OF LAND IN THE N.W. 1/4 OF SECTION 1, T2S-R8E, IN BLUFFTON, ALLEN COUNTY, OHIO, AND THAT IRON PINS WERE PLACED AT ALL PROPERTY CORNERS AND MONUMENTS WERE PLACED AS SHOWN AND BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.W. CORNER OF LOT # 1029 IN HILLTOP ADDITION # 3; THENCE N. 89°-0'-00" W. FOR 654.23 FEET TO THE CENTERLINE OF BENTLEY ROAD; THENCE N. 0°-38'-00" E. ALONG THE CENTERLINE OF BENTLEY ROAD FOR 306.14 FEET; THENCE S. 89°-22'-0" E. FOR 30.00 FEET; THENCE N. 57°-5'-50" E. FOR 278.52 FEET; THENCE S. 32°-54'-10" E. FOR 180.00 FEET; THENCE S. 63°-32'-18" E. FOR 93.72 FEET; THENCE N. 75°-21'-28" E. FOR 103.85 FEET; THENCE S. 89°-0'-00" E. FOR 100.00 FEET TO THE WESTERLY LINE OF HILLTOP ADDITION # 3; THENCE ALONG SAID WESTERLY LINE WITH THE FOLLOWING COURSES: S. 1°-0'-00" W. FOR 170.00 FEET, S. 89°-0'-00" E. FOR 10.00 FEET, S. 1°-0'-00" W. FOR 130.00 FEET TO THE PLACE OF BEGINNING.

CONTAINING IN ALL 5.08 ACRES

Thomas C. Hubbell
THOMAS C. HUBBELL
REG. SURVEYOR # 5044

DEDICATION

BEING THE SOLE OWNERS OF THE ABOVE DESCRIBED PREMISES, WE HEREBY DEDICATE THE STREETS AS SHOWN TO THE PUBLIC FOR THEIR USE FOREVER, SIGNED THIS 26th DAY OF August, 1974.

OWNER: *Bilary M. Kimmel*
Grace J. Kimmel
WITNESS: *Donald C. Kimmel*
Raymond E. Roberts

ACKNOWLEDGEMENT

COUNTY OF ALLEN, STATE OF OHIO
BEFORE ME A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE DID PERSONALLY APPEAR THE ABOVE SIGNED OWNERS WHO ACKNOWLEDGED THE SIGNING OF THIS DOCUMENT TO BE THEIR FREE ACT AND DEED, IN TESTIMONY THEREOF, I HAVE AFFIXED MY HAND AND SEAL THIS 26th DAY OF August, 1974. MY COMMISSION EXPIRES LIFETIME COMMISSION.

Raymond E. Roberts
NOTARY PUBLIC
ATTORNEY-AT-LAW

VILLAGE ACCEPTANCE AND APPROVAL

BEING THE DULY ELECTED MAYOR AND CHAIRMAN OF THE PLANNING COMMISSION OF THE VILLAGE OF BLUFFTON, OHIO, I HEREBY ACCEPT THIS PLAT OF THE VILLAGE

Frederick Inchausti
APPROVAL OF PRESIDENT OF VILLAGE COUNCIL
John E. Staley
APPROVAL OF VILLAGE ENGINEER

R. Wayne Matter
MAYOR & CHAIRMAN OF PLANNING COMMISSION
Larry R. Coe
APPROVAL OF THE STREET COMMISSIONER, VILLAGE OF BLUFFTON, OHIO

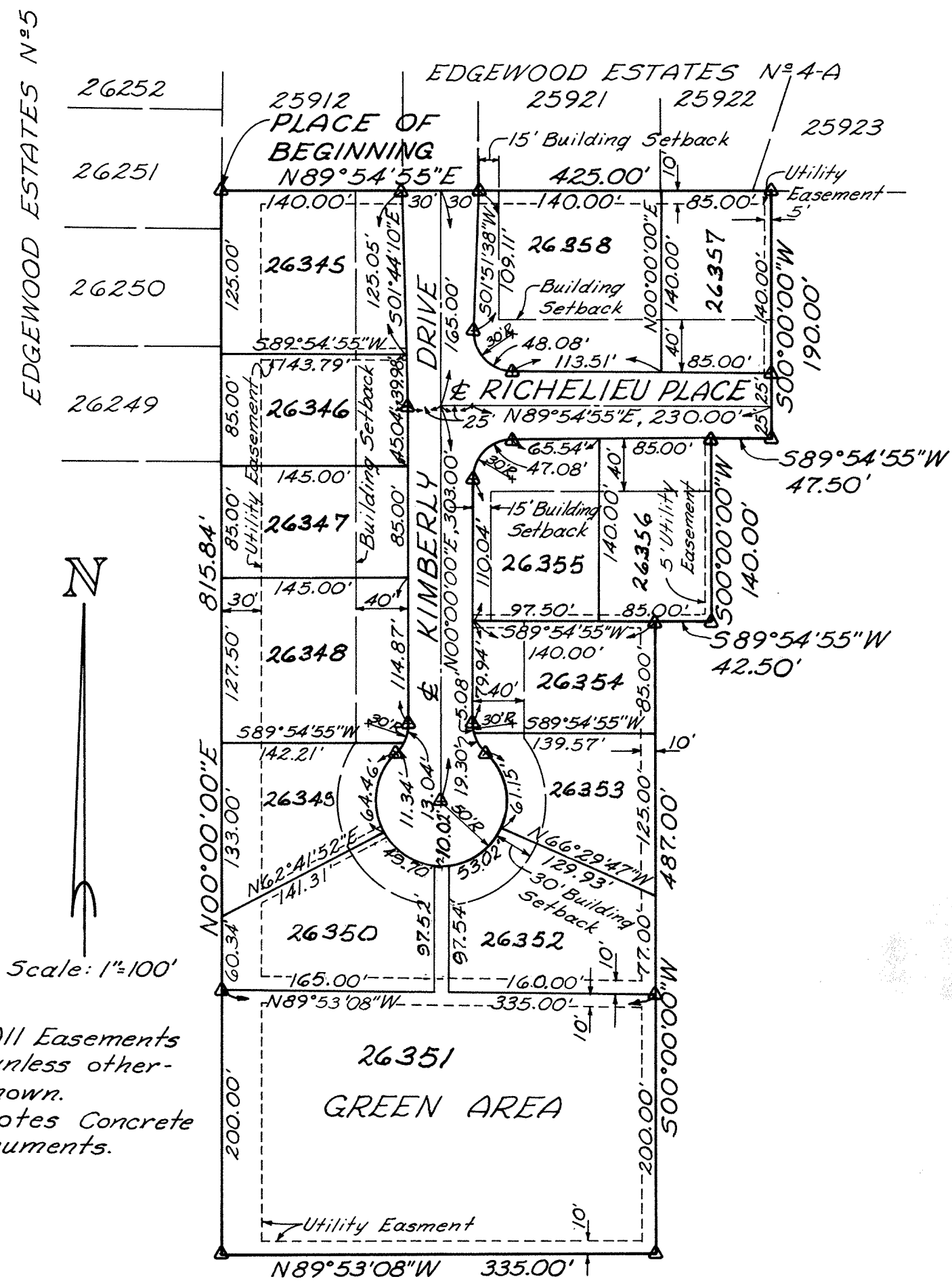
FILED FOR TRANSFER THIS 28th DAY OF August 1974, AT 3:50 O'CLOCK P.M. IN THE OFFICE OF THE ALLEN COUNTY AUDITOR.

Richard J. Ditt
ALLEN COUNTY AUDITOR

NO. 317052
FILED FOR RECORD THIS 28th DAY OF August 1974, AT 3:50 O'CLOCK P.M. IN THE OFFICE OF THE ALLEN COUNTY RECORDER, AND RECORDED IN PLAT BOOK 13 PAGE 99
FEE \$ 2.30

Bernice Montague
ALLEN COUNTY RECORDER
Betty Kineth, Deputy

EDGEWOOD ESTATES N°6



Scale: 1"=100'

Note: All Easements are 5' unless otherwise shown. (Δ) Denotes Concrete Monuments.

DESCRIPTION

EDGEWOOD ESTATES NO. 6 is laid out on the following described lands situate in the northeast quarter of Section 23, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

Beginning at the southwest corner of Lot No. 25912 of Edgewood Estates No. 4-A Subdivision; thence N 89° 54' 55" E with the south line of said subdivision, 425.00 feet; thence South, 190.00 feet; thence S 89° 54' 55" W, 47.50 feet; thence South, 140.00 feet; thence S 89° 54' 55" W, 42.50 feet; thence South, 487.00 feet; thence N 89° 53' 08" W, 335.00 feet; thence North with the east line of Edgewood Estates No. 5 Subdivision and said east line extended, 815.84 feet to the PLACE OF BEGINNING, containing 6.808 Acres more or less, of which 0.775 Acres more or less is dedicated for roadway purposes.

SURVEYOR'S CERTIFICATE

I hereby certify that this plat represents a true and complete survey made under my supervision in May, 1974, and that all monuments shown will be in place within twelve (12) months from the date of recording of the plat.

James R. Myers
Registered Surveyor 5453
Kohli and Kalher Associates, Limited
Lima, Ohio



DEDICATION

Harry H. Wagner Sr., being the owner of the land contained in the hereon plat, hereby adopts said plat and dedicates the land contained within the streets to the use and benefit of the public forever. Utility easements are established as shown on the plat.

In Witness Whereof, Harry H. Wagner Sr. and Marjorie C. Wagner, his wife, have hereunto signed their names this 29th day of August, 1974.

Witnesses:

James R. Myers
James R. Myers

Harry H. Wagner Sr.
Harry H. Wagner Sr.
Marjorie C. Wagner
Marjorie C. Wagner

ACKNOWLEDGEMENT

State of Ohio
Allen County ss:

Before me a Notary Public in and for said state and county, personally appeared Harry H. Wagner Sr. and Marjorie C. Wagner, who acknowledged that they did sign the hereon plat of Edgewood Estates No. 6 and that the signing was their free act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 29th day of August, 1974.

My Commission Expires:

S Sharon S. Orzell
Notary Public, Allen County, Ohio
Comm. Expires: 11-2-79

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City and said Commission approve and accept this plat this 5th day of Sept, 1974.

Harold J. Meyer
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission.

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 5th day of September, 1974. Fee: \$350

Richard S. White
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 317309
Filed for record in the Allen County, Ohio, Recorder's Office this 5th day of Sept., 1974, at 3:17 o'clock P.M. and recorded in the Allen County Plat Book 13 on Page 100.

Fee: \$830

Bernice Montague
Recorder of Allen County, Ohio

COUNTY ENGINEER'S CERTIFICATE

Having checked the construction of the streets in this subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans thereof, and that they are in good repair, and this endorsement shall constitute acceptance of the streets for public use.

R. R. Kohli
County Engineer of Allen County, Ohio

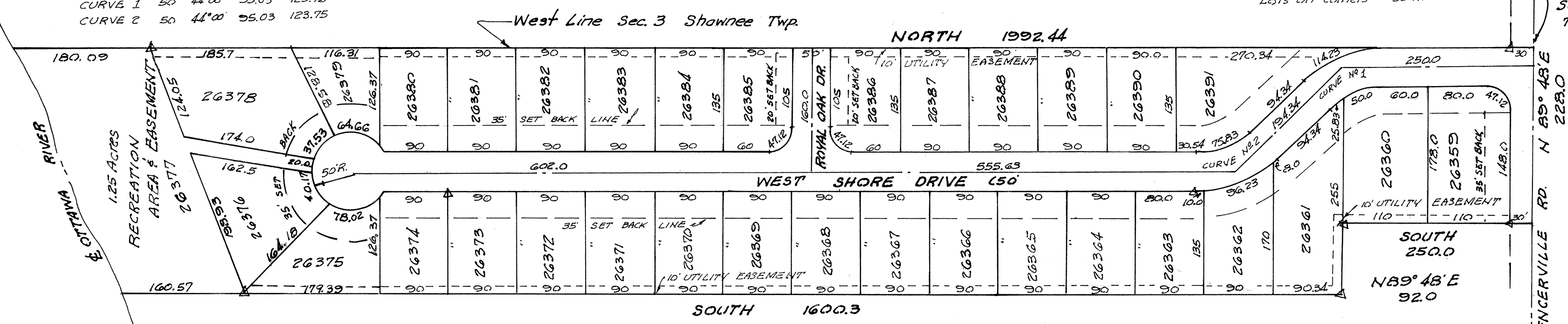
The above certification was placed on the within plat by R.R. Kohli Allen County Engineer Lima, Ohio, under authority of Section 711-091 of the revised Code of Ohio, in my presence this 27th day of September 1974.

Bernice Montague
Recorder
by Betty Kinzle, Deputy

PARK SHORE ESTATES

Scale 1"=100'
Lots on corners 30' R.

CURVE DATA
 T Δ L R
 CURVE 1 50 44°00' 95.03 123.75
 CURVE 2 50 44°00' 95.03 123.75



SURVEYORS CERTIFICATE

I hereby certify that in August 1974 I surveyed the following described plat, and that iron pipes were placed at all lot corners and that concrete monuments (A) were placed as shown. Being a part of the SW 1/4 of Sec. 3, T4S, R6E, Shawnee Twp., Allen County, Ohio, and more particularly described as follows: Beginning at the NW cor. of the said SW 1/4 of Sec. 3; thence N89°48'E along the centerline of S.R. 117, 228.0 ft.; thence South, 250.0 ft.; thence N89°48'E, 92.0 ft.; thence South, 1600.3 ft. to the center of the Ottawa River, thence southwesterly along the center of the Ottawa River to the West Line of said Sec. 3; thence North along the West Line of Sec. 3, 1992.44 ft. to the place of beginning, containing 11 acres more or less.

Thomas E. Kuck
 Thomas E. Kuck
 Reg. Surveyor No 4996

For Agreement Park Shore
 Estates lot 26377
 See Deed Vol 733 page 700
 Reversion Note: Entered April 12, 1994

DEDICATION

Being the sole owners of the above described premises we hereby dedicate the streets and utility easements as shown to the public for their use forever, signed this 29th day of August, 1974.

Owner
 Thomas E. Kuck
 Kuck, Thomas E.
 Fritz Degen
 Degen, Fritz
 Witness
 Janet E. Kuck
 Kuck, Janet E.
 Elfrida Degen
 Degen, Elfrida

Witness
 Ronald L. Klypferstein
 Jerry M. Hauerstein

ACKNOWLEDGEMENT

County of Allen, State of Ohio
 Before me, a notary public in and for said County and State did personally appear the above signed owners who acknowledged this document to be their free act and deed, in testimony thereof I affix my hand and seal this 29 day of Aug. 1974. My commission expires Nov. 16, 1976.
 Margaret Anne Steffens
 Notary Public

PLANNING COMMISSION APPROVAL

I hereby certify that this plat was approved by the City of Lima, Ohio Planning Commission
 Harry J. Meyer
 Mayor, City of Lima, Ohio

COUNTY AUDITOR

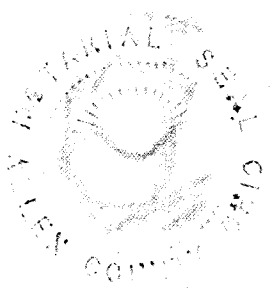
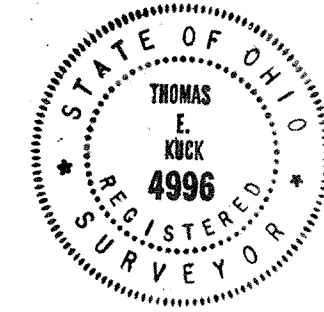
I hereby certify that the land described by this plat was transferred on September 5th 1974
 Richard J. Ditt
 Allen County Auditor

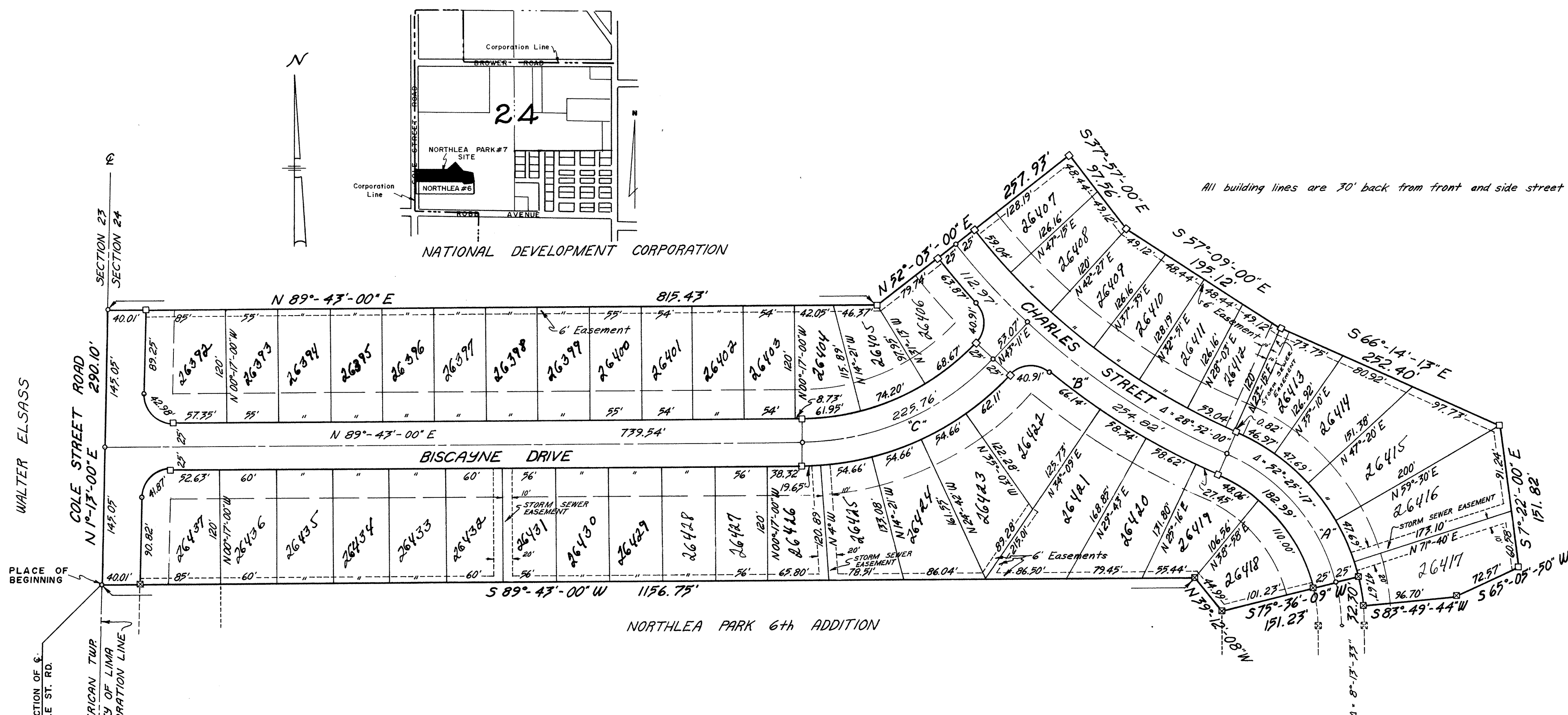
COUNTY RECORDER

I hereby certify that this plat was filed for recording on Sept 5th 1974, and that it was recorded in Vol. 13, Page 111 plat records of Allen County, Ohio AT 3:18:00 Clock P.M.
 Fee \$ 2.30
 Genesie Montague
 Allen County Recorder
 by Betty Kinosh, Deputy

RESTRICTIONS

- No dwelling shall have less than 800 square feet of ground floor area exclusive of open porches and garages and no building shall be located nearer than 35 feet to the front property line and nearer than 10 feet to either side property line.
- No signs, advertisements, or billboards (except "For Sale" or "For Rent" signs) may be erected or maintained on any building site.
- No animals, livestock, or poultry shall be kept or maintained on any lot on this plat, except ordinary household pets which do not constitute an annoyance or nuisance.
- No house may be occupied until completed.
- No trade or activity of a business nature shall be carried on upon any lot on this plat.
- No fences shall be erected on any lot in this plot from the building line to the front lot line nor shall any fence be erected on a side street nearer than the line of the dwelling to the side street line nor shall any fence exceed 3 feet in height.
- No house trailers of any kind shall be placed on any lot in this subdivision.
- No house or travel trailers, campers or camper buses, or boat or boat trailers shall be stored or permitted to remain upon building sites except inside garages.
- The owners of any lot at any time may secure permission for a use for construction which does not conform to the requirements of these restrictions by securing an instrument in writing and signed by a majority of the then owners of the lots, including the owners of all lots abutting on the lots owned by said applicant and including the owners of the lots immediately across the street from the front of said lot, specifically waiving the provisions of these restrictions for the specified purpose desired by such applicant. The provision of these restrictions shall not apply in the event such signed consent has been obtained and recorded but such waiver of the restrictions shall extend only to the specified use or structure named in such waiver.
- Should any one or more of the foregoing restrictions and conditions at any time in the future be held illegal, void, or unenforceable, such fact shall not in any way impair the validity of any other restrictions which shall remain in full force and effect.
- These restrictions shall run with the land and be binding on all parties and all persons claiming under them for a period of 40 years from the date these restrictions are recorded, after which time said restrictions shall be automatically extended for successive periods of ten years unless an instrument signed by a majority of the then owners of the lots has been recorded agreeing to change said restrictions in whole or part.
- Lot 26377 is reserved for future recreation area.





All building lines are 30' back from front and side street lines.

- ☒ Denotes existing Monument
- ☐ Denotes Monument Set

CURVE DATA

A"	B"	C"
Δ = 66°-32'-00"	Δ = 43°-00'-00"	Δ = 46°-32'-00"
R = 200.00'	R = 730.00'	R = 277.98'
T = 131.21'	T = 287.85'	T = 119.53'
La = 232.25'	La = 547.86'	La = 225.76'

46 LOTS
 LOTS 8.1957 ACRES
 STREETS 2.0276 "
 TOTAL 10.2233 "

All dimensions are in feet and decimal parts thereof.

Chord lengths are given for lot dimensions along curves.

Arc lengths are given for Subdivision Boundary and Roadway Centerline dimensions along curves.

At all intersections, Street Lines follow curves having a radius of 30 feet.

Easements indicated on the plat are for the construction, operation, and maintenance of Public Utilities above and below the ground.

I hereby certify that the Northlea Park Seventh Addition was surveyed and platted in accordance with the platting code of the City of Lima, Ohio.

Kenneth G. Bushatz 6/3/72
 Kenneth G. Bushatz Date
 Registered Surveyor S-005664
 485 Roberts Ave. Marion, Ohio

NORTHLEA PARK 7th ADDITION
 A PART OF THE SW 1/4 OF SECTION 24, T-3-S, R-6-E
 CITY OF LIMA, COUNTY OF ALLEN,
 STATE OF OHIO

Scale: 1" = 80'

JUNE 3, 1972

OWNER AND DEVELOPER:
 THE NATIONAL DEVELOPMENT CORPORATION
 485 ROBERTS AVENUE MARION, OHIO

DESCRIPTION
NORTHLEA PARK SEVENTH ADDITION

Situated in the City of Lima, County of Allen, State of Ohio, being a part of the Southwest one-quarter of Section 24, Township 3 South, Range 6 East and being more particularly described as follows:

Beginning at a point in the centerline of Cole Street Road Seven Hundred Eighty-Two and Seven Tenths (782.7) feet, more or less, north of the centerline intersection of Robb Avenue and Cole Street Road, said point of beginning also falling on the west line of Section 24 and the corporation line of the City of Lima; thence N 1°-13'-00" E, along the centerline of Cole Street Road and the corporation line of the City of Lima, a distance of Two Hundred Ninety and Ten Hundredths (290.10) feet to a point; thence N 89°-43'-00" E a distance of Eight Hundred Fifteen and Forty-Three Hundredths (815.43) feet to a point; thence N 52°-03'-00" E a distance of Two Hundred Fifty-Seven and Ninety-Three Hundredths (257.93) feet to a point; thence S 37°-57'-00" E a distance of Ninety-Seven and Fifty-Six Hundredths (97.56) feet to a point; thence S 57°-09'-00" E a distance of One Hundred Ninety-Five and Twelve Hundredths (195.12) feet to a point; thence S 66°-14'-13" E a distance of Two Hundred Fifty-Two and Forty Hundredths (252.40) feet to a point; thence S 7°-22'-00" E a distance of One Hundred Fifty-One and Eighty-Two Hundredths (151.82) feet to a point; thence S 65°-05'-50" W a distance of Seventy-Two and Fifty-Seven Hundredths (72.57) feet to a point; thence S 83°-49'-44" W, along the north line of Northlea Park Addition No. 6, a distance of Ninety-Six and Seventy Hundredths (96.70) feet to a point; thence northerly around a curve having a radius of Two Hundred Twenty-Five (225) feet and along the east street line of Charles Street and the north boundary of Northlea Park Addition No. 6, a distance of Thirty-Two and Thirty Hundredths (32.30) feet to a point; thence S 75°-36'-09" W, along the north line of Northlea Park Addition No. 6, a distance of One Hundred Fifty-One and Twenty-Three Hundredths (151.23) feet to a point; thence N 39°-12'-08" W, along the north line of Northlea Park Addition No. 6, a distance of Forty-Four and Ninety-Nine Hundredths (44.99) feet to a point; thence S 89°-43'-00" W, along the north line of Northlea Park Addition No. 6, a distance of One Thousand One Hundred Fifty-Six and Seventy-Five Hundredths (1156.75) feet to the point of beginning and containing 10.2233 Acres, more or less, of which 8.1957 Acres are divided into 46 lots and 2.0276 Acres are within street right of way.

PROTECTIVE COVENANTS

The following Protective Covenants shall apply to all lots in Northlea Park Seventh Addition to the City of Lima, Ohio. These covenants are to run with the land and shall be binding on all parties and all persons claiming under them for a period of thirty years from the date these covenants are recorded, after which time said covenants shall be automatically extended for successive periods of ten years unless an instrument signed by a majority of the then owners of the lots has been recorded, agreeing to change said covenants in whole or in part. Enforcement shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any covenant either to restrain violation or to recover damages. Invalidation of any one of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

- No lot shall be used except for residential purposes. No building shall be erected, altered, placed or permitted to remain on any lot other than one detached single family dwelling not to exceed two (2) stories in height and a private garage for not more than two (2) cars.
- No building shall be erected, placed or altered on any lot until the construction plans and specifications and a plan showing the location of the structure have been approved by National Development Corporation, as to the quality of workmanship and materials, harmony of external design with existing structures, and as to location with respect to topography and finish grade elevation. No fence or wall shall be erected, placed or altered on any lot nearer to any street than the minimum building setback line. No fences higher than five feet may be erected any place.
- No dwelling shall be permitted on any lot at a cost of less than \$12,000.00 based upon cost levels prevailing on the date these covenants are recorded, it being the intention and purpose of this covenant to assure that all dwellings shall be of a quality of workmanship and materials substantially the same or better than that which can be produced on the date these covenants are recorded at the minimum cost stated herein for the minimum permitted dwelling size. The ground floor of the main structure, exclusive of open porches shall be not less than 800 square feet.
- No buildings shall be located on any lot nearer than 30 feet to the front lot line, or nearer than 30 feet to any side street line. No building shall be located nearer than five feet to an interior lot line and no dwelling shall be located nearer than five feet to the rear lot line. For the purpose of this covenant, eaves, steps and open porches shall not be considered as part of the building, provided, however, that this shall not be construed to permit any portion of a building on any lot to encroach upon another lot owned by another person.
- No more than one dwelling shall be erected or placed on any lot, nor shall any dwelling be erected or placed on any lot when said lot has an area of less than 5,500 square feet.
- No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done thereon which may or may become an annoyance or nuisance to the neighborhood.
- No structure of a temporary character, trailer, basement, tent shack, garage, barn or other outbuilding shall be used on any lot at any time as a residence either temporarily or permanently. No trailer of any kind shall be permitted to remain on said premises for more than forty-eight (48) hours. No building already erected shall be moved upon any of said lots.
- No sign of any kind shall be displayed to the public view on any lot, except one professional sign of not more than five square feet advertising the property for sale or rent or signs used by a builder to advertise the property during the construction and sales period.
- No oil drilling, oil development operations, oil refining, quarrying or mining operations of any kind shall be permitted upon or in any lot, nor shall oil wells, tanks, tunnels, mineral excavations or shafts be permitted upon or in any lot. No derrick or other structure designed for use in boring for oil or natural gas shall be erected, maintained or permitted upon any lot.
- No animals, livestock (including ponies and/or horses), or poultry of any kind shall be raised, bred or kept on any lot, except that dogs, cats, or other household pets may be kept provided they are not kept, bred, or maintained for any commercial purposes, and further provided that no fence run areas, designated as such, for household pets shall be permitted on the premises. Household pets must be limited to two in number.
- No lot shall be used or maintained as a dumping ground for rubbish. Trash, garbage or other waste shall not be kept except in sanitary containers. All incinerators or other equipment for the storage or disposal of such material shall be kept in a clean and sanitary condition.
- No individual water supply system shall be permitted on any lot unless such system is located, constructed and equipped in accordance with the requirements, standards and recommendations of the County Health Director. Approval of such a system as installed shall be obtained from such authority.
- No individual sewage disposal system shall be permitted on any lot.
- No fence or wall, except entrance gateways built by National Development Corporation, hedge or shrub planting which obstructs sight lines at elevations between 3 and 6 feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting them at points 25 feet from the intersection of the street property lines extended. The same sight line limitations shall apply on any lot within 10 feet from the intersection of a street property line with the edge of a driveway or alley pavement. No tree shall be permitted to remain within such distances of such intersections unless the foliage line is maintained at sufficient height to prevent obstruction of such sight lines.

NATIONAL DEVELOPMENT CORPORATION, owners of the land contained in the attached plat, hereby adopts the said plat, dedicates to public use as such, all or parts of the drive and avenue shown hereon and not heretofore dedicated.

IN WITNESS THEREOF, Geo. F. Scantland, Jr. and Janet M. Barlow, as President and Secretary, respectively, of NATIONAL DEVELOPMENT CORPORATION, have hereunto set their hands this 3rd day of JUNE, 1972.

WITNESSES:
Robert G. Stevens
Betty Jane Berry

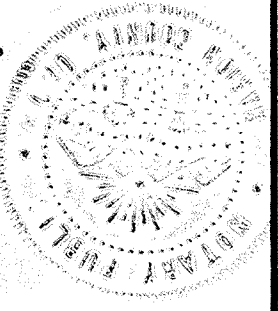
NATIONAL DEVELOPMENT CORPORATION
By Geo. F. Scantland, Jr.
Geo. F. Scantland, Jr., President
and Janet M. Barlow
Janet M. Barlow, Secretary

STATE OF OHIO
COUNTY OF MARION SS

Before me, a Notary Public in and for said County, personally came Geo. F. Scantland, Jr. and Janet M. Barlow, as President and Secretary respectively of the said NATIONAL DEVELOPMENT CORPORATION, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this 3rd day of JUNE, 1972.

Betty Jane Berry
Notary Public, Marion County, Ohio
My commission expires: 23 Sept. 74



This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned, Mayor of the City of Lima and Chairman of the City Planning Commission, hereby on behalf of said City and said Commission, approve and accept this plat this 5th day of Sept., 1974.

Larry Moyer
Mayor of the City of Lima, Ohio and
Chairman of the City Planning Commission

Transferred this 6th day of September, 1974
319320

Richard A. Ditt
Auditor, Allen County, Ohio

Filed for record this 6th day of Sept, 1974, at 9:42 A.M.

Recorded this 6th day of Sept, 1974, in Plat Book 13, Page 102

Fee \$16.60

Bonnie Montague
Recorder, Allen County, Ohio
Betty Ann Little
Deputy

Having checked the construction of the streets in this subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans hereof, and that they are in good repair and this endorsement shall constitute acceptance of the streets for public use.

David J. Grises
City Engineer, Lima, Ohio

The above certification was placed on this plat by _____ City Engineer, Lima, Ohio under authority of Section 711-091 of the Revised Code of Ohio, in my presence this _____ day of _____, 1974.

Recorder, Allen County, Ohio

For Agreement Park Shore
Estates Lot 26397
See Deed Vol #733 page #700

NORTHLEA PARK 7TH ADDITION
A PART OF SECTION 24, T-3-S, R-6-E
City of Lima, County of Allen,
State of Ohio
Sept. 5, 1974

Owner & Developer:
National Development Corp.
485 Roberts Avenue
Marion, Ohio

Surveyor:
Kenneth G. Bushatz
485 Roberts Avenue
Marion, Ohio

UNIVERSITY HEIGHTS CONDOMINIUM N^o10

105

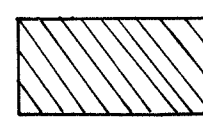
S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio
 LOT N^o 25997, UNIVERSITY HEIGHTS SUBDIVISION N^o1

SHEET 2 OF 5
 EXHIBIT A

Unit 10-A 1062 SF

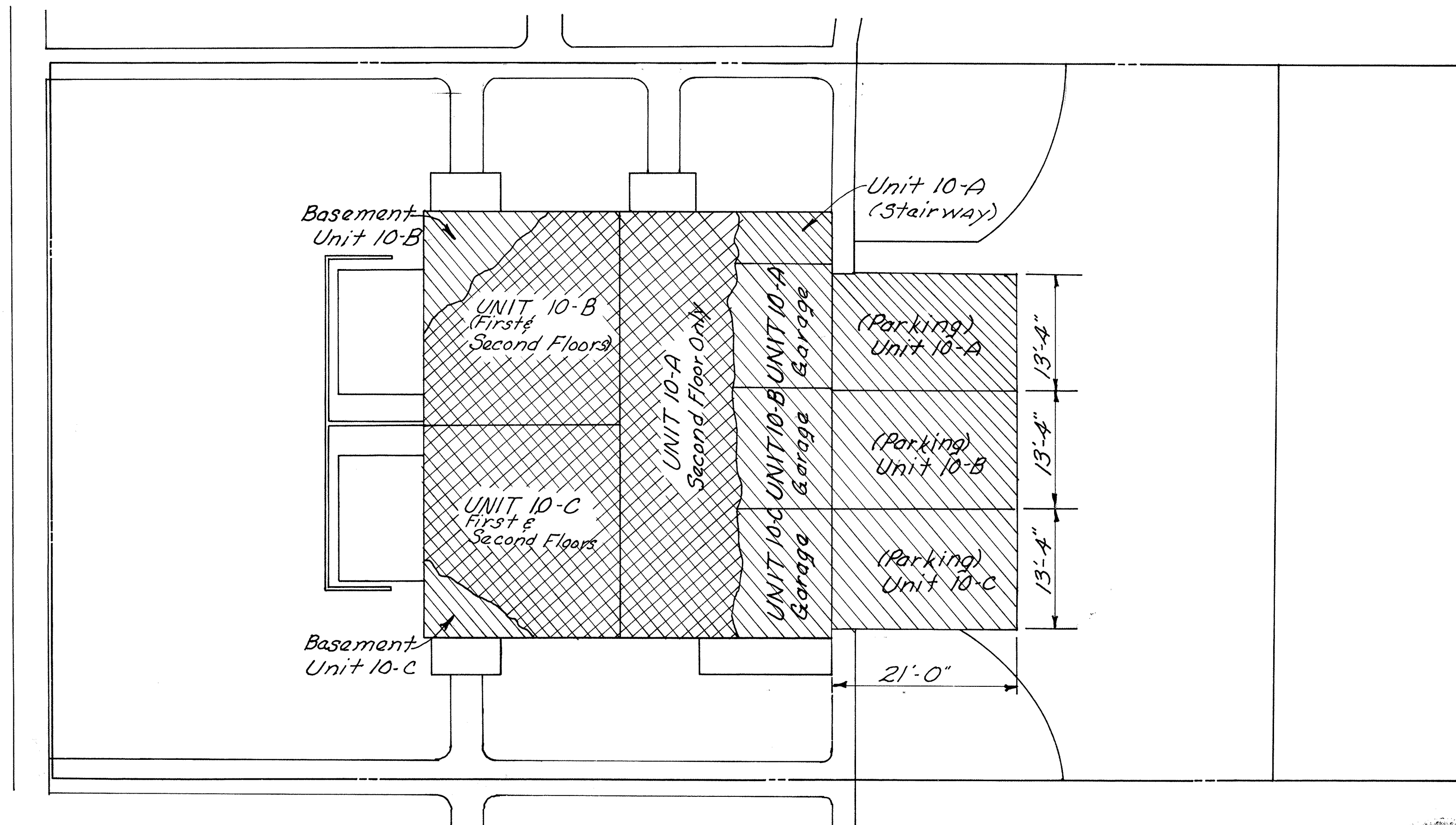
Unit 10-B 1021 SF.

Unit 10-C 1021 S.F.

 Designates:
 Limited Common Area

 Designates:
 Unit Area

 Designates
 Common Area



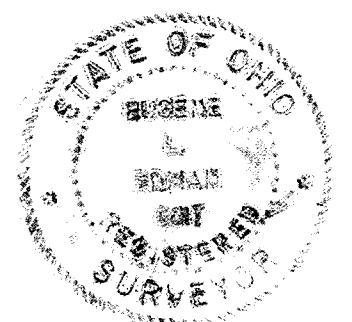
Dated at Lima, Ohio, Sept. 4, 1974

Kohli and Kalher Associates, Limited

By Sumner E. Kohli
 Registered Surveyor 6017

Richard S. Kohli P.E.
 Registered Engineer 34379

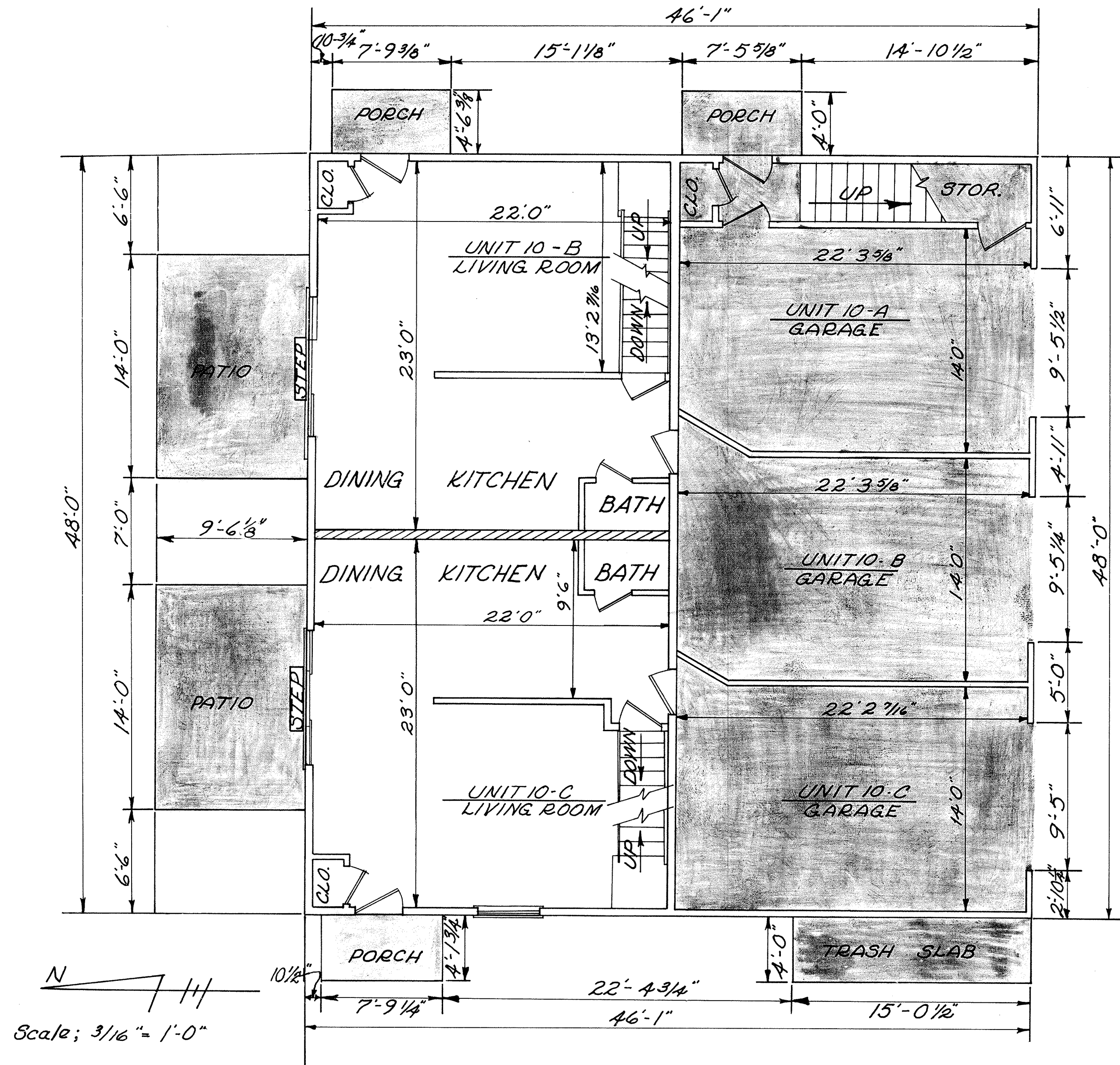
N
 Scale 1" = 10'-0"



UNIVERSITY HEIGHTS CONDOMINIUM N^o10 106

S.E. $\frac{1}{4}$, Sec. 34, Bath Twp., Allen County, Ohio
 LOT N^o 25997, UNIVERSITY HEIGHTS SUBDIVISION N^o1

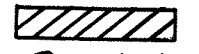
SHEET 3 OF 5
 EXHIBIT A



FOUNDATION - 10" x 18" Concrete footers; 8" poured-in-place basement walls. Basement under only Units 10-B and 10-C.

EXTERIOR WALLS - Typical 2"x4" Studs, 16" O.C.; Insulation - 1/2" Insulation Board; 8" Horizontal Aluminum siding, Brick Facing.

INTERIOR PARTITIONS - 2"x4" Stud Walls and Drywall; Garage Partitions - 2"x4" Studs 5/8" Drywall each side.

 Designates Unit Partitions 4" Insulation, 2"x4" Staggered Studs 16" O.C., 2 Layers 1/2" Drywall each side 2"x6" Plate

 Designates Concrete

Dated at Lima, Ohio, Sept. 4, 1974

Kohli and Kaliher Associates, Limited

By Eugene J. Edman
 Registered Surveyor 6017

Richard J. Morrison P.E.
 Registered Engineer 34373



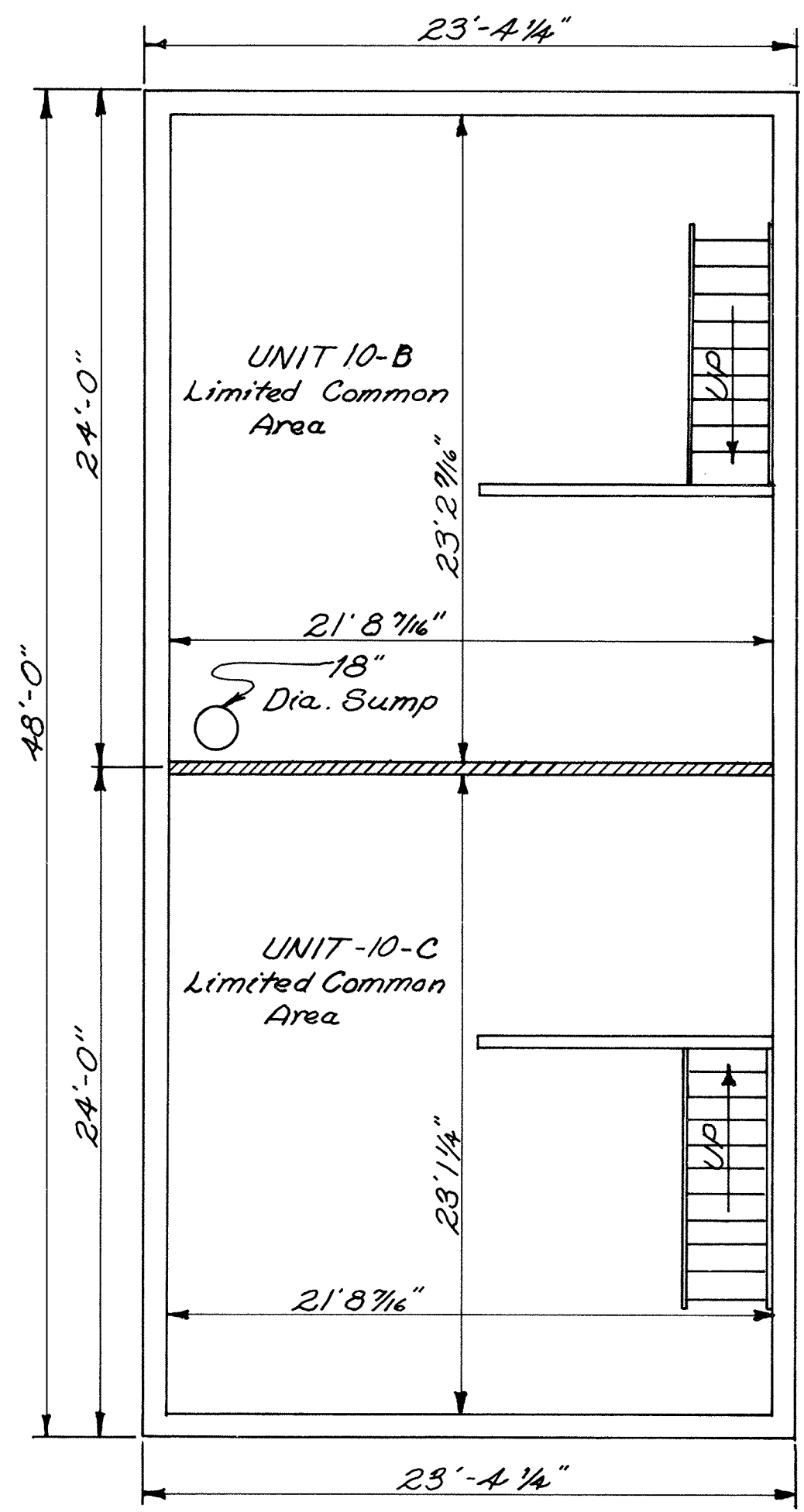
FIRST FLOOR

UNIVERSITY HEIGHTS CONDOMINIUM N^o10

108

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio
 LOT N^o 25997, UNIVERSITY HEIGHTS SUBDIVISION N^o1

SHEET 5 OF 5
 EXHIBIT A



Designates Unit Partition
 2" x 6" Studs @ 16" O.C.
 4" Bat Insulation, 1 layer 1/2"
 Drywall each side.

Scale: 3/16" = 1'-0"

317365

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 3:35 O'CLOCK P.M.

SEP 6 1974

RECORDED Sept 6 1974
 Plat VOL 13 PAGE 104
 Service Montague
 Fee 41.50 By Betty Kinzle, Deputy

For Declaration See Deed Vol. 556 Page 410



Dated at Lima, Ohio, Sept. 4, 1974

Kohli and Kaliber Associates, Limited

By Everett J. Edman
 Registered Surveyor 6017



Richard D. Morrison P.E.
 Registered Engineer 3483

BASEMENT

STREET VACATION



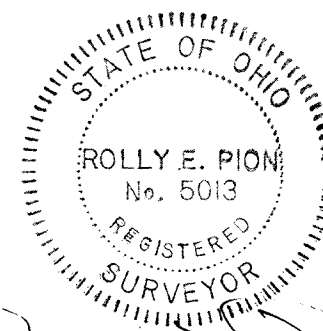
DESCRIPTION
 STREET SITUATED IN SOUTHGATE NO. 1 SUBD. IN THE VILLAGE OF SPENCERVILLE ALLEN COUNTY, OHIO AND LYING NORTH OF LOTS NO. 814 AND 815 AND MORE FULLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF LOT NO. 814 OF SOUTHGATE NO. 1 SUBD. IN THE VILLAGE OF SPENCERVILLE, OHIO; THENCE N 22°15' E A DISTANCE OF 26.75' TO A POINT; THENCE N 88°47' E A DISTANCE OF 117.39' TO A POINT ON THE WEST LINE OF WINTERS DRIVE EXTENDED; THENCE S 0°13' E ALONG THE WEST LINE OF WINTERS DRIVE EXTENDED TO ITS INTERSECTION WITH THE NORTH EAST CORNER OF LOT NO. 815 OF SAID SUBD.; THENCE NORTHWESTERLY ALONG THE RADIUS OF THE NORTHEAST CORNER OF LOT NO. 815; THENCE CONTINUING WEST ALONG THE NORTH LINES OF LOTS NO. 814 AND 815 TO THE NORTHWEST CORNER OF LOT NO. 814 AND THE PLACE OF BEGINNING.

317403

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 12:50 O'CLOCK P.M.

SEP 9 1974

RECORDED Sept 7 1974
 Plat VOL 13 PAGE 107
 Bernice Montague
 RECORDER
 Fee 8.30

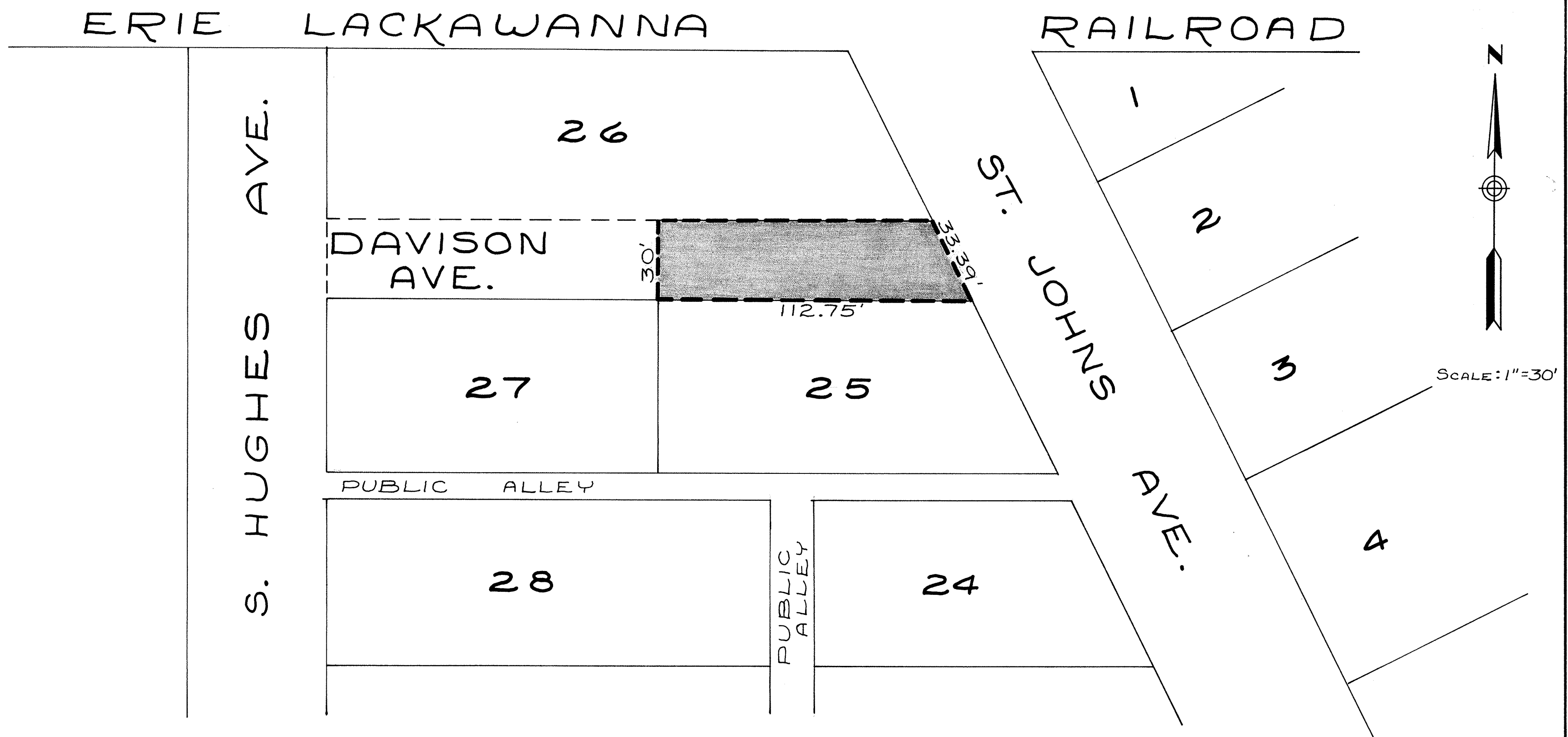


Rolly E. Pion
 ROLLY E. PION
 SURVEYOR NO. 5013

In Ordinance See Deed Vol. 556 Page 456.

- TO BE VACATED

STREET VACATION IN CITY OF LIMA, OHIO



Surveyor's Certificate.

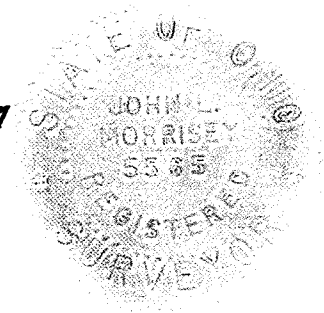
Situated in the City of Lima, County of Allen, State of Ohio, and being a part of J. W. Holmes First Subdivision as recorded in Plat Book 2, Page 228, and more particularly described as follows:

Being a part of Lot 26 deeded to the City of Lima, Ohio, Volume 130, Page 59, beginning at the northeast corner of Lot 25, J. W. Holmes First Subdivision; thence west with the north line of said Lot 25, one hundred twelve and seventy-five hundredths (112.75) feet to the northwest corner of said Lot 25; thence north thirty (30) feet; thence east parallel to and thirty (30) feet north of the north line of Lot 25 to a point on the west line of platted St. Johns Avenue; thence southeast with the west line of St. Johns Avenue, thirty-three and thirty-nine hundredths (33.39) feet to the place of beginning.

John L. Morrissey
John L. Morrissey
Registered Surveyor
Ohio #5565

City Ordinance Number _____
Passed _____

*For Ordinance to vacate
Pt. Davison Ave. See Deed Vol 559
Page 27.*



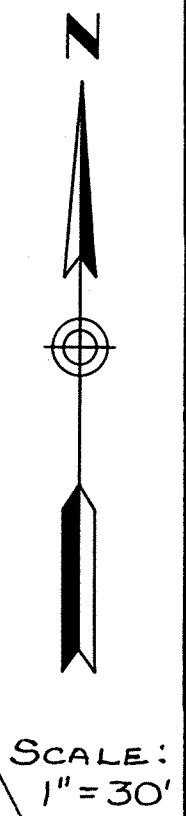
317776

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 1:53 O'CLOCK P.M.

SEP 18 1974

RECORDED *Sept 18 1974*
Plat VOL 130 PAGE 110
Bernice M. Orledge
RECORDER
Fee # 8 30 by B. Kinzle, Deputy

ALLEY VACATION IN CITY OF LIMA, OHIO



ERIE - LACKAWANNA RAILROAD

Surveyor's Certificate

Situated in the City of Lima, County of Allen, State of Ohio, and being a part of John Reese Addition as recorded in Plat Book 3, Page 31, and more particularly described as follows:

Beginning at the southeast corner of Lot 1918, John Reese Addition; thence West with the south line of said Lot 1918, two hundred sixty four and seventy-five hundredths (264.75) feet to the southwest corner of said Lot 1918; thence south sixteen and five tenths (16.5) feet to the northwest corner of Lot 1922; thence east with the north line of Lots 1922, 1921, 1920 and 1919, two hundred seventy-three and twenty-one hundredths (273.21) feet to the northeast corner of said Lot 1919; thence northwest with the west line of platted St. Johns Avenue to the southeast corner of said Lot 1918, being the place of beginning.

317778

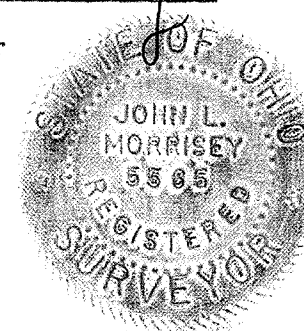
RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 1:54 O'CLOCK P.M.

SEP 18 1974

RECORDED Sept 18 1974
Plat VOL. 13 PAGE 111

Bernice Montague
RECORDER
See # 830 by *B. Kinosh*, Deputy

John L. Morrissey
John L. Morrissey
Registered Surveyor
Ohio #5565

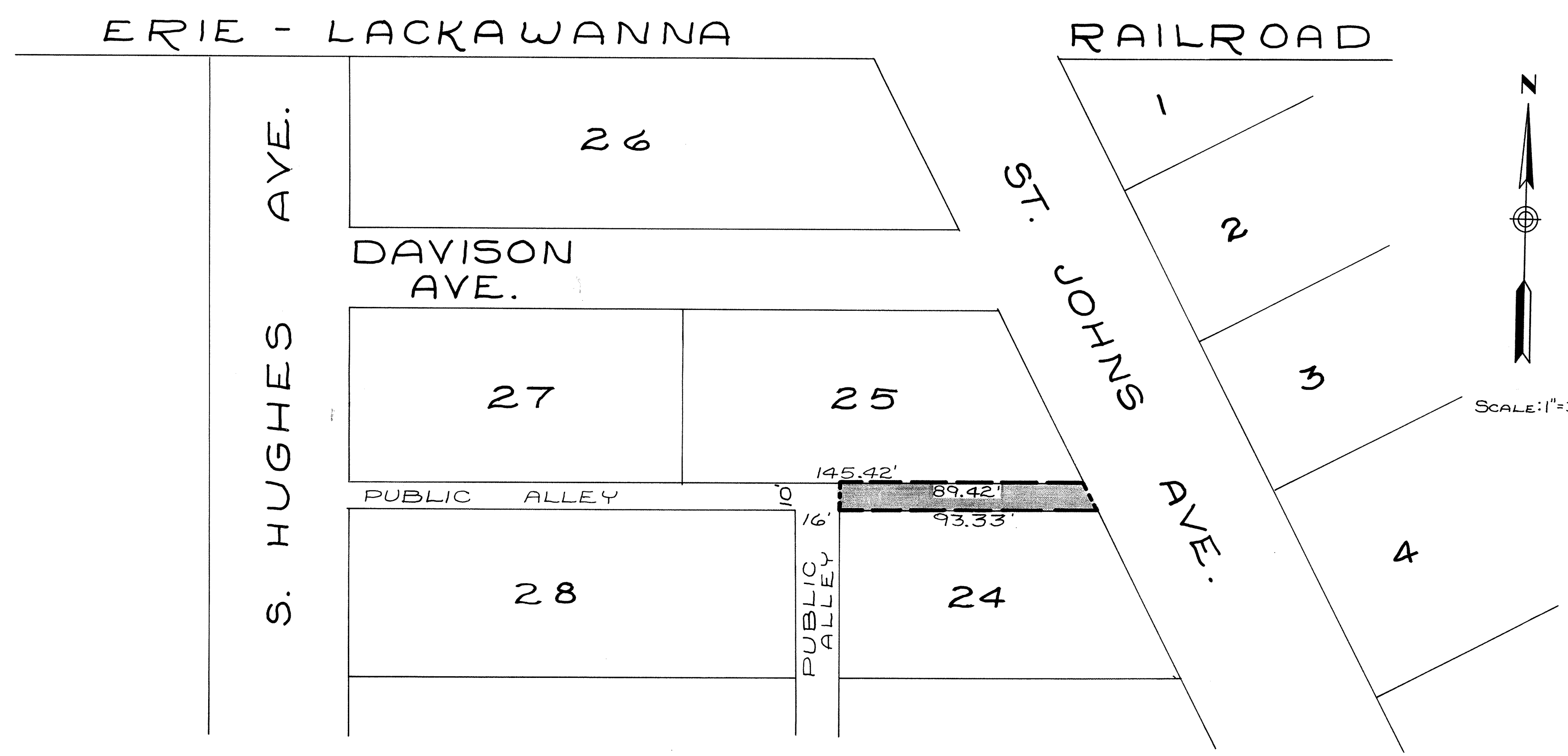


*For Ordinance to Vacate Alley
See Deed Vol. 557 Page 29.*

City Ordinance Number _____

Passed _____

ALLEY VACATION IN CITY OF LIMA, OHIO



Surveyor's Certificate

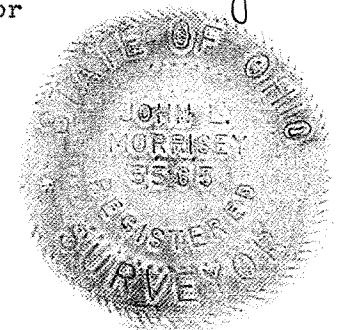
Situated in the City of Lima, County of Allen, State of Ohio, and being a part of J. W. Holmes First Subdivision as recorded in Plat Book 2, Page 228, more particularly described as follows:

Beginning at the northeast corner of Lot 24, J. W. Holmes First Subdivision; thence West with the north line of said Lot 24, ninety three and thirty-three hundredths (93.33) feet to the northwest corner of said Lot 24; thence north ten (10) feet with the east line of a north-south public alley extended north to a point on the south line of Lot 25 of said subdivision; thence east with the south line of Lot 25, eighty nine and forty-two hundredths (89.42) feet to the southeast corner of said Lot 25; thence southeast to the northeast corner of Lot 24, being the place of beginning.

317780

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
SEP 18 1974
RECORDED Sep 18 1974
Plat VOL 13 PAGE 112
Bernice Montague
Deputy

John L. Morrissey
John L. Morrissey
Registered Surveyor
Ohio #5565



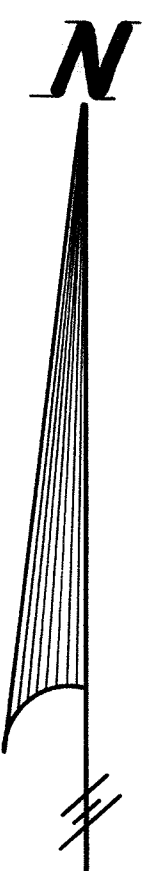
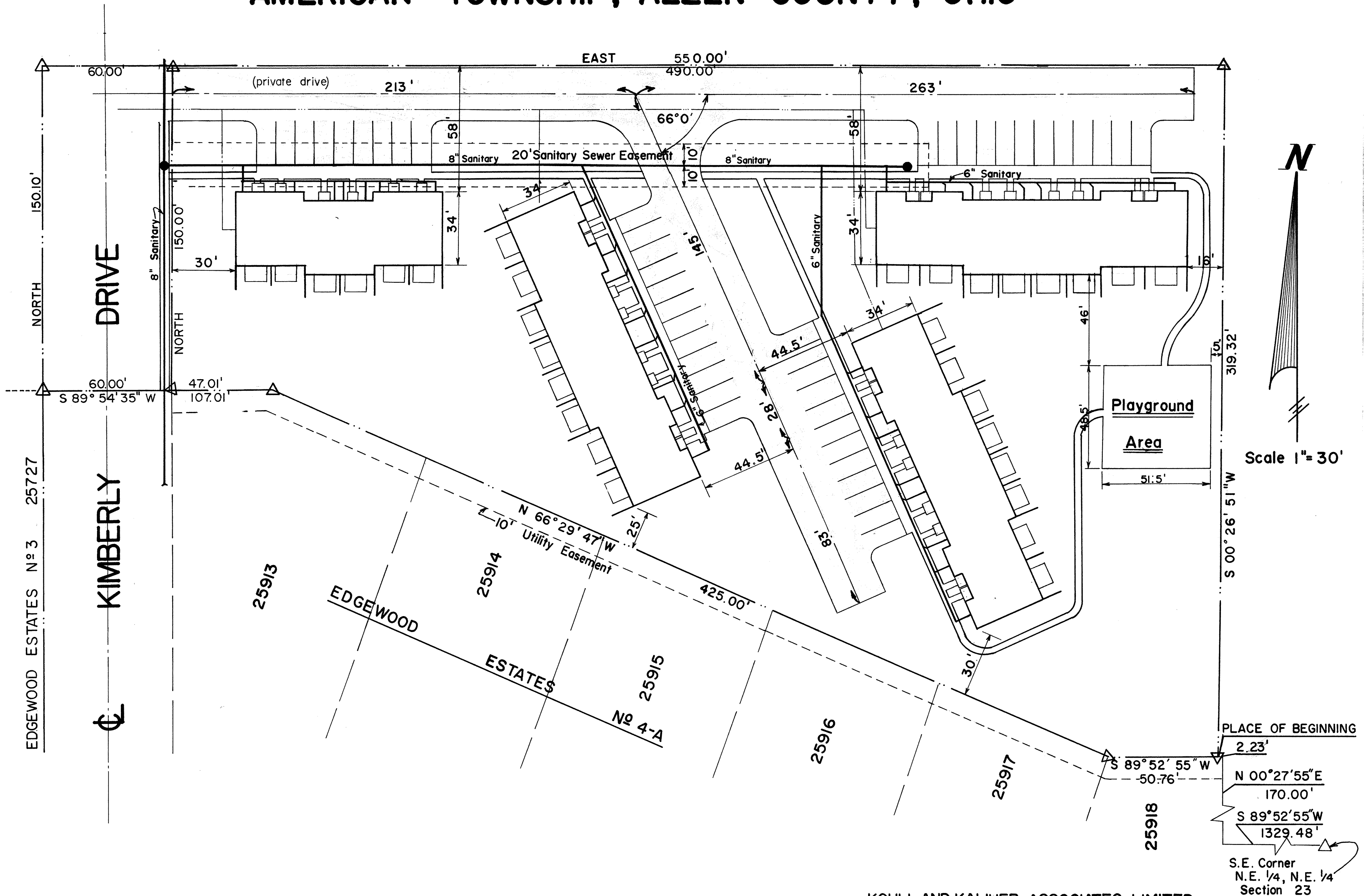
City Ordinance Number _____
Passed _____

For Ordinance to Vacate
Alley See Deed Vol. 557 Page 31.

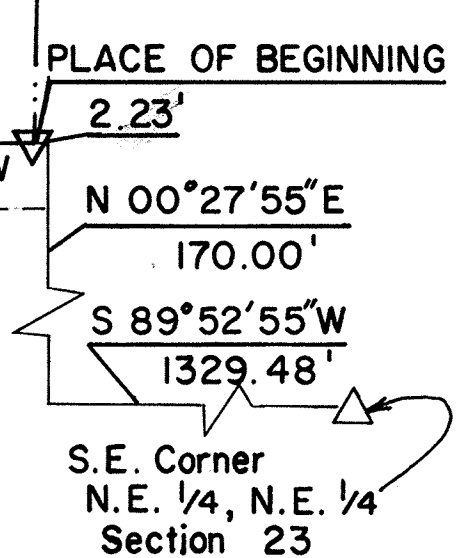
STONEHENGE APARTMENTS

113

N.E. 1/4 Sec. 23, T-3-S, R-6-E,
AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO



Scale 1" = 30'



KOHLI AND KALIHAR ASSOCIATES LIMITED
CONSULTING ENGINEERS
311 EAST MARKET LIMA, OHIO

DESCRIPTION

STONEHENGE APARTMENTS to be constructed on a parcel of land situate in the Northeast quarter of Section 23, T-3-S, R-6-E, American Township, Allen County, Ohio, more particularly described as follows:

Commencing at the southeast corner of the northeast quarter of the northeast quarter of said Section 23; thence S 89° 52' 55" W with the south line of the northeast quarter of said northeast quarter (center-line of Edgewood Drive), 1329.48 feet to the East line of Edgewood Estates No. 4-A Subdivision; thence N 00° 27' 55" E with said East line, 170.00 feet to the northeast corner of Lot No. 25918 in Edgewood Estates No. 4 Subdivision; thence S 89° 52' 55" W with the North line of said Lot No. 25918, 2.23 feet to the PLACE OF BEGINNING; thence continuing S 89° 52' 55" W with said north lot line 50.76 feet; thence N 66° 29' 47" W with the northeast line of Edgewood Estates No. 4-A Subdivision, 425.00 feet; thence S 89° 54' 35" W with the north line of Lot No. 25913 in said Subdivision 107.01 feet to the West line of Kimberly Drive; thence NORTH with said West line extended 150.10 feet; thence EAST at right angles to the West line of said Kimberly Drive extended 550.00 feet; thence S 00° 26' 51" W, 319.32 feet to the PLACE OF BEGINNING, containing 124,123 square feet or 2.849 Acres more or less, of which 0.207 acres more or less is dedicated for roadway.

SURVEYOR'S CERTIFICATE

I hereby certify that the hereon plat represents a true and accurate survey made under my supervision in June, 1972 and that all concrete monuments (Δ) are correctly shown as to location and will be in place by twelve months from the date of the recording of this plat.

Theodore A. Metzger
Reg. Surveyor 5514

DEDICATION

STONEHENGE ASSOCIATION, a limited partnership by John A. Osborn and R. Richard Royce its general partners, being the owner of all the land shown on the plat, hereby adopt the foregoing plat and dedicate the land contained within the street and easement shown thereon to the use and benefit of the public forever.

In the presence of:

Harold P. Miller

John A. Osborn
John A. Osborn - Partner

Harold P. Miller

R. Richard Royce
R. Richard Royce - Partner

ACKNOWLEDGEMENT

State of Ohio
Clark County ss:

Before me a Notary Public in and for said state and county, personally appeared John A. Osborn and R. Richard Royce, who acknowledged that they did sign the hereon plat of Stonehenge Apartments and that the signing was their free act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 19th day of September, 1974.

My Commission expires: Sept. 18, 1978

W. D. Ballentine
Notary Public, Clark County, Ohio

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City and said Commission approve and accept this plat this 24th day of September, 1974.

Harry Meyer
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 24th day of SEPTEMBER, 1974.

Fee: \$

Richard L. Ditt
Auditor of Allen County, Ohio

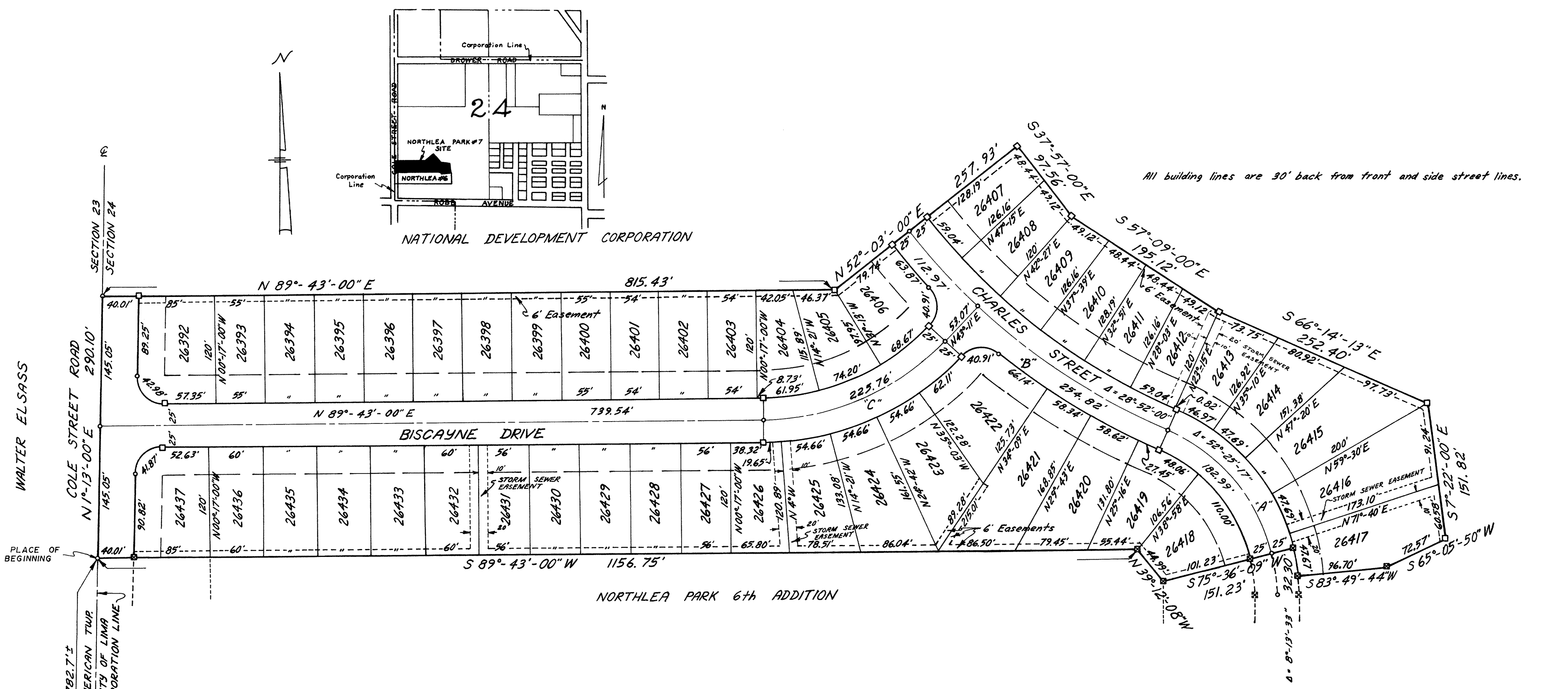
COUNTY RECORDER'S CERTIFICATE

No. 319958

Filed for record in the Allen County, Ohio, Recorder's Office this 27th day of Sept, 1974, at 2:50 o'clock P. M. and recorded in the Allen County Plat Book 13 of Page 113.

Fee \$ 16.60

Bernice Montague
Recorder of Allen County, Ohio
By Betty Kinable, Deputy



All building lines are 30' back from front and side street lines.

- Denotes existing Monument
- Denotes Monument Set

CURVE DATA		
"A"	"B"	"C"
Δ = 66°-32'-00"	Δ = 43°-00'-00"	Δ = 46°-32'-00"
R = 200.00'	R = 730.00'	R = 277.98'
T = 131.21'	T = 287.55'	T = 119.53'
La = 232.25'	La = 547.86'	La = 225.76'

46 LOTS
 LOTS 8.1957 ACRES
 STREETS 2.0276 "
 TOTAL 10.2233 "

All dimensions are in feet and decimal parts thereof.
 Chord lengths are given for lot dimensions along curves.

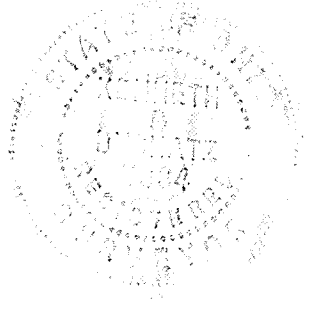
Arc lengths are given for Subdivision Boundary and Roadway Centerline dimensions along curves.

At all intersections, Street Lines follow curves having a radius of 30 feet.

Easements indicated on the plat are for the construction, operation, and maintenance of Public Utilities above and below the ground.

I hereby certify that the Northlea Park Seventh Addition was surveyed and platted in accordance with the platting code of the City of Lima, Ohio.

Kenneth G. Bushatz 9/12/74
 Kenneth G. Bushatz Date
 Registered Surveyor S-005664
 485 Roberts Ave. Marion, Ohio



REPLAT OF NORTHLEA PARK 7th ADDITION

A PART OF THE SW 1/4 OF SECTION 24, T-3-S, R-6-E
 CITY OF LIMA, COUNTY OF ALLEN,
 STATE OF OHIO

Scale: 1" = 80'

SEPTEMBER 12, 1974

OWNER AND DEVELOPER:
 C J PROPERTIES, INC.
 955 TOULON AVENUE MARION, OHIO

DESCRIPTION
NORTHLEA PARK SEVENTH ADDITION

Situated in the City of Lima, County of Allen, State of Ohio, being a part of the Southwest one-quarter of Section 24, Township 3 South, Range 6 East and being more particularly described as follows:

Beginning at a point in the centerline of Cole Street Road Seven Hundred Eighty-Two and Seven Tenths (782.7) feet, more or less, north of the centerline intersection of Robb Avenue and Cole Street Road, said point of beginning also falling on the west line of Section 24 and the corporation line of the City of Lima; thence N 1°-13'-00" E, along the centerline of Cole Street Road and the corporation line of the City of Lima, a distance of Two Hundred Ninety and Ten Hundredths (290.10) feet to a point; thence N 89°-43'-00" E a distance of Eight Hundred Fifteen and Forty-Three Hundredths (815.43) feet to a point; thence N 52°-03'-00" E a distance of Two Hundred Fifty-Seven and Ninety-Three Hundredths (257.93) feet to a point; thence S 37°-57'-00" E a distance of Ninety-Seven and Fifty-Six Hundredths (97.56) feet to a point; thence S 57°-09'-00" E a distance of One Hundred Ninety-Five and Twelve Hundredths (195.12) feet to a point; thence S 66°-14'-13" E a distance of Two Hundred Fifty-Two and Forty Hundredths (252.40) feet to a point; thence S 7°-22'-00" E a distance of One Hundred Fifty-One and Eighty-Two Hundredths (151.82) feet to a point; thence S 65°-05'-50" W a distance of Seventy-Two and Fifty-Seven Hundredths (72.57) feet to a point; thence S 83°-49'-44" W, along the north line of Northlea Park Addition No. 6, a distance of Ninety-Six and Seventy Hundredths (96.70) feet to a point; thence northerly around a curve having a radius of Two Hundred Twenty-Five (225) feet and along the east street line of Charles Street and the north boundary of Northlea Park Addition No. 6, a distance of Thirty-Two and Thirty Hundredths (32.30) feet to a point; thence S 75°-36'-09" W, along the north line of Northlea Park Addition No. 6, a distance of One Hundred Fifty-one and Twenty-Three Hundredths (151.23) feet to a point; thence N 39°-12'-08" W, along the north line of Northlea Park Addition No. 6, a distance of Forty-Four and Ninety-Nine Hundredths (44.99) feet to a point; thence S 89°-43'-00" W, along the north line of Northlea Park Addition No. 6, a distance of One Thousand One Hundred Fifty-Six and Seventy-Five Hundredths (1156.75) feet to the point of beginning and containing 10.2233 Acres, more or less, of which 8.1957 Acres are divided into 46 lots and 2.0276 Acres are within street right of way.

PROTECTIVE COVENANTS

The following Protective Covenants shall apply to all lots in Northlea Park Seventh Addition to the City of Lima, Ohio. These covenants are to run with the land and shall be binding on all parties and all persons claiming under them for a period of thirty years from the date these covenants are recorded, after which time said covenants shall be automatically extended for successive periods of ten years unless an instrument signed by a majority of the then owners of the lots has been recorded, agreeing to change said covenants in whole or in part.

Enforcement shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any covenant either to restrain violation or to recover damages. Invalidation of any one of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

1. No lot shall be used except for residential purposes. No building shall be erected, altered, placed or permitted to remain on any lot other than one detached single family dwelling not to exceed two (2) stories in height and a private garage for not more than two (2) cars.

2. No building shall be erected, placed or altered on any lot until the construction plans and specifications and a plan showing the location of the structure have been approved by C J Properties, Inc., as to the quality of workmanship and materials, harmony of external design with existing structures, and as to location with respect to topography and finish grade elevation. No fence or wall shall be erected, placed or altered on any lot nearer to any street than the minimum building setback line. No fences higher than five feet may be erected any place.

3. No dwelling shall be permitted on any lot at a cost of less than \$15,000.00 based upon cost levels prevailing on the date these covenants are recorded, it being the intention and purpose of this covenant to assure that all dwellings shall be of a quality of workmanship and materials substantially the same or better than that which can be produced on the date these covenants are recorded at the minimum cost stated herein for the minimum permitted dwelling size. The ground floor of the main structure, exclusive of open porches shall be not less than 800 square feet.

4. No buildings shall be located on any lot nearer than 30 feet to the front lot line, or nearer than 30 feet to any side street line. No building shall be located nearer than five feet to an interior lot line and no dwelling shall be located nearer than five feet to the rear lot line. For the purpose of this covenant, eaves, steps and open porches shall not be considered as part of the building, provided, however, that this shall not be construed to permit any portion of a building on any lot to encroach upon another lot owned by another person.

5. No more than one dwelling shall be erected or placed on any lot, nor shall any dwelling be erected or placed on any lot when said lot has an area of less than 5,500 square feet.

6. No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done thereon which may or may become an annoyance or nuisance to the neighborhood.

7. No structure of a temporary character, trailer, basement, tent shack, garage, barn or other outbuilding shall be used on any lot at any time as a residence either temporarily or permanently. No trailer of any kind shall be permitted to remain on said premises for more than forty-eight (48) hours. No building already erected shall be moved upon any of said lots.

8. No sign of any kind shall be displayed to the public view on any lot, except one professional sign of not more than five square feet advertising the property for sale or rent or signs used by a builder to advertise the property during the construction and sales period.

9. No oil drilling, oil development operations, oil refining, quarrying or mining operations of any kind shall be permitted upon or in any lot, nor shall oil wells, tanks, tunnels, mineral excavations or shafts be permitted upon or in any lot. No derrick or other structure designed for use in boring for oil or natural gas shall be erected, maintained or permitted upon any lot.

10. No animals, livestock (including ponies and/or horses), or poultry of any kind shall be raised, bred or kept on any lot, except that dogs, cats, or other household pets may be kept provided they are not kept, bred, or maintained for any commercial purposes, and further provided that no fence run areas, designated as such, for household pets shall be permitted on the premises. Household pets must be limited to two in number.

11. No lot shall be used or maintained as a dumping ground for rubbish. Trash, garbage or other waste shall not be kept except in sanitary containers. All incinerators or other equipment for the storage or disposal of such material shall be kept in a clean and sanitary condition.

12. No individual water supply system shall be permitted on any lot unless such system is located, constructed and equipped in accordance with the requirements, standards and recommendations of the County Health Director. Approval of such a system as installed shall be obtained from such authority.

13. No individual sewage disposal system shall be permitted on any lot.

14. No fence or wall, except entrance gateways built by C J Properties, Inc., hedge or shrub planting which obstructs sight lines at elevations between 3 and 6 feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting them at points 25 feet from the intersection of the street property lines extended. The same sight line limitations shall apply on any lot within 10 feet from the intersection of a street property line with the edge of a driveway or alley pavement. No tree shall be permitted to remain within such distances of such intersections unless the foliage line is maintained at sufficient height to prevent obstruction of such sight lines.

C J PROPERTIES, INC., owners of the land contained in the attached plat, hereby adopts the said plat, dedicates to public use as such, all or parts of the drive and avenue shown hereon and not heretofore dedicated.

IN WITNESS THEREOF, Carol S. Schlader and Geo. F. Scantland, Jr., as President and Secretary, respectively, of C J PROPERTIES, INC., have hereunto set their hands this 12th day of September, 1974.

WITNESSES:

C J PROPERTIES, INC.

Carol S. Schlader

By Carol S. Schlader
Carol S. Schlader, President

Geo. F. Scantland, Jr.

and Geo. F. Scantland, Jr.
Geo. F. Scantland, Jr., Secretary

STATE OF OHIO SS
COUNTY OF MARION

Before me, a Notary Public in and for said County, personally came Carol S. Schlader and Geo. F. Scantland, Jr., as President and Secretary respectively of the said C J PROPERTIES, INC., who acknowledged the signing of the foregoing instrument to be their voluntary act and deed.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this 12th day of September, 1974.

Betty Jane Berry
Notary Public, Marion County, Ohio
My commission expires: 23 Sept. 74

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned, Mayor of the City of Lima and Chairman of the City Planning Commission, hereby on behalf of said City and said Commission, approve and accept this plat this 24th day of September, 1974.

Richard W. With
Mayor of the City of Lima, Ohio and
Chairman of the City Planning Commission

Transferred this 24th day of September, 1974

Richard W. With
Auditor, Allen County, Ohio

#317059
Filed for record this 24th day of Sept., 1974, at 2:57 PM.

Recorded this 24th day of Sept., 1974, in Plat Book 13, Page 115

Fee \$6.60

Bernice Montague
Recorder, Allen County, Ohio
by Betty Kuntz, Deputy

Having checked the construction of the streets in this subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans hereof, and that they are in good repair and this endorsement shall constitute acceptance of the streets for public use.

David G. Strisz
City Engineer, Lima, Ohio

The above certification was placed on this plat by _____ City Engineer, Lima, Ohio under authority of Section 711-091 of the Revised Code of Ohio, in my presence this _____ day of _____, 1974.

Recorder, Allen County, Ohio

NORTHLEA PARK 7TH ADDITION

A PART OF SECTION 24, T-3-S, R-6-E

City of Lima, County of Allen,
State of Ohio
September 12, 1974

Owner & Developer:
C J Properties, Inc.
955 Toulon Avenue
Marion, Ohio

Surveyor:
Kenneth G. Busnatz
485 Roberts Avenue
Marion, Ohio

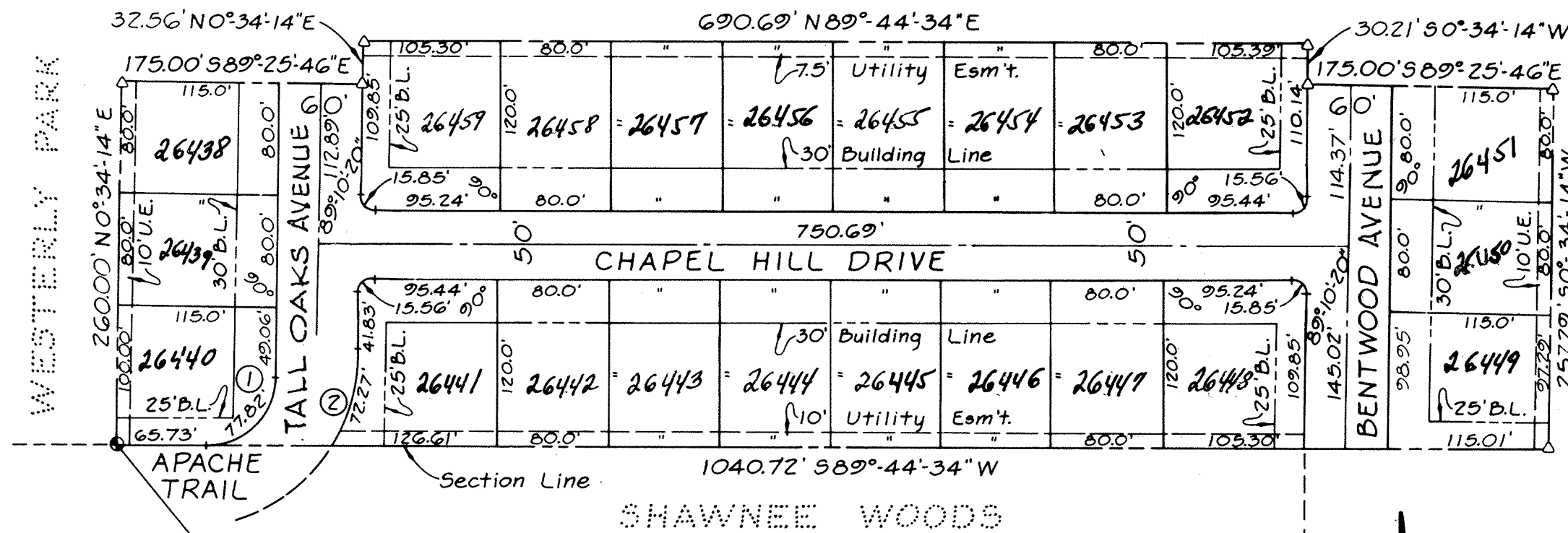
PARK FOREST 117

PLAT ONE

SE 1/4 of SECTION 34, T.3.S., R.6E

AMERICAN TOWNSHIP

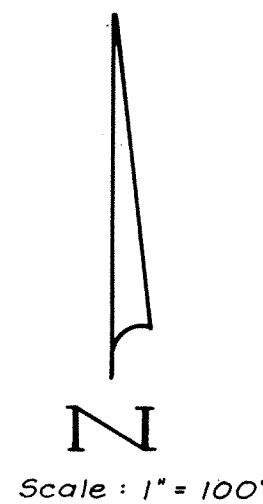
LIMA, OHIO



△ Denotes Concrete Monument
 ● Denotes Existing Monument

Right-of-Way Curve Data

Curve No.	Radius	Delta	Arc	Tangent
①	50.0'	89°10'20"	77.82'	49.28'
②	130.0'	31°51'15"	72.27'	37.10'

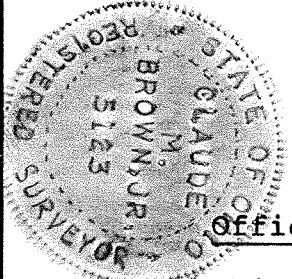


SURVEYORS CERTIFICATION

I hereby certify that in June, 1974, I surveyed the following described land in the Southeast 1/4 of Section 34, all in the Town 3 South, Range 6 East, American Township, City of Lima, Allen County, Ohio and that concrete monuments will be placed as shown.

BEGINNING at a monument at the Southwest corner of the Southeast Quarter of said Section; thence N 0°-34'-14" E a distance of 260.00 feet to a point; thence S 89°-25'-46" E a distance of 175.00 feet to a point; thence N 0°-34'-14" E a distance of 32.56 feet to a point; thence N 89°-44'-34" E a distance of 690.69 feet to a point; thence S 0°-34'-14" W a distance of 30.21 feet to a point; thence S 89°-25'-46" E a distance of 175.00 feet to a point; thence S 0°-34'-14" W a distance of 257.29 feet to a point on the South Line of said Section; thence S 89°-44'-34" W a distance of 1040.72 feet to the point of BEGINNING, containing 6.68 acres more or less subject to all roadways and easements of record.

Claude M. Brown, Jr.
 Claude M. Brown, Jr. P.E. Registered Surveyor No. 5123



Office Of Allen County Auditor

This Plat filed in the office of the Allen County Auditor this 26th day of SEPTEMBER, 19 74.

Fee: \$ 3⁵⁰

Richard D. Witt
 Richard D. Witt
 Allen County Auditor

Approval Of City Planning Commission

This Plat having been approved by the Planning Commission of the City of Lima, Ohio, I the undersigned Mayor of the City of Lima, Ohio and Chairman of the City Planning Commission, hereby, on behalf of said City and said Commission approve and accept this Plat this 5th day of August, 19 74.

Harold J. Moyer
 Harold J. Moyer
 Mayor of the City of Lima, Ohio and
 Chairman of the City Planning Commission

Dedication Of The Plat Of Park Forest Plat I

PARK FOREST CORPORATION, the undersigned, Owners of the property hereon described, do hereby adopt the subdivision as shown on this Plat, establish setback lines as shown, dedicate to public use the streets and right of ways shown on this Plat. The Owners hereby establish easements as shown for the purpose of permitting the construction, installation, relocation and maintenance of utility facilities thereon, maintenance shall include the right to remove any branches or other growth or obstruction, that interfere with the construction, maintenance or safe operation of drainage facilities. The Owners further certify that they will improve this subdivision with the following installations: water mains, pavement, sanitary sewers and storm sewers as shown on the approved plans for this subdivision.

IN WITNESS WHEREOF, PARK FOREST CORPORATION, by its PRESIDENT, Joseph H. Schulte, and its SECRETARY, Thomas J. Kania, hereunto duly authorized, have hereunto set their hands this 5th day of AUGUST, 19 74.

Signed and acknowledged in the presence of:

PARK FOREST CORPORATION

William E. Dudley
James E. Boggs

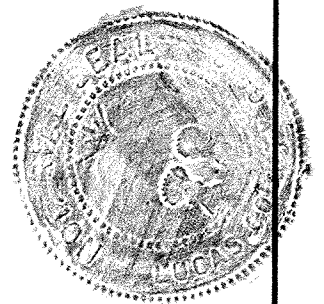
Joseph H. Schulte
 Joseph H. Schulte, President
Thomas J. Kania
 Thomas J. Kania, Secretary

State Of Ohio
 County Of Lucas SS:

On this 5th day of AUGUST, 19 74, before me personally appeared PARK FOREST CORPORATION, by its PRESIDENT, Joseph H. Schulte, and by its SECRETARY, Thomas J. Kania, who acknowledge the signing of this Plat to be their free act and deed, and the voluntary act of the said corporation, for the purpose hereon mentioned.

IN TESTIMONY WHEREOF, I have hereunto subscribed my hand and affixed my official seal this 5th day of AUGUST, 19 74.

James E. Boggs
 James E. Boggs
 Notary Public in and for Lucas County, Ohio
 My Commission expires _____
 Notary Public, Lucas County, Ohio
 My Commission Expires Oct. 28, 1974



Office Of Allen County Recorder

No. 318049

Filed for record in the Office of the Allen County Recorder this 26th day of September, 19 74 at 1:22 P.M. and recorded in Allen County, Ohio, Plat Book 13 on page 114.

Fee: \$ 8.30

Bernice Montague
 Bernice Montague
 Allen County Recorder
Betty Kinola
 Betty Kinola
 Deputy

DEDICATION REPLAT CHESTER PLACE

DEDICATION

BEING THE OWNERS OF THE LAND CONTAINED IN THE FOREGOING PLAT, WE HEREBY ADOPT SAID PLAT AND DEDICATE THE LAND CONTAINED HEREIN TO THE USE AND BENEFIT OF THE PUBLIC FOR STREET PURPOSES FOREVER.

IN WITNESS WHEREOF, THE UNDERSIGNED, OWNERS OF THE LAND CONTAINED IN THE PLAT, HAVE HEREUNTO SIGNED THEIR NAMES.

LOT NO.	OWNER	WITNESSED	DATE
PT 2014	<i>Myrtle E. Maty</i>	<i>John L. Morrissey</i>	8-26-74
PT 2015	<i>Paula J. Nipson</i> <i>Samuel A. Hixson</i> BANG COMPANY	<i>John L. Morrissey</i> <i>David C. Kruse</i>	8-27-74
PT 2016	<i>Charlotte Hunter</i> LAND CONTRACT [BANG CO.] <i>Barbara W. Curdy</i> <i>Edith C. Kellner</i>	<i>Harry Haysworth</i> <i>William L. Dome</i> <i>John L. Morrissey</i> <i>David C. Kruse</i>	8-29-74 9-30-74
PT 2016	<i>Harold H. Landwehr</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	10-4-74
PT 2016	<i>Samuel A. Hixson</i> <i>Virginia M. Hixson</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	9-5-74
PT 2019	<i>William L. Dome</i> <i>Paula J. Nipson</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	9-19-74
PT 2020	<i>Doris Rath</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	6-18-73
PT 2020	<i>Judy Howell</i> <i>Richard H. Howell</i> <i>Mc Boston</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	6-5-73
PT 2020	<i>J. Godwin</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	10-4-74
PT 2020	<i>Robert M. Contin</i> <i>Charles W. Hunter</i> (Bang Co.)	<i>John L. Morrissey</i> <i>David C. Kruse</i> <i>Harry Haysworth</i>	7-9-73 8-29-74
PT 3851	<i>Henry J. Kemper</i> <i>Mary E. Kinzer</i> <i>William D. Secrist</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	9-6-74 6-4-73
PT 3851	<i>Esther M. Secrist</i> <i>Miner O. Dickason</i> Pres. of Lima Properties, Inc.	<i>John L. Morrissey</i> <i>David C. Kruse</i>	10-4-74
PT 3851	<i>Abraham & Daughtry</i> <i>Well Mr. Daughtry</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	6-14-73
PT 3851	<i>Clara R. Kinzer</i> <i>Kenneth B. Koller</i> <i>Harold H. Landwehr</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i> <i>Harry Haysworth</i>	9-30-74
3857	<i>John J. Landwehr</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	10-7-74
* PT 2016	<i>Joseph L. Pence</i> <i>Virginia M. Pence</i>	<i>John L. Morrissey</i> <i>David C. Kruse</i>	10-7-74

ACKNOWLEDGEMENT

STATE OF OHIO
ALLEN COUNTY, ss.
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED THE OWNERS OF THE LAND CONTAINED IN THE PLAT, WHO ACKNOWLEDGED THAT THEY DID SIGN THE HEREON PLAT AND THAT THE SIGNING WAS THEIR FREE ACT AND DEED.

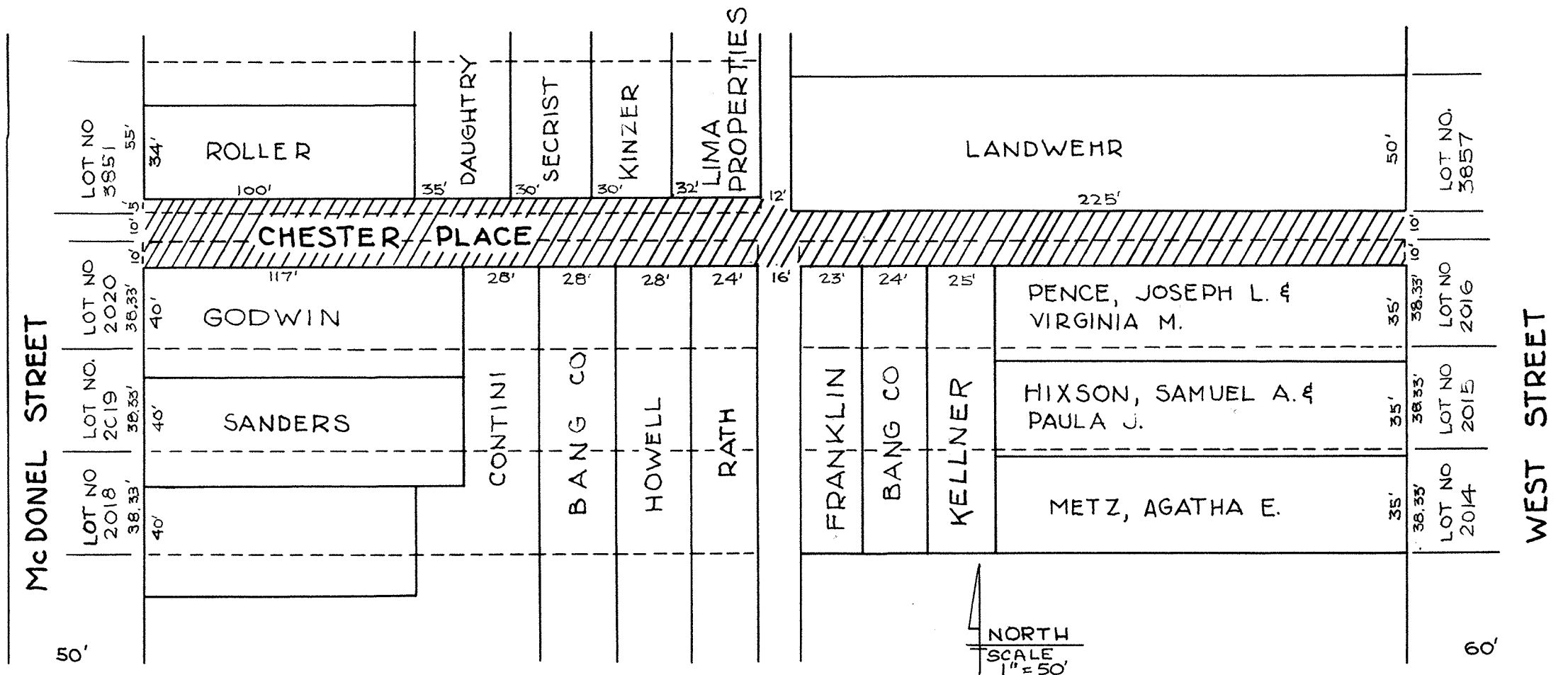
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL THIS 8th DAY OF October 1974

MY COMMISSION EXPIRES Feb. 23, 1978.



John L. Morrissey
NOTARY PUBLIC, ALLEN COUNTY, OHIO

JOHN L. MORRISEY, Notary Public
... and for Allen County, Ohio
My Commission Expires Feb. 23, 1978



APPROVAL OF CITY PLANNING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF LIMA, OHIO AND CHAIRMAN OF THE CITY PLANNING COMMISSION, HEREBY, ON BEHALF OF SAID CITY AND SAID COMMISSION, APPROVE AND ACCEPT THIS PLAT THIS 9th DAY OF October 1974

Harry J. Moore
MAYOR, CITY OF LIMA, OHIO, CHAIRMAN OF THE CITY PLANNING COMMISSION

COUNTY AUDITOR'S CERTIFICATE

THIS PLAT FILED FOR TRANSFER THIS 15 DAY OF October 1974

Richard L. Ditto
AUDITOR OF ALLEN COUNTY, OHIO

COUNTY RECORDER'S CERTIFICATE

NO. 318620
FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 15th DAY OF October 1974. at 4:04 O'Clock P.M.
FEE: \$ 30

PLAT BOOK NO. 13 PAGE 118

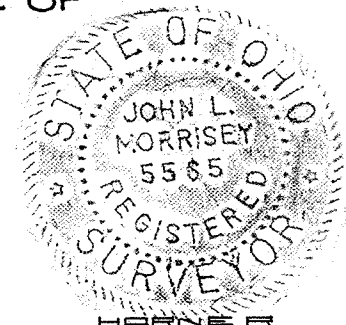
Bernice Montague
RECORDER OF ALLEN COUNTY, OHIO
By *Joan Nielsen* Deputy

SURVEYOR'S CERTIFICATE

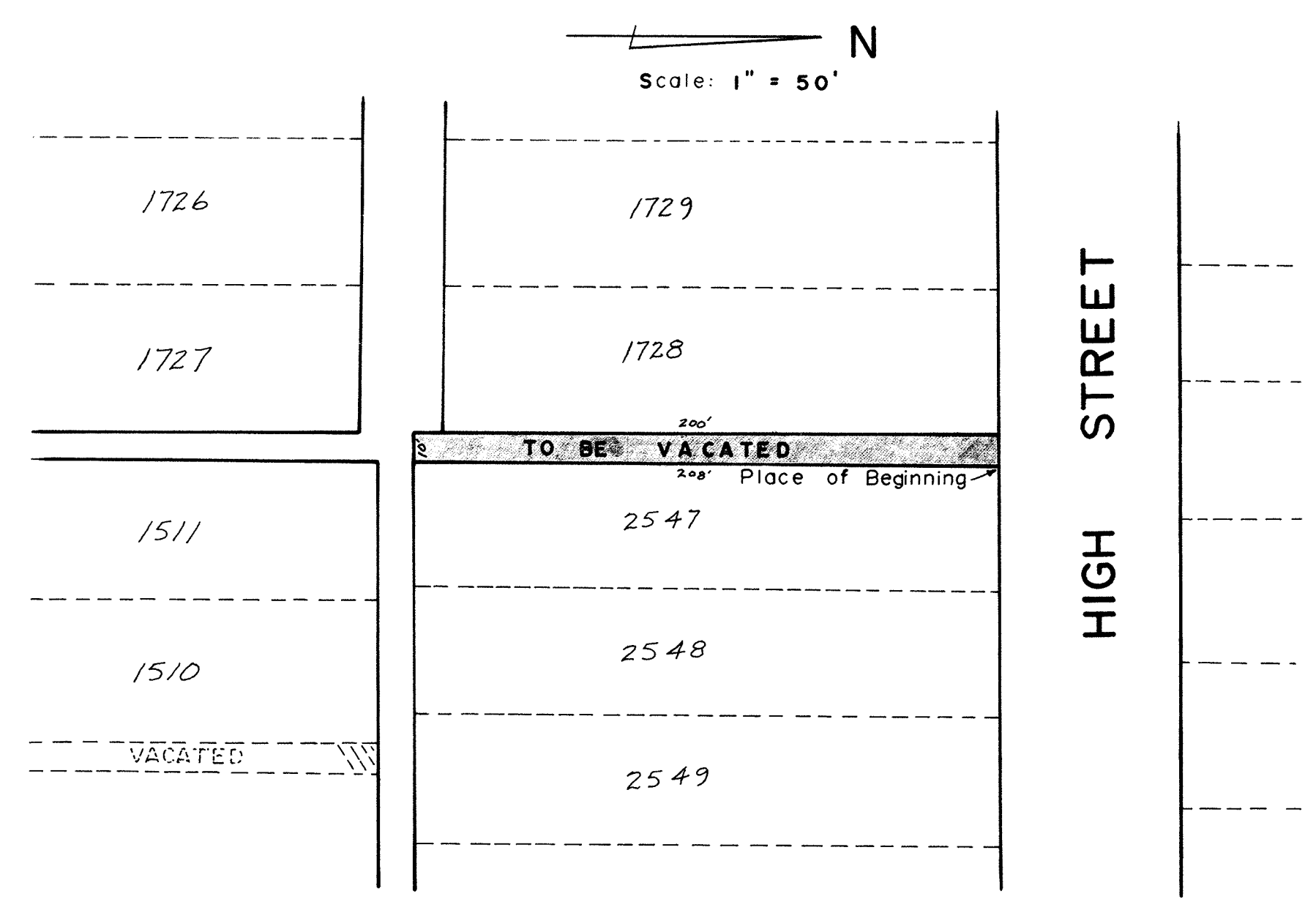
I HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT OF THE FOLLOWING DESCRIBED LAND SITUATED IN HOHL'S ADDITION AND CANTIENY AND HAUENSTEIN'S ADDITION SITUATED IN LIMA, ALLEN COUNTY, OHIO AND THE SAME IS CORRECT AND ACCURATE:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 3857, CANTIENY AND HAUENSTEIN'S ADDITION; THENCE SOUTH TWENTY (20) FEET TO A POINT TEN (10) FEET SOUTH OF THE NORTHEAST CORNER OF LOT 2016, HOHL'S ADDITION; THENCE WEST PARALLEL TO AND TEN (10) FEET SOUTH OF THE NORTH LINE OF LOTS 2016 AND 2020 TO THE WEST LINE OF LOT 2020; THENCE NORTH TWENTY FIVE (25) FEET TO A POINT FIVE (5) FEET NORTH OF THE SOUTHWEST CORNER OF LOT 3851; THENCE EAST PARALLEL TO AND FIVE (5) FEET NORTH OF THE SOUTH LINE OF LOT 3851 TO A POINT ON THE EAST LINE OF LOT 3851; THENCE EAST ALONG THE SOUTH LINE OF LOT 3857 TO THE PLACE OF BEGINNING.

John L. Morrissey
REGISTERED SURVEYOR #5585



ALLEY VACATION



Beginning at the Northwest corner of lot 2547 of F. E Mead's Subdivision in the City of Lima, Allen County, Ohio; thence South with the west line of lot 2547, 208.0 feet to the Southwest corner of said lot; thence West 10.0 feet with the South line of lot 2547 extended; thence North 208.0 feet with the East line of lot 1728 of Jameson's 2nd Addition to the Northeast corner of said lot; thence East with the South line of High Street, 10.0 feet to the Place of Beginning.

Theodore A. Metzger
 Registered Surveyor 5514

318968

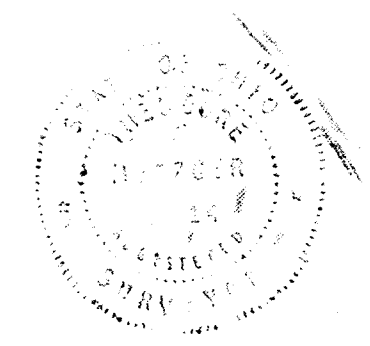
*For Ordinance to Vacate Alley
 See Deed Vol. 558 Page 202.*

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 7:37 O'CLOCK A.M.

OCT 28 1974

RECORDED Oct 28 1974
 Plat VOL 13 PAGE 119

Bernice Martz
 Esq. *Dep. Kinosh* Deputy
 Fee 8.30

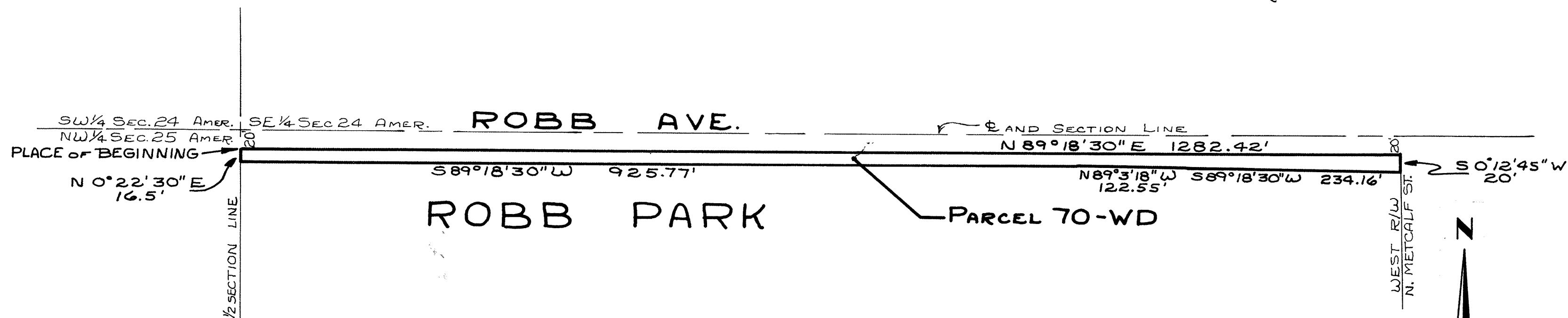


DEDICATION OF ADDITIONAL RIGHT-OF-WAY ROBB AVE.

120

1/2

PT NE 1/4 SECTION 25
AMERICAN TOWNSHIP

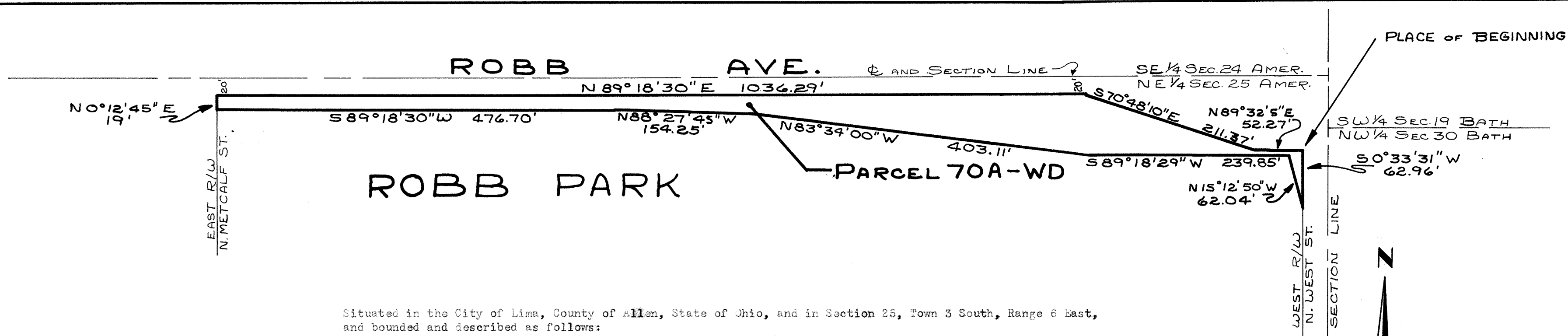


Situated in the City of Lima, County of Allen, State of Ohio, and in Section 25, Town 3 South, Range 6 East, and bounded and described as follows:

Beginning at a point in the Northwest corner of the Northeast Quarter of Section 25; thence South 00 degree 22 minutes 30 seconds West along the one-half section line, a distance of 20.00 feet to a point on the southerly right of way line of Robb Avenue, said point being the true place of beginning for the parcel herein conveyed; thence North 89 degrees 18 minutes 30 seconds East along the southerly right of way line of Robb Avenue, a distance of 1282.42 feet to a point on the westerly right of way line of Metcalf Street; thence South 00 degree 12 minutes 45 seconds West along the westerly right of way line of Metcalf Street, a distance of 20.00 feet to a point; thence South 89 degrees 18 minutes 30 seconds West, a distance of 234.16 feet to a point; thence North 89 degrees 03 minutes 18 seconds West, a distance of 122.55 feet to a point; thence South 89 degrees 18 minutes 30 seconds West a distance of 925.77 feet to a point on the Grantor's westerly property line; thence North 00 degree 22 minutes 30 seconds East along said westerly property line, a distance of 16.50 feet to the true place of beginning, said parcel contains 0.506 acres of land, more or less.

Grantor reserves the right of ingress and egress to and from any residual acres.

Description for this parcel is based on a survey by Oscar L. Willis, Registered Surveyor No. 5097.



Situated in the City of Lima, County of Allen, State of Ohio, and in Section 25, Town 3 South, Range 6 East, and bounded and described as follows:

Beginning at a point in the northeast corner of the Northeast Quarter of Section 25; thence South 89 degrees 18 minutes 30 seconds West along the northerly line of Section 25 a distance of 30.00 feet to a point; thence South 00 degrees 33 minutes 31 seconds West a distance of 92.25 feet to a point at the intersection of the southerly right of way line of Robb Avenue and the westerly right of way line of State Route 65, said point being the true place of beginning for the parcel herein conveyed; thence South 00 degrees 33 minutes 31 seconds West along the westerly right of way line of State Route 65 a distance of 62.96 feet to a point; thence North 15 degrees 12 minutes 50 seconds West a distance of 62.04 feet to a point; thence South 89 degrees 18 minutes 29 seconds West a distance of 239.85 feet to a point; thence North 83 degrees 34 minutes 00 seconds West a distance of 403.11 feet to a point; thence North 88 degrees 27 minutes 45 seconds West a distance of 154.25 feet to a point; thence South 89 degrees 18 minutes 30 seconds West a distance of 476.70 feet to a point on the easterly right of way line of Metcalf Street; thence North 00 degrees 12 minutes 45 seconds East a distance of 19.00 feet to a point on the southerly right of way line of Robb Avenue; thence North 89 degrees 18 minutes 30 seconds East along the southerly right of way line of Robb Avenue a distance of 1036.29 feet to an angle point; thence South 70 degrees 48 minutes 10 seconds East a distance of 211.37 feet to an angle point; thence North 89 degrees 32 minutes 05 seconds East a distance of 82.27 feet to the true place of beginning, said parcel contains 0.948 acres of land, more or less.

Grantor reserves the right of ingress and egress to and from any residual areas.

Description for this parcel is based on a survey by Oscar L. Willis, Registered Surveyor No. 5097.

DEDICATION

Being the sole owner of Parcel 70-WD and 70A-WD contained in the hereon plat, hereby dedicates the land contained within Parcels 70-WD and 70A-WD to the use and benefit of the public for street purposes forever.

In witness whereof, Harry J. Moyer, Mayor of the City of Lima, Ohio, has signed his name the 21 day of May, 1974.

WITNESSES:

OWNER:

R. Howard Moody
Richard D. Schmidt
Harry J. Moyer
Harry J. Moyer
Mayor of the City of Lima, Ohio

ACKNOWLEDGMENT

STATE OF OHIO)
) SS.
ALLEN COUNTY

Before me, a Notary Public in and for said State and County, personally appeared the owner of the land who acknowledged that they did sign the hereon plat and that the signing was their free act and deed.

In witness whereof, I have hereunto set my hand and seal this 21 day of May, 1974. My commission expires May 15, 1978.

KALMON E. GRONAS, Notary Public, Allen County, Ohio
My Commission Expires May 15, 1978

Kalmon E. Gronas
Notary Public
Allen County, Ohio



APPROVAL OF CITY PLANNING COMMISSION

I, the undersigned, Mayor of the City of Lima, and Chairman of the City Planning Commission, hereby, on behalf of said City and said Commission, approve and accept this 21 day of May, 1974.

Harry J. Moyer
Harry J. Moyer
Mayor of the City of Lima, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 319034

Filed for record in the Allen County, Ohio, Recorder's Office this 29 day of Oct, 1974, at 1:41 o'clock, P..M.

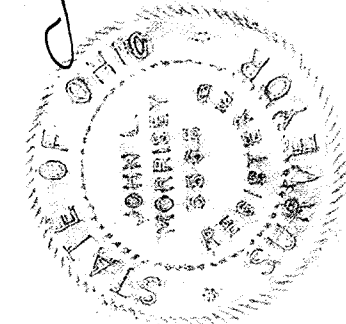
Plat Book No. 13 Page 120

Fee \$ No Charge

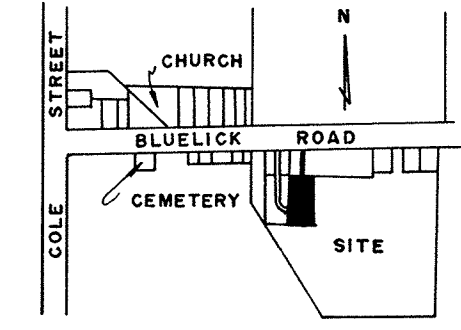
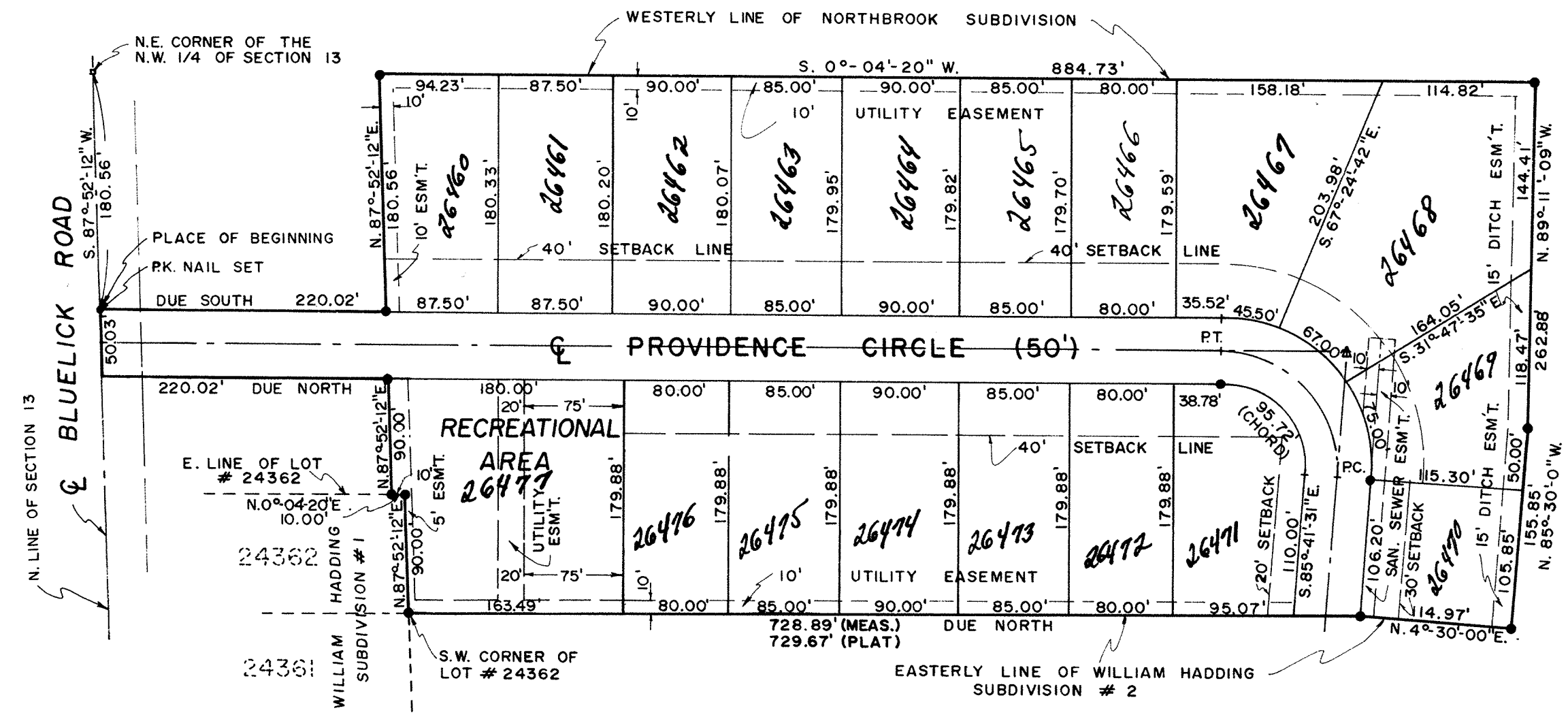
SURVEYOR'S CERTIFICATE

I hereby certify that I have prepared this plat of the land situated in American Township, City of Lima, Allen County, Ohio, and the same is correct and accurate.

John L. Morrissey
Registered Surveyor #5565



WILLIAM HADDING SUBDIVISION # 3 SECTION 13, T3S-R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO



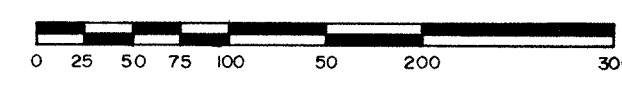
LOCATION MAP
(NO SCALE)

CURVE DATA
 Δ 94°-24'-41"
 DD 63'-0"-00"
 T 90.23'
 L 148.78'

Having checked the construction of the streets in this addition, I find that they have been constructed in accordance with the specifications set forth on the approved plat thereof, and that they are in good repair, and this indorsement shall constitute the acceptance of the streets for public use. Dated February 18, 1975.

Clayton T. Bacon
 Engineer

NOVEMBER, 1973



● INDICATES MONUMENTS

The above certification was placed on the within plat by Clayton T. Bacon, Allen County Engineer, Lima, Ohio, under authority of Section 711-.091 of the revised Code of Ohio, in my presence this 18th day of February, 1975.

Bernice Montague
 Allen County Recorder

NOTE: RESTRICTIONS AS RECORDED IN WILLIAM HADDING SUBDIVISION # 2 APPLY TO THIS PLAT.

I HEREBY CERTIFY THAT IN OCTOBER, 1973, I SURVEYED THE FOLLOWING DESCRIBED LAND IN THE N.W. 1/4 OF SECTION 13, T3S-R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO AND THAT STAKES WERE PLACED AT ALL LOT CORNERS AND STONE MONUMENTS WERE PLACED AS SHOWN AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE PLATTING CODE OF THE CITY OF LIMA, OHIO.

STARTING AT THE N.E. CORNER OF THE N.W. 1/4 OF SECTION 13; THENCE S.87°-52'-12"W. ALONG THE CENTERLINE OF BLUELICK ROAD AND THE NORTH LINE OF SECTION 13 FOR 180.56 FEET TO A PK NAIL SET ON THE N. LINE OF SECTION 13 AND THE PLACE OF BEGINNING; THENCE FROM THIS PLACE OF BEGINNING DUE SOUTH, 220.02 FEET; THENCE N.87°-52'-12"E. FOR 180.56 FEET TO THE WESTERLY LINE OF NORTHBROOK SUBDIVISION; THENCE S.0°-04'-20"W. ALONG SAID WESTERLY LINE FOR 884.73 FEET; THENCE N.89°-11'-09"W. FOR 262.88 FEET; THENCE N.85°-30'-00"W. FOR 155.85 FEET TO THE EASTERLY LINE OF WILLIAM HADDING SUBDIVISION # 2; THENCE ALONG SAID EASTERLY LINE WITH THE FOLLOWING COURSES: N.4°-30'-00"E. 114.97 FEET; DUE NORTH, 728.89 FEET TO THE S.W. CORNER OF LOT # 24362 IN WILLIAM HADDING SUBDIVISION # 1; THENCE N.87°-52'-12"E. ALONG THE SOUTH LINE OF LOT # 24362 FOR 90.00 FEET TO THE S.E. CORNER OF LOT # 24362; THENCE N.0°-04'-20"E. ALONG THE EAST LINE OF LOT # 24362 FOR 10.00 FEET; THENCE N.87°-52'-12"E. FOR 90.00 FEET; THENCE DUE NORTH FOR 220.02 FEET; THENCE N.87°-52'-12"E. FOR 50.03 FEET TO THE PLACE OF BEGINNING.

CONTAINING IN ALL 8.45 ACRES

Albert O. Weisman
 ALBERT O. WEISMAN
 REG. SURVEYOR # 6037

DEDICATION

BEING THE SOLE OWNERS OF THE ABOVE DESCRIBED PREMISES, WE HEREBY DEDICATE THE STREETS AND UTILITY EASEMENTS AS SHOWN, TO THE PUBLIC FOR THEIR USE FOREVER, SIGNED THIS 14th DAY OF Nov. 1974.

OWNERS	WITNESS
<i>George William Hadding</i>	<i>Thomas C. Hubbell</i>
<i>Joy J. Hadding</i>	<i>Norman Redick</i>
_____	_____
_____	_____

ACKNOWLEDGEMENT

COUNTY OF ALLEN, STATE OF OHIO.
 BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR THE ABOVE SIGNED OWNERS WHO ACKNOWLEDGED THE SIGNING OF THIS DOCUMENT, TO BE THEIR FREE ACT AND DEED, IN TESTIMONY THEREOF I AFIX MY HAND AND SEAL, THIS 14th DAY OF Nov. 1974, MY COMMISSION EXPIRES May 26, 1977

Norman Redick
 NOTARY PUBLIC

APPROVAL OF CITY PLANNING COMMISSION

THIS PLAT HAVING BEEN APPROVED BY THE CITY PLANNING COMMISSION OF THE CITY OF LIMA, OHIO, I THE UNDERSIGNED MAYOR OF THE CITY OF LIMA, OHIO, AND CHAIRMAN OF THE CITY PLANNING COMMISSION, HEREBY, ON BEHALF OF SAID CITY AND SAID COMMISSION APPROVE AND ACCEPT THIS PLAT THIS 13th DAY OF November 1974.

Larry Meyer
 MAYOR & CHAIRMAN OF PLANNING COMMISSION

FILED FOR TRANSFER THIS 14th DAY OF NOVEMBER 1974 AT 10:35 O'CLOCK A. M. IN THE OFFICE OF THE ALLEN COUNTY AUDITOR.

Richard A. Ditt
 ALLEN COUNTY AUDITOR

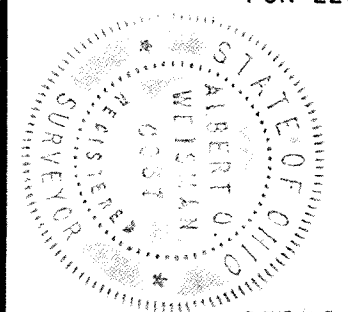
NO. 319440
 FILED FOR RECORD THIS 14th DAY OF Nov. 1974 AT 1:50 O'CLOCK P. M. IN THE OFFICE OF THE ALLEN COUNTY RECORDER AND RECORDED IN PLAT BOOK 13 PAGE 122.
 FEE \$ 16.60

Bernice Montague
 ALLEN COUNTY RECORDER
By Betty Kinosh, Deputy

PREPARED BY: SHELDON & ASSOCIATES
 1430 N. COLE ST.
 LIMA, OHIO

APPROVAL OF COUNTY ENGINEER

Approved For Transfer
 Allen County Tax Map
 Office: REL Date: 11/14/74



PLAT OF A SURVEY OF DEDICATORS LAND-for-WILLIAM HADDING SUBDIVISION #3

CERTIFICATION

IN THE N.W. 1/4 OF SECTION 13, T3S-R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO

I hereby certify that in October, 1974, I surveyed the following described land in the northwest 1/4 of Section 13, T3S-R6E, American Township, Allen County, Ohio and that this plat was prepared in accordance with Senate Bill #347 effective September 30, 1974.

DESCRIPTION

Being a parcel of land situated in American Township, Allen County, Ohio in the northwest 1/4 of Section 13, Township 3 South, Range 6 East being more particularly described as follows:

Commencing for reference at an existing county reference stone in the centerline of Bluelick Road and the north line of Section 13, said point marking the northeast corner of the northwest 1/4 of Section 13 -

Thence south 87°-52'-12" west along said centerline and north line for one hundred eighty and 56/100 (180.56) feet to the place of beginning:

(1) Thence south for two hundred twenty and 2/100 (220.02) feet to an existing concrete monument -
(2) thence north 87°-52'-12" east one hundred eighty and 56/100 (180.56) feet to an existing concrete monument placed in the westerly line of Northbrook Subdivision as platted in Plat Book 9, Page 70 in the Allen County Recorders Office -

(3) Thence south 0°-04'-20" west along the westerly line of Northbrook Subdivision one thousand one hundred three and 63/100 (1103.63) feet to an existing stone, passing an existing concrete monument at eight hundred eighty-four and 73/100 (884.73) feet -

(4) Thence south 88°-01'-59" west nine hundred fifty-three and 51/100 (953.51) feet to an existing broken wood post

(5) Thence north 38°-23'-29" west five hundred ninety-one and 11/100 (591.11) feet to a 5/8" iron rod set -

(6) Thence north 0°-08'-08" west eight hundred forty-three and 85/100 (843.85) feet to a P.K. nail set in the centerline of Bluelick Road and the north line of Section 13 -

(7) Thence north 87°-52'-12" east along said centerline and north line four hundred thirteen and 73/100 (413.73) feet to a P.K. nail set -

(8) Thence south two hundred thirty and 00/100 (230.00) feet to a 5/8" iron rod set -

(9) Thence north 87°-52'-12" east ninety and 00/100 (90.00) feet to the southwest corner of Lot #24358 as platted in William Hadding Subdivision #1 Plat Book 10, Page 137 and the westerly line of William Hadding Subdivision #2 Plat Book 12, Page 143 -

(10) Thence south along the westerly line of William Hadding Subdivision #2 seven hundred ninety-six and 76/100 (796.76) feet to an existing concrete monument marking the southwest corner of said subdivision #2.

(11) Thence south 85°-30'-0" east along the southerly line of said subdivision #2, four hundred one and 93/100 (401.93) feet to an existing concrete monument marking the southeast corner of said subdivision #2.

Thence along the easterly line of said subdivision #2 with the following courses:

(12) north 4°-30'-0" east, one hundred fourteen and 97/100 (114.97) feet to an existing concrete monument -

(13) north, seven hundred twenty-nine and 67/100 (729.67) feet (platted) and seven hundred twenty-eight and 89/100 (728.89) feet (measured) to an existing concrete monument marking the southwest corner of Lot 24362 as platted in William Hadding Subdivision #1 -

(14) Thence north 87°-52'-12" east along the south line of said Lot #24362 ninety and 00/100 (90.00) feet to an existing concrete monument marking the southeast corner of said Lot #24362 -

(15) Thence north 0°-04'-20" east, ten and 00/100 (10.00) feet to an existing concrete monument -

(16) Thence north 87°-52'-12" east, ninety and 00/100 (90.00) feet to an existing concrete monument -

(17) Thence north, two hundred twenty and 02/100 (220.02) feet to a P.K. nail set in the centerline of Bluelick Road and the north line of Section 13 -

(18) Thence north 87°-52'-12" east along said centerline and north line, fifty and 03/100 (50.03) feet to a P.K. nail set and the place of beginning.

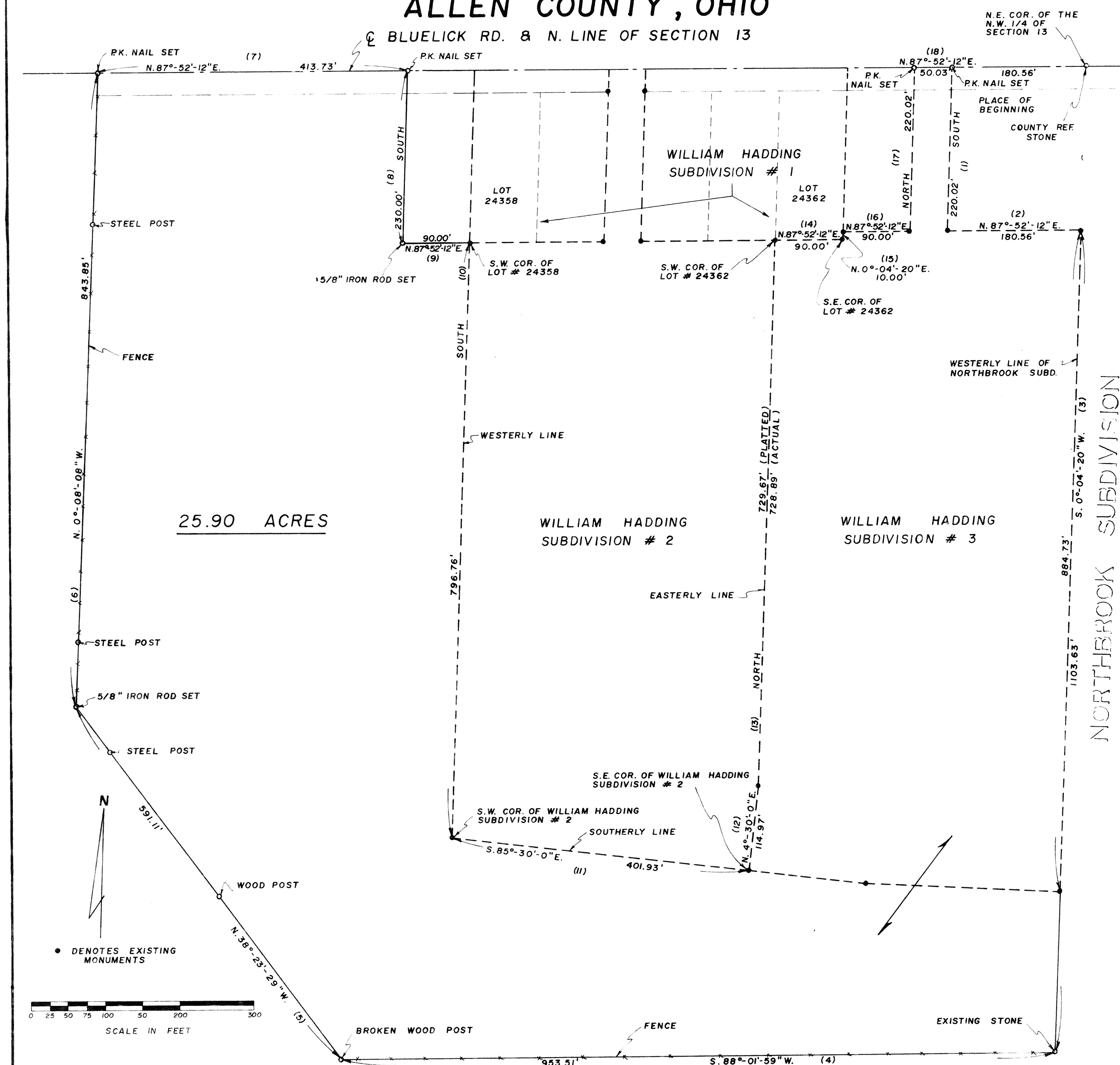
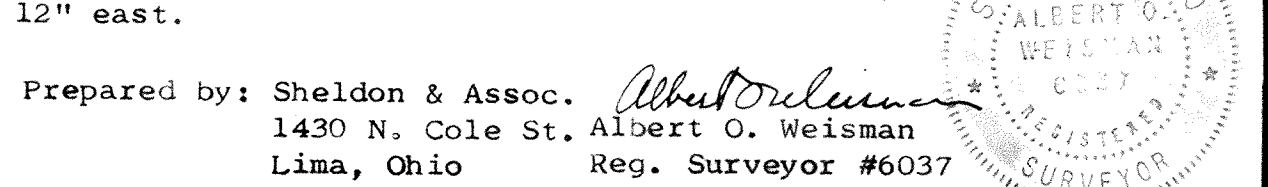
Containing in all 25.90 acres of land more or less.

Subject to all easements and right-of-way of record.

Note: All bearings refer to the centerline of Bluelick Road and the north line of Section 13 as being north 87°-52'-12" east.

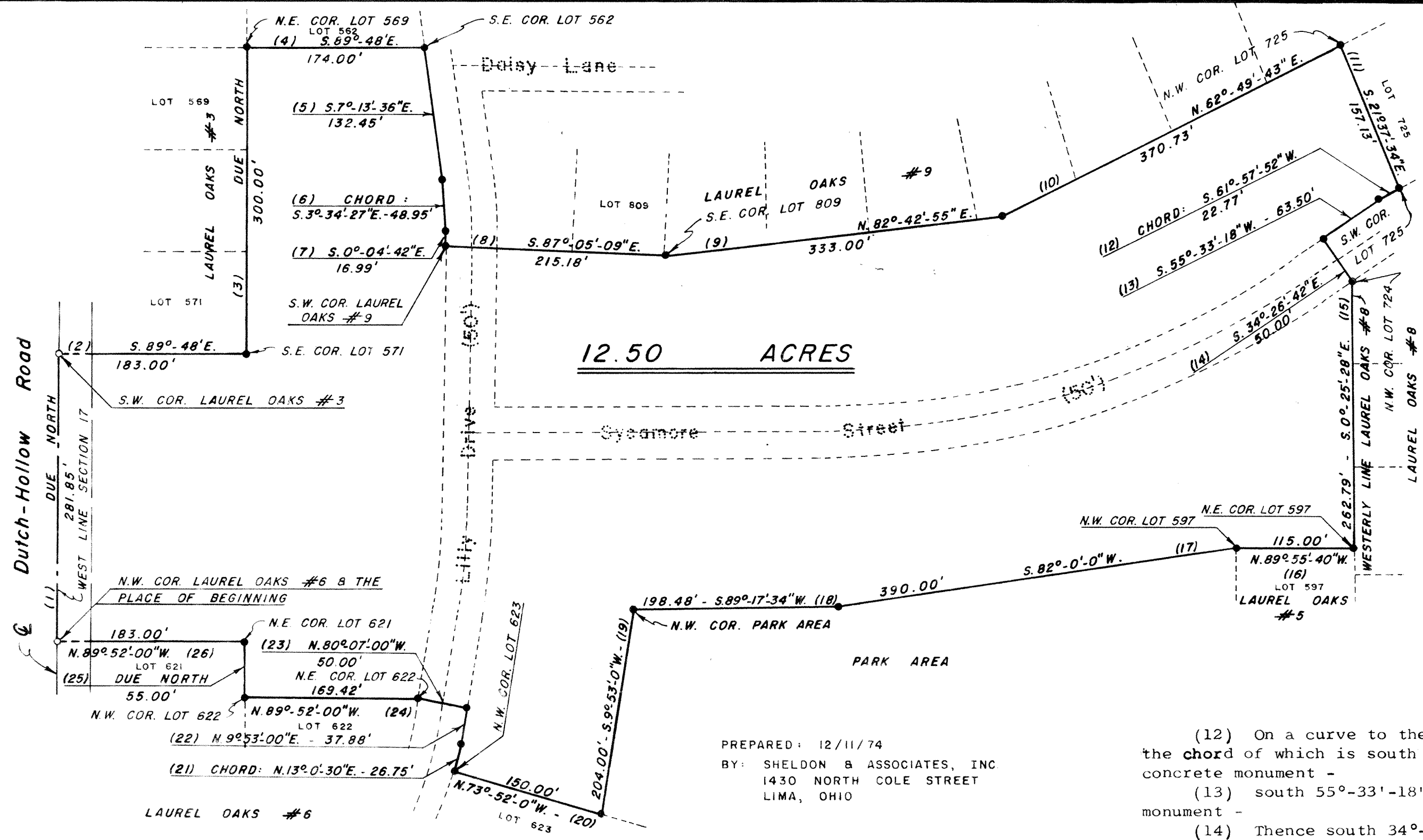
Prepared by: Sheldon & Assoc. *Albert O. Weisman*

1430 N. Cole St. Albert O. Weisman
Lima, Ohio Reg. Surveyor #6037

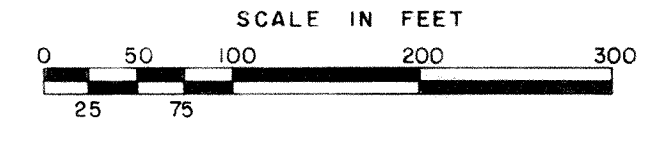


Approved For Transfer
Allen County Tax Map
Office: *R&L* Date: *11/14/74*

PLAT OF A SURVEY OF DEDICATORS LAND FOR LAUREL OAKS #10 IN THE N.W. 1/4 OF SECTION 17, T3S-R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO



• - DENOTES EXISTING CONC. MONUMENTS
○ - DENOTES EXISTING P.K. NAILS



PREPARED: 12/11/74
BY: SHELDON & ASSOCIATES, INC
1430 NORTH COLE STREET
LIMA, OHIO

CERTIFICATION

I hereby certify that in October, 1974, I surveyed the following described land in the northwest 1/4 of Section 17, T3S-R6E, American Township, Allen County, Ohio and that this plat was prepared in accordance with Senate Bill #347 effective September 30, 1974.

DESCRIPTION

Being a parcel of land situated in American Township, Allen County, Ohio in the northwest 1/4 of Section 17, Township 3 South, Range 6 East being more particularly described as follows:

Commencing for reference at an existing P.K. nail marking the northwest corner of Laurel Oaks #6 (as recorded in Plat Book 12, Page 132, Allen County Recorders Office), the centerline of Dutch Hollow Road, the west line of Section 17, and the place of beginning -
(1) Thence due north, along the centerline of Dutch Hollow Road and the west line of Section 17, two hundred eighty-one and 85/100 (281.85) feet to an existing P.K. nail marking the southwest corner of Laurel Oaks #3 (as recorded in Plat Book 11, Page 228, Allen County Recorders Office) -

(2) Thence south 89°-48' east one hundred eighty-three and 00/100 (183.00) feet to an existing concrete monument marking the southeast corner of Lot #571, Laurel Oaks #3 -
(3) Thence due north three hundred and 00/100 (300.00) feet to an existing concrete monument marking the northeast corner of Lot #569, Laurel Oaks #3 -
(4) Thence south 89°-48' east one hundred seventy-four and 00/100 (174.00) feet to an existing concrete monument marking the southeast corner of Lot #562, Laurel Oaks #3, this point also being on the westerly line of Lilly Drive -

Thence along the westerly line of Lilly Drive with the following courses:
(5) south 7°-13'-36" east one hundred thirty-two and 45/100 (132.45) feet to an existing concrete monument -

(6) On a curve to the right with a radius of three hundred eighty-four and 26/100 (384.26) feet, the chord of which is south 3°-34'-27" east forty-eight and 95/100 (48.95) feet to an existing concrete monument -

(7) south 0°-04'-42" east sixteen and 99/100 (16.99) feet to an existing concrete monument marking the southwest corner of Laurel Oaks #9, as recorded in Plat Book 13, Page 34, Allen County Recorders Office -

(8) Thence south 87°-05'-09" east two hundred fifteen and 18/100 (215.18) feet to an existing concrete monument marking the southeast corner of Lot #809, Laurel Oaks #9 -

(9) Thence north 82°-42'-55" east three hundred thirty-three and 00/100 (333.00) feet to an existing concrete monument -

(10) Thence north 62°-49'-43" east three hundred seventy and 73/100 (370.73) feet to an existing concrete monument marking the northwest corner of Lot 725, Laurel Oaks #8, as recorded in Plat Book 12, Page 189, Allen County Recorders Office -

(11) Thence south 21°-37'-34" east one hundred fifty-seven and 13/100 (157.13) feet to an existing concrete monument marking the southwest corner of Lot #725, Laurel Oaks #8, and the northerly line of Sycamore Street -

Thence along the northerly line of Sycamore Street with the following courses:

(12) On a curve to the left with a radius of one hundred two and 00/100 (102.00) feet, the chord of which is south 61°-57'-52" west twenty-two and 77/100 (22.77) feet to an existing concrete monument -

(13) south 55°-33'-18" west sixty-three and 50/100 (63.50) feet to an existing concrete monument -

(14) Thence south 34°-26'-42" east fifty and 00/100 (50.00) feet to an existing concrete monument marking the southerly line of Sycamore Street and the northwest corner of Lot #724, Laurel Oaks #8 -

(15) Thence south 0°-25'-28" east, along the westerly line of Laurel Oaks #8, two hundred sixty-two and 79/100 (262.79) feet to an existing concrete monument marking the northeast corner of Lot #597, Laurel Oaks #5, as recorded in Plat Book 12, Page 104, Allen County Recorder's Office -

(16) Thence north 89°-55'-40" west one hundred fifteen and 00/100 (115.00) feet to an existing concrete monument marking the northwest corner of Lot #597, Laurel Oaks #5 -

(17) Thence south 82°-0'-0" west three hundred ninety and 00/100 (390.00) feet to an existing concrete monument -

(18) Thence south 89°-17'-34" west one hundred ninety-eight and 48/100 (198.48) feet to an existing concrete monument marking the northwest corner of the park area -

(19) Thence south 9°-53'-0" west two hundred four and 00/100 (204.00) feet to an existing concrete monument marking the north line of Lot #623, Laurel Oaks #6, as recorded in Plat Book 12, Page 132, Allen County Recorders Office -

(20) Thence north 73°-52'-0" west one hundred fifty and 00/100 (150.00) feet to an existing concrete monument marking the northwest corner of Lot #623, Laurel Oaks #6 and the easterly line of Lilly Drive -

Thence along the easterly line of Lilly Drive with the following courses:
(21) On a curve to the left with a radius of two hundred forty-five and 37/100 (245.37) feet, the chord of which is north 13°-00'-30" east twenty-six and 75/100 (26.75) feet to an existing concrete monument -

(22) north 9°-53'-0" east thirty-seven and 88/100 (37.88) feet to an existing concrete monument -

(23) Thence north 80°-07'-0" west fifty and 00/100 (50.00) feet to an existing concrete monument marking the westerly line of Lilly Drive and the northeast corner of Lot #622, Laurel Oaks #6 -

(24) Thence north 89°-52'-0" west one hundred sixty-nine and 42/100 (169.42) feet to an existing concrete monument marking the northwest corner of Lot #622, Laurel Oaks #6 -

(25) Thence due north fifty-five and 00/100 (55.00) feet to an existing concrete monument marking the northeast corner of Lot #621, Laurel Oaks #6 -

(26) Thence north 89°-52'-0" west one hundred eighty-three and 00/100 (183.00) feet to an existing P.K. nail marking the northwest corner of Laurel Oaks #6, the centerline of Dutch-Hollow Road, the west line of Section 17 and the place of beginning.

Containing in all 12.50 acres of land more or less.
Subject to all easements and right-of-way of record.

NOTE: ALL BEARINGS REFER TO THE CENTERLINE OF DUTCH-HOLLOW ROAD & THE WEST LINE OF SECTION 17 AS BEING DUE NORTH.

Albert O. Weisman
Reg. Surveyor #6037

Approved for Transfer
Allen County Tax Map
Office: 12/13/74
Date: 12/13/74

TWIN LAKES SUBDIVISION NO. 3 B

PROTECTIVE COVENANTS

- Said premises shall be used solely and exclusively for residence purposes. No buildings or structures or any additions thereto or any alterations thereof shall be erected, reconstructed, placed or suffered to remain upon said premises unless or until the size, location, type, cost, the materials of construction thereof, the color scheme therefore the grading plan of the lot, including the grade elevations of said building and structures upon said premises and the plans, specifications and details of said building and structures shall have been approved in writing by the Grantor, and a true copy of said plans, specifications and details shall have been lodged permanently with the Grantor and no buildings or structures except as conform to said plans, specifications and details shall be erected, reconstructed or suffered to remain upon said premises.
- No dwelling shall be permitted on any lot in the subdivision, the ground floor area of which shall be less than the following minimums:
 One story house - 1200 square feet
 Two story house - 750 square feet
 For the purposes of this covenant, the area of open porches and garages shall not be included.
- The building location shall be 40 feet from the front lot line, 7½ feet from the side lot lines and 25 feet from the back lot lines.
- No sign of any kind shall be displayed to the public view on any lot, other than one sign of not more than five square feet advertising the property for sale or rent, or signs used by a builder to advertise the property during construction and sales period.
- LIVESTOCK AND POULTRY: No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot, except that dogs, cats, or other household pets may be kept provided that they are not kept, bred or maintained for any commercial purposes.
- No lot shall be used or maintained as a dumping ground for rubbish. Trash, garbage, or other waste shall be kept in sanitary containers out of view of the adjacent property owners and the public. All incinerators or other equipment for the storage of such material shall be kept in a clean and sanitary condition.
- SIGHT DISTANCE AT INTERSECTIONS: No fence, wall, hedge or shrub planting which obstructs sight lines at elevations between 2 and 6 feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting them at points 25 feet from the intersection of the street lines or in case of a rounded property corner from the intersection of the street lines extended. The sight-line limitations shall apply on any lot within 10 feet from the intersection of a street property line with the edge of a driveway or alley pavement. No trees shall be permitted to remain within such distances of such intersections unless foliage line is maintained at sufficient height to prevent obstruction of such sight lines.
- Easements and rights-of-way are reserved in and over such said lots as are shown on said plat, for the construction, operation and maintenance of poles, wires, conduits and the necessary and proper attachments in connection therewith for the transmission of electricity, for telephone, drainage facilities, and other purposes, also for the construction, operation and maintenance of drains, sewers and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished or performed in any method beneath the surface of the ground. Easements shown upon plat may also be used by utility companies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements.
- No noxious or offensive activity shall be carried on or upon any lot nor shall anything be done thereon which may become an annoyance or nuisance to the neighborhood.
- No structure of a temporary nature, trailer, basement, tent, shack, garage, barn or other outbuilding shall be used on any lot at any time as residence either temporary or permanently and the owner shall keep the premises free from weeds, trash and miscellaneous materials which might distract from the value of the surrounding premises.
- These covenants are to run with the land and shall be binding on all parties and on all persons claiming under them for a period of twenty-five years from the date these covenants are recorded, after which time such covenants shall automatically be extended for successive periods of ten years unless an instrument signed by a majority of the landowners of the lots has been recorded, agreeing to change said covenants in whole or in part.
- These conditions, limitations, and restrictions set forth herein shall be considered part of any contract, deed, lease or instrument relating to any lot in Twin Lakes Subdivision No. 3B, without being incorporated therein, and the acceptance of any contract, deed, lease or instrument relating there shall operate as a covenant to use the premises in conformity with the conditions, limitations and restrictions herein set forth which are for the use and benefit of every person who shall or may become the owner of, or have any title to any lot or parcel of land situated in Twin Lakes Subdivision No. 3B.
- Enforcement shall be by proceeding at law or in equity against any person or persons violating or attempting to violate any covenant either to restrain violation or to recover damages, invalidation of any one of these covenants by judgement or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

DEDICATION

Twin Lakes Subdivision Inc., being the owner of all of the land shown on the plat of Twin Lakes Subdivision No. 3B hereby adopt the foregoing plat (including the restrictions set forth thereon) and dedicate the land contained within the streets shown thereon to the use and benefit of the public forever. They hereby impose said restrictions on the land included in the plat and create and establish on the land included therein the utility easements shown thereon.

In the presence of:

TWIN LAKES SUBDIVISION INC.

Tolerance Van Schaapel

George T. Kocher
George T. Kocher President

Dwight R. Fortman

Mildred B. Kocher
Mildred B. Kocher, Secretary

Tolerance Van Schaapel

Dwight R. Fortman

ACKNOWLEDGEMENT

State of Ohio, Allen County, ss
Before me, a Notary Public in and for said state and county, personally appeared George T. Kocher and Mildred B. Kocher, who acknowledged that they did sign the hereon plat of Twin Lakes Subdivision No. 3B and that the signing thereof was their free act and deed.

In Witness whereof, I have set my hand and seal this 23rd day of Decr 1974

My Commission expires: Decr. 8, 1989

Tolerance Van Schaapel
Notary Public, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 8th day of JANUARY, 1975.

Fee: \$3.50

Richard L. Ditto
Auditor of Allen County, Ohio.

COUNTY RECORDER'S CERTIFICATE

No. 320723
Filed for record in the Allen County, Ohio, Recorder's Office this 8 day of January, 1975, at 3:55 o'clock P. M. and recorded in Allen County, Ohio, Plat Book 18 on Page 126.

Fee: \$ 24.90

Bernice Montague
Recorder of Allen County, Ohio
By Betty Knistler, Deputy

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, approve and accept this plat this 8th day of January, 1975.

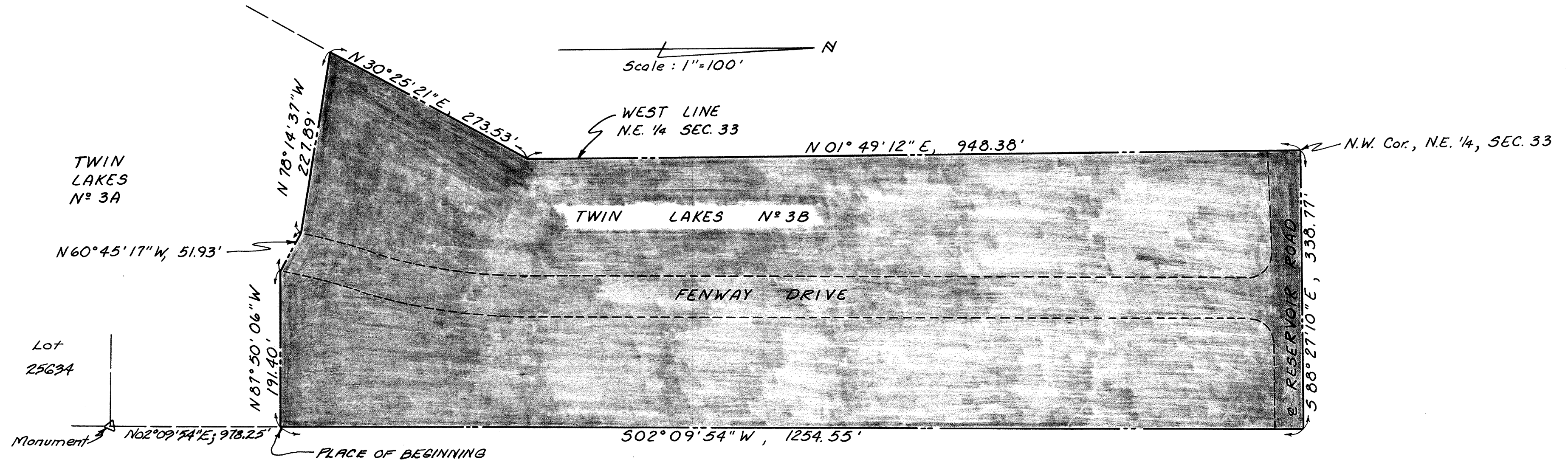
Used For Transfer
County Tax Map
Date 1/8/75

Larry Hooper
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

SURVEY OF DEDICATOR'S LAND
FOR

TWIN LAKES SUBDIVISION N^o 3 B

N. 1/2, SECTION 33, T3S, R7E
BATH TOWNSHIP, ALLEN COUNTY, OHIO



DESCRIPTION

Description of lands of the Dedicator of Twin Lakes Subdivision No. 3-B located in the northwest and the northeast quarter of Section 33, T3S, R6E, Bath Township, Allen County, Ohio, more particularly described as follows:

Commencing at the northeast corner of Lot No. 25634 in Twin Lakes Subdivision No. 1 Replat; thence N 02° 09' 54" E, 978.25 feet to the PLACE OF BEGINNING; thence N 87° 50' 06" W, 191.40 feet; thence N 60° 45' 17" W, 51.93 feet; thence N 78° 14' 37" W, 227.89 feet; thence N 30° 25' 21" E, 273.53 feet to the west line of said northeast quarter; thence N 01° 49' 12" E with said west line, 948.38 feet to the northwest corner of said northeast quarter; thence S 88° 27' 10" E with the north line of said northeast quarter, 338.77 feet; thence S 02° 09' 54" W, 1254.55 feet to the PLACE OF BEGINNING containing 9.943 Acres more or less.

I hereby certify that this plat represents a true and complete survey made by me or under my supervision in September, 1973, and that all markers are or will be correctly shown as to material and location and are or will be in place by six (6) months after construction of the improvements are made.

Approved For Transfer
Allen County Tax Map
Office: R20 Date: 1/8/75

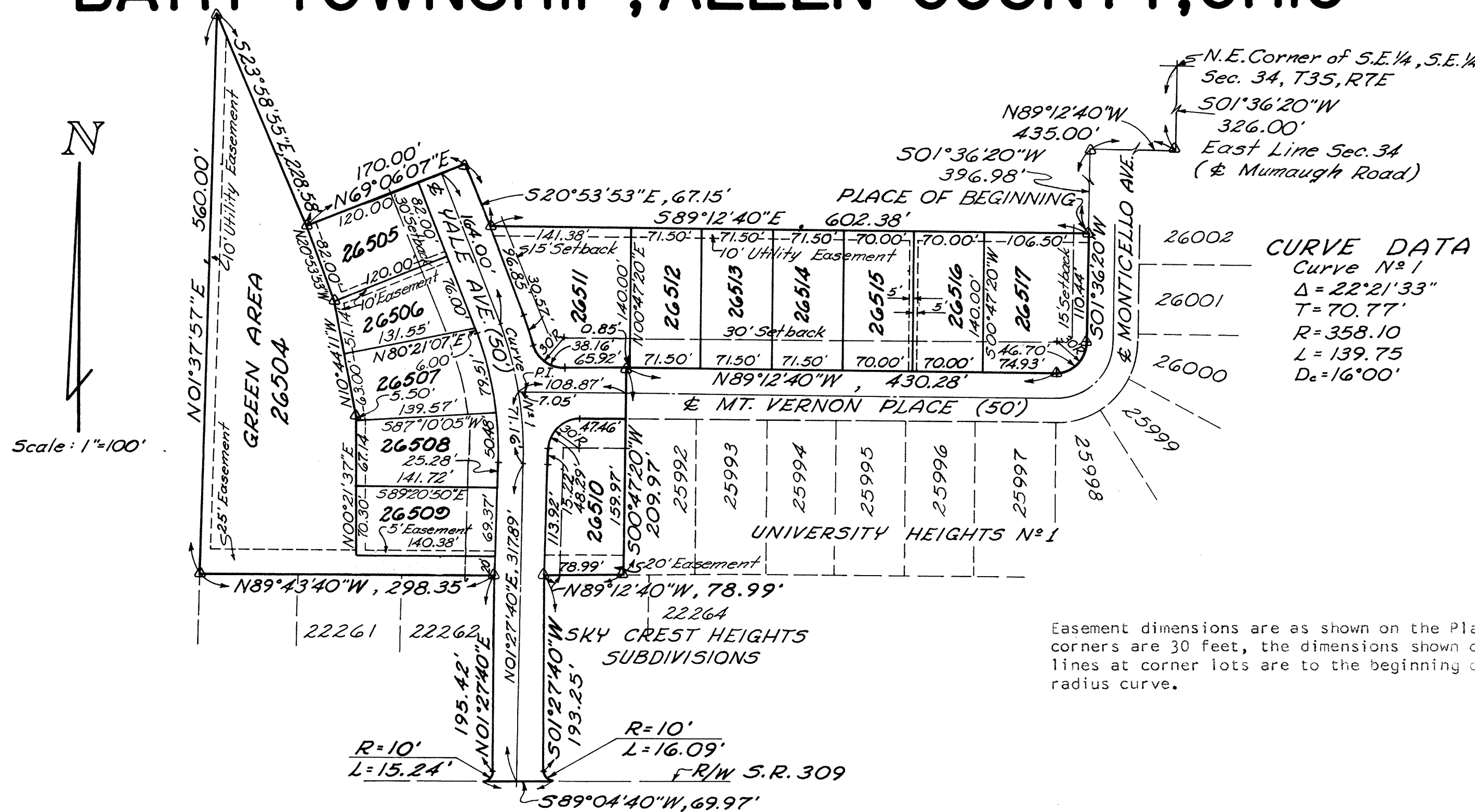
Theodore A. Metzger
Registered Surveyor No. 5514
Kohli and Kaliher Associates, Limited
Lima, Ohio.



UNIVERSITY HEIGHTS N^o 2

S.E. 1/4, SECTION 34, T3S, R7E

BATH TOWNSHIP, ALLEN COUNTY, OHIO



Easement dimensions are as shown on the Plat. Radii at lot corners are 30 feet, the dimensions shown on the property lines at corner lots are to the beginning of the 30 foot radius curve.

DESCRIPTION

University Heights No. 2 Subdivision is laid out on the following described land situate in the southeast quarter of the southeast quarter of Section 34, T3S, R7E, First Principal Meridian, Bath Township, Allen County, Ohio, and more particularly described as follows:

Commencing at the northeast corner of the southeast quarter of the southeast quarter of said Section 34; thence S 01° 36' 20" W with the east line of said Section 34 (centerline of Mumaugh Road), 326.00 feet; to the north right-of-way line of Cambridge Place; thence N 89° 12' 40" W with the north right-of-way line of Cambridge Place, 435.00 feet to the west right-of-way line of Monticello Avenue; thence S 01° 36' 20" W with the west right-of-way line of Monticello Avenue, 396.98 feet to the PLACE OF BEGINNING; thence continuing S 01° 36' 20" W with said west right-of-way line of Monticello Avenue, 110.44 feet to a curve to the right having a radius of 30.00 feet and an arc length of 46.70 feet; thence N 89° 12' 40" W with the north right-of-way line of Mount Vernon Place, 430.28 feet; thence S 00° 47' 20" W, 209.97 feet to the north line of Sky Crest Heights Subdivision; thence N 89° 12' 40" W with said north line, 78.99 feet;

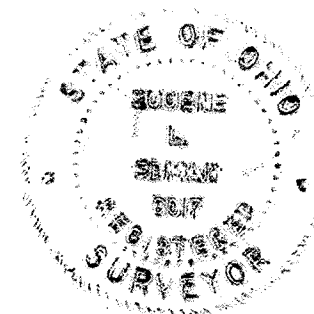
to the east right-of-way line of Yale Avenue; thence S 01° 27' 40" W with said east right-of-way line of Yale Avenue, 193.25 feet to a curve to the left having a radius of 10.00 feet and an arc length of 16.09 feet to the north right-of-way line of State Route 309; thence S 89° 04' 40" W with said north right-of-way line of State Route 309, 69.97 feet to a curve back to the right having a radius of 10.00 feet and an arc length of 15.24 feet to the west right-of-way line of Yale Avenue; thence N 01° 27' 40" E

with said west right-of-way line of Yale Avenue, 195.42 feet to said north line of Sky Crest Heights Subdivision; thence N 89° 43' 40" W, with said north line, 298.35 feet to the west line of the southeast quarter of said southeast quarter; thence N 01° 37' 57" E with the west line of the southeast quarter of the southeast quarter, 560.00 feet; thence S 23° 58' 55" E, 228.58 feet; thence N 69° 06' 07" E, 170.00 feet to the east right-of-way line of Yale Avenue; thence S 20° 53' 53" E with said east right-of-way line of Yale Avenue, 67.15 feet; thence S 89° 12' 40" E, 602.38 feet to the PLACE OF BEGINNING, containing 5.500 Acres more or less of which 0.819 Acres more or less are for Roadway purposes and 1.454 Acres more or less are for Green Area purposes.

(Δ) Denotes Concrete Monuments.
Iron Pipes will be placed on all lot corners.

I hereby certify that this plat is based on a true and accurate survey made by me or under my supervision in July 1974, having an error of closure of 1' in 51,184 feet, and that all markers are or will be in place by six (6) months from the date of recording of the plat.

Eugene L. Edman
Registered Surveyor No. 6017



KOHLE AND KALHER ASSOCIATES, LIMITED
LIMA, OHIO.

1. Said premises shall be used solely and exclusively for residence purposes. No buildings or structures or any additions thereto or any alterations thereof shall be erected, reconstructed, placed or suffered to remain upon said premises unless or until the size, location, type, cost, use, the materials of construction thereof, the color scheme therefor, the grading plan of the lot, including the grade elevations of said building and structures upon said premises and the plans, specifications and details of said building and structures shall have been approved in writing by the grantor, and a true copy of said plans, specifications and details shall have been lodged permanently with the grantor and no buildings or structures except as conform to said plans, specifications and details shall be erected, reconstructed or suffered to remain upon said premises.

2. No structure shall be erected, placed or suffered to remain on any lot nearer to the boundary lines of such lot than the minimum building setback lines as shown on the recorded plat of this subdivision. For the purposes of this restriction, eaves, steps and porches shall not be considered as a part of such structure.

3. No sign of any kind shall be displayed to the public view on any lot, other than one sign of not more than five square feet advertising the property for sale or rent, except signs used by a builder to advertise the property during the construction and sale period.

4. LIVESTOCK AND POULTRY: No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot, except that dogs, cats, or other household pets may be kept provided that they are not kept, bred, or maintained for any commercial purposes.

5. No lot shall be used or maintained as a dumping ground for rubbish, trash, garbage, or other waste shall be kept in sanitary containers out of view of the adjacent property owners and the public. All incinerators or other equipment for the storage and disposal of such material shall be kept in a clean and sanitary condition.

6. SIGHT DISTANCE AT INTERSECTIONS: No fence, wall, hedge or shrub planting which obstructs sight lines at elevations between 2 and 6 feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting them at points 25 feet from the intersection of the street lines or in case of a rounded property corner from the intersection of the street lines extended. The sight-line limitations shall apply on any lot within 10 feet from the intersection of a street property line with the edge of a driveway or alley pavement. No trees shall be permitted to remain within such distances of such intersections unless foliage line is maintained at sufficient height to prevent obstruction of such sight lines.

7. Easements and rights of way are reserved in and over such said lots as are shown on said plat, for the construction, operation and maintenance of poles, wires, conduits and the necessary and proper attachments in connection therewith for the transmission of electricity, for telephone, drainage facilities, and other purposes, also for the construction, operation and maintenance of drains, sewers and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished or performed in any method beneath the surface of the ground. Easements shown upon plat may also be used by utility companies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements.

8. An easement is hereby granted for the sole purpose of street light installation and maintenance upon, under and across a two and one-half foot strip parallel with and adjacent to each interior side lot line of each lot of said addition, provided that such an easement is not granted hereby with reference to any such interior lot line as may fall within any tract created by purchase, by a single purchaser of more than one such lot.

9. No noxious or offensive activity shall be carried on or upon any lot nor shall anything be done thereon which may become an annoyance or nuisance to the neighborhood.

10. No structure of a temporary nature, trailer, basement, tent, shack, garage, barn or other outbuilding shall be used on any lot at any time as residence either temporary or permanently and the owner shall keep the premises free from weeds, trash and miscellaneous materials which might distract from the value of the surrounding premises.

11. These covenants are to run with the land and shall be binding on all persons claiming under them for a period of twenty-five years from the date these covenants are recorded, after which time said covenants shall automatically be extended for successive periods of ten years unless an instrument signed by a majority of the landowners of the lots has been recorded, agreeing to change said covenants in whole or in part.

12. These conditions, limitations, and restrictions set forth herein shall be considered part of any contract, deed, lease or instrument relating to any lot in University Heights Subdivision, without being incorporated therein, and the acceptance of any contract, deed, lease or instrument relating there shall operate as a covenant to use the premises in conformity with the conditions, limitations and restrictions herein set forth which are for the use and benefit of every person who shall or may become the owner of, or have any title to any lot or parcel of land situated in University Heights Subdivision.

13. Enforcement shall be by proceeding at law or in equity against any person violating or attempting to violate any covenant either to restrain violation or to recover damages, invalidation of any one of these covenants by judgement or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

In the presence of:

UNIVERSITY HEIGHTS, INC

James R. Myers
James R. Myers

Richard L. Williams
Richard L. Williams, President
Darrell Augsburger
Darrell Augsburger, Secretary

DEDICATION

University Heights, Inc., the owner of the land contained in the hereon plat, hereby adopts the said plat and dedicates the land contained within the streets to the use and benefit of the public forever. Utility easements are established as shown on the plat.

IN WITNESS WHEREOF, Richard L. Williams, and Darrell Augsburger, President and Secretary of University Heights, Inc., have hereunto signed their names this 10th day of January, 1975.

Witness:

UNIVERSITY HEIGHTS, INC.

Richard L. Williams
Richard L. Williams

Richard L. Williams
Richard L. Williams, President
Darrell Augsburger
Darrell Augsburger, Secretary

ACKNOWLEDGMENT

State of Ohio, Allen County, SS:
Before me, a Notary Public in and for said state and county, personally appeared Richard L. Williams and Darrell Augsburger, who acknowledged that they did sign the hereon plat of University Heights Subdivision and that the signing thereof was their free act and deed.

In witness whereof, I have set my hand and seal this 10th day of JANUARY 1975.
My Commission expires:

Commission Expires October 25, 1977

Madison L. Hall
Notary Public, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 14th day of January 1975.
Fee: \$ 3.50

Richard L. Ditto
Auditor of Allen County, Ohio By R.L.

COUNTY RECORDER'S CERTIFICATE

No. 320825
Filed for record in the Allen County, Ohio, Recorder's Office this 14 day of January, 1975, at 9:05 o'clock A. M. and recorded in Allen County, Ohio, Plat Book 13 on Page 157.

Fee: \$ 24.70

Bernice M. Stegner
Recorder of Allen County, Ohio

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City and Commission, approve and accept this plat this 30 day of December, 1974.

Harold J. Moore
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

COUNTY ENGINEER'S CERTIFICATE

Having checked the construction of the streets in this subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans thereof, and that they are in good repair, and this endorsement shall constitute acceptance of the streets for public use.

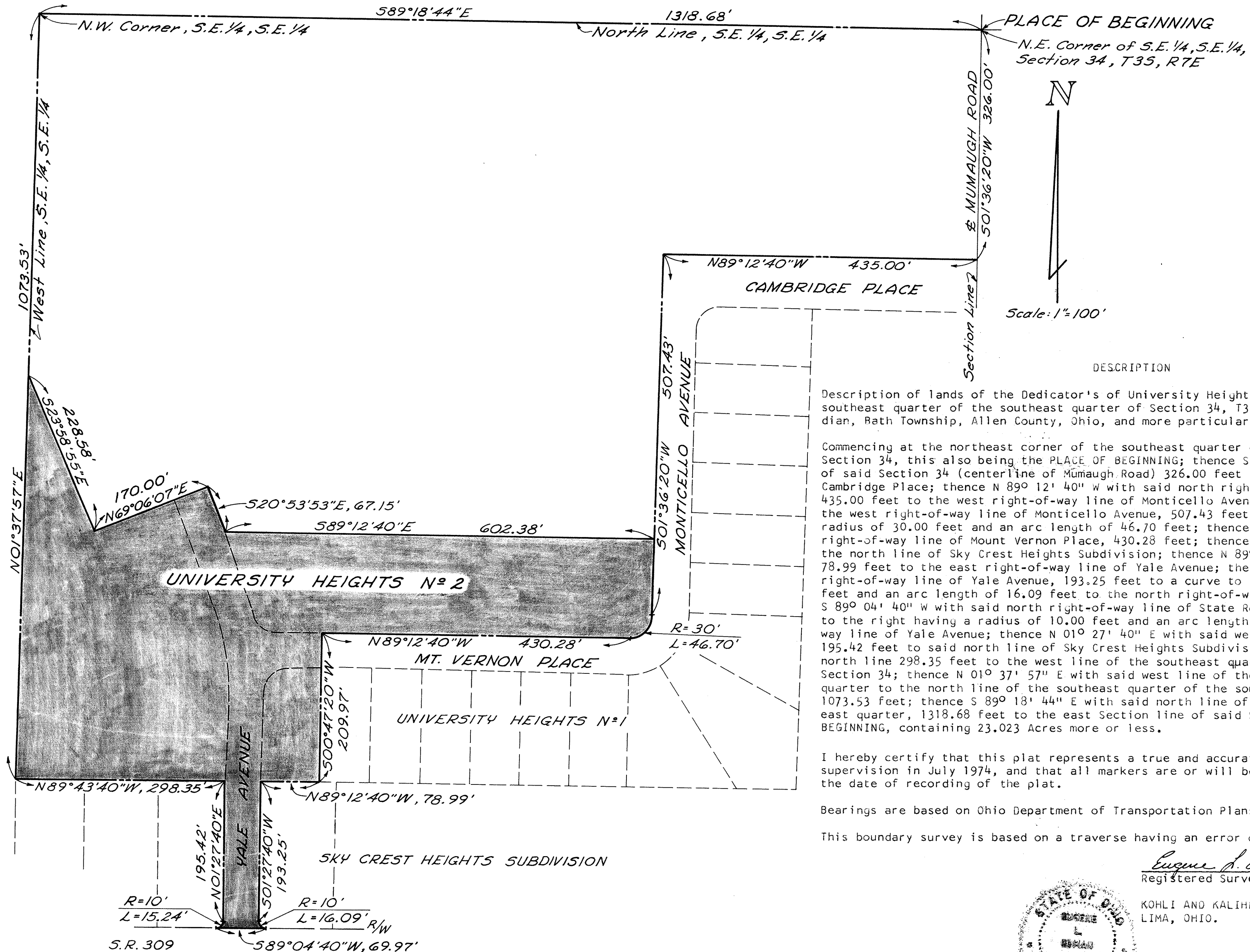
E. K. Kelli
County Engineer of Allen County, Ohio

RBA 1/14/75

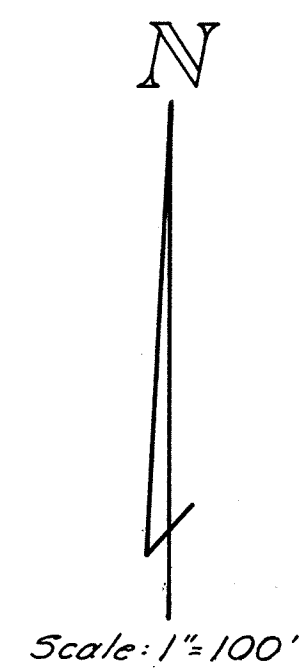
SURVEY OF DEDICATORS LAND
FOR

UNIVERSITY HEIGHTS No 2
S.E. 1/4, SECTION 34, T3S, R7E
BATH TOWNSHIP, ALLEN COUNTY, OHIO

SHEET 3 OF 3



PLACE OF BEGINNING
N.E. Corner of S.E. 1/4, S.E. 1/4,
Section 34, T3S, R7E



DESCRIPTION

Description of lands of the Dedicator's of University Heights No. 2 Subdivision, located in the southeast quarter of the southeast quarter of Section 34, T3S, R7E, of the First Principal Meridian, Bath Township, Allen County, Ohio, and more particularly described as follows:

Commencing at the northeast corner of the southeast quarter of the southeast quarter of said Section 34, this also being the PLACE OF BEGINNING; thence S 01° 36' 20" W with the east line of said Section 34 (centerline of Mumaugh Road) 326.00 feet to the north right-of-way line of Cambridge Place; thence N 89° 12' 40" W with said north right-of-way line of Cambridge Place, 435.00 feet to the west right-of-way line of Monticello Avenue; thence S 01° 36' 20" W, with the west right-of-way line of Monticello Avenue, 507.43 feet to a curve to the right having a radius of 30.00 feet and an arc length of 46.70 feet; thence N 89° 12' 40" W with the north right-of-way line of Mount Vernon Place, 430.28 feet; thence S 00° 47' 20" W, 209.97 feet to the north line of Sky Crest Heights Subdivision; thence N 89° 12' 40" W with said north line, 78.99 feet to the east right-of-way line of Yale Avenue; thence S 01° 27' 40" W with said east right-of-way line of Yale Avenue, 193.25 feet to a curve to the left having a radius of 10.00 feet and an arc length of 16.09 feet to the north right-of-way line of State Route 309; thence S 89° 04' 40" W with said north right-of-way line of State Route 309, 69.97 feet to a curve back to the right having a radius of 10.00 feet and an arc length of 15.24 feet to the west right-of-way line of Yale Avenue; thence N 01° 27' 40" E with said west right-of-way line of Yale Avenue, 195.42 feet to said north line of Sky Crest Heights Subdivision; thence N 89° 43' 40" W with said north line 298.35 feet to the west line of the southeast quarter of the southeast quarter of said Section 34; thence N 01° 37' 57" E with said west line of the southeast quarter of the southeast quarter to the north line of the southeast quarter of the southeast quarter of said Section 34, 1073.53 feet; thence S 89° 18' 44" E with said north line of the southeast quarter of the southeast quarter, 1318.68 feet to the east Section line of said Section 34, also being the PLACE OF BEGINNING, containing 23.023 Acres more or less.

I hereby certify that this plat represents a true and accurate survey made by me or under my supervision in July 1974, and that all markers are or will be in place by six (6) months from the date of recording of the plat.

Bearings are based on Ohio Department of Transportation Plans for State Route 30-S.

This boundary survey is based on a traverse having an error of closure of one foot in 51,184 feet.

Eugene A. Conman
Registered Surveyor No. 6017



KOHLI AND KALIHER ASSOCIATES, LIMITED
LIMA, OHIO.

DATE 1/14/75

DRAWINGS
 AND
 CERTIFICATION
 OCTOBER 29, 1974

The set of drawings attached hereto; consisting of a plot plan of Shawnee Woods Condominium Parcel Two, eight pages of floor plans for buildings numbered 6, 7, 8, and 10, and four pages of typical elevations of said buildings; show, insofar as is graphically possible: (i) the particulars of the buildings in the condominium, including but not limited to, the layout, location, designation, and dimensions of each unit therein; and (ii) the layout, location, and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned, being, respectively, a registered surveyor and a licensed professional engineer, hereby certify that said drawings accurately show the buildings as constructed.

David H. Wilson
 DAVID H. WILSON, Registered Surveyor No. S-5831

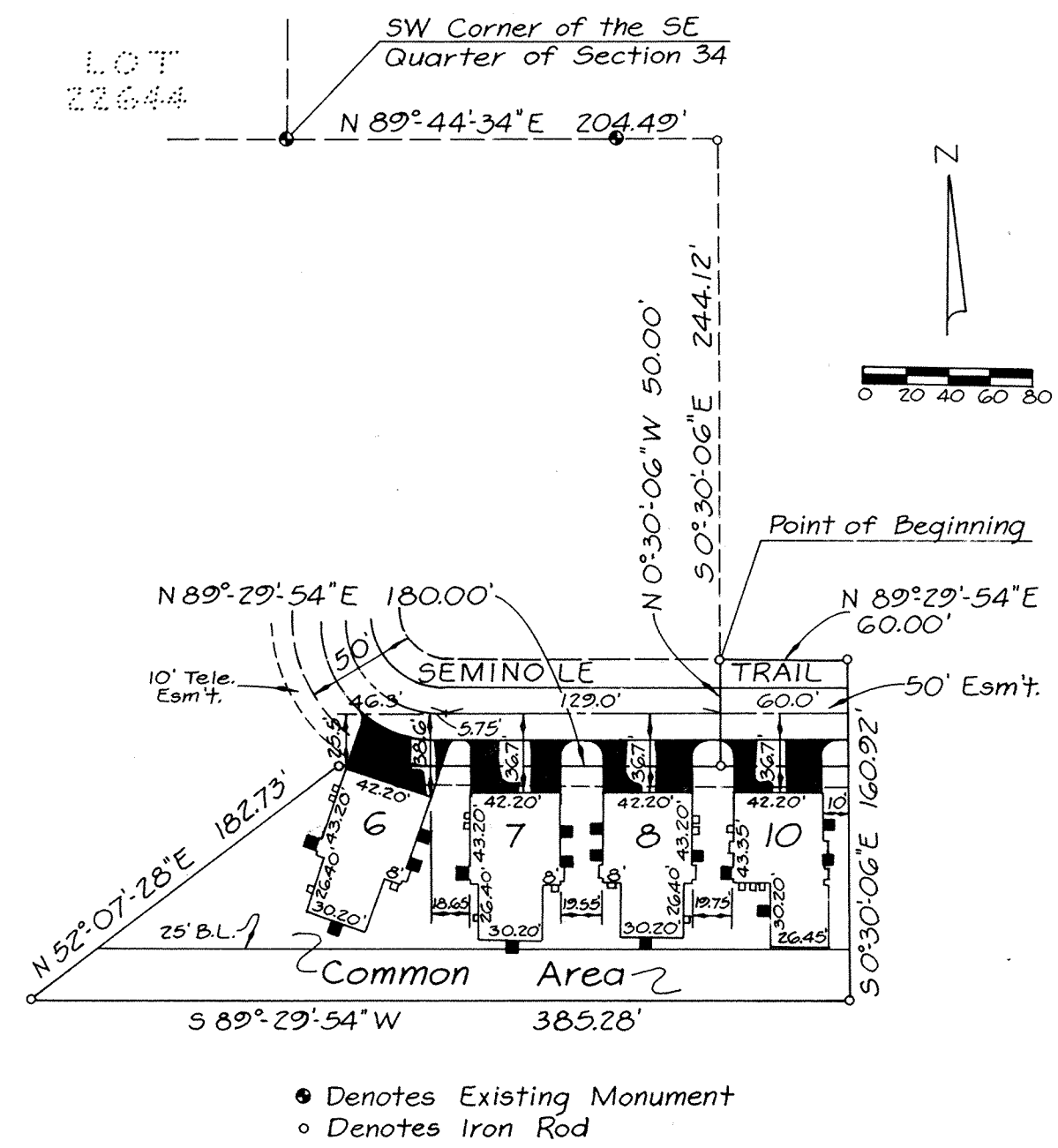
Claude M. Brown, Jr.
 CLAUDE M. BROWN, JR., Registered Engineer No. 24372

SHAWNEE WOODS
 CONDOMINIUM
 PARCEL TWO

Part of the North 1/2 of Section 3, all in Town 4 South, Range 6 East, in Shawnee Township, Allen County, Ohio bounded and described as follows:

Commencing at an existing monument that is the SE corner of Lot 22644 in Westerly Park Addition which is also the SW corner of the SE Quarter of Section 34 in American Township; thence N 89° 44' 34" E through an existing monument a distance of 204.49 feet to a point; thence S 0° 30' 06" E a distance of 244.12 feet to a Point of BEGINNING; thence N 89° 29' 54" E a distance of 60.00 feet to a point; thence S 0° 30' 06" E a distance of 160.92 feet to a point; thence S 89° 29' 54" W a distance of 385.28 feet to a point; thence N 52° 07' 28" E a distance of 182.73 feet to a point; thence N 89° 29' 54" E a distance of 180.00 feet to a point; thence N 0° 30' 06" W a distance of 50.00 feet to the Point of BEGINNING containing 0.86 acres of land more or less and subject to legal highways and all easements of record.

SHAWNEE WOODS CONDOMINIUM
 PARCEL TWO



Typical Limited Common Area ■

BLDG. NO.	FIN. FLR. ELEV.
6	62.0
7	62.1
8	62.3
10	62.1

*For First Declaration of
 Amendment & Amendment of
 Declaration see Deed Vol. 561
 Page 410.*

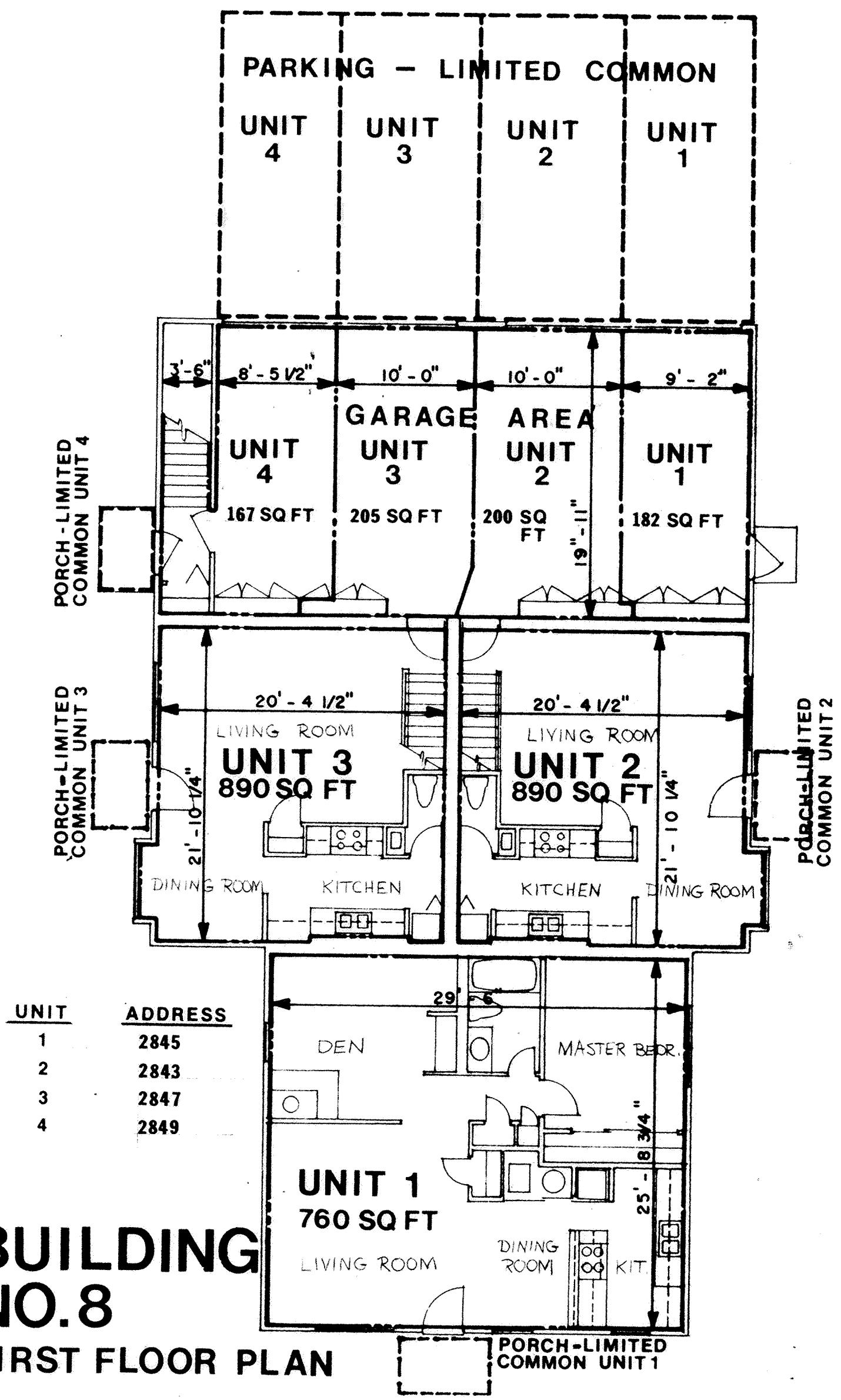
322117

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 9:00 O'CLOCK P.M.

MAR 6 1975

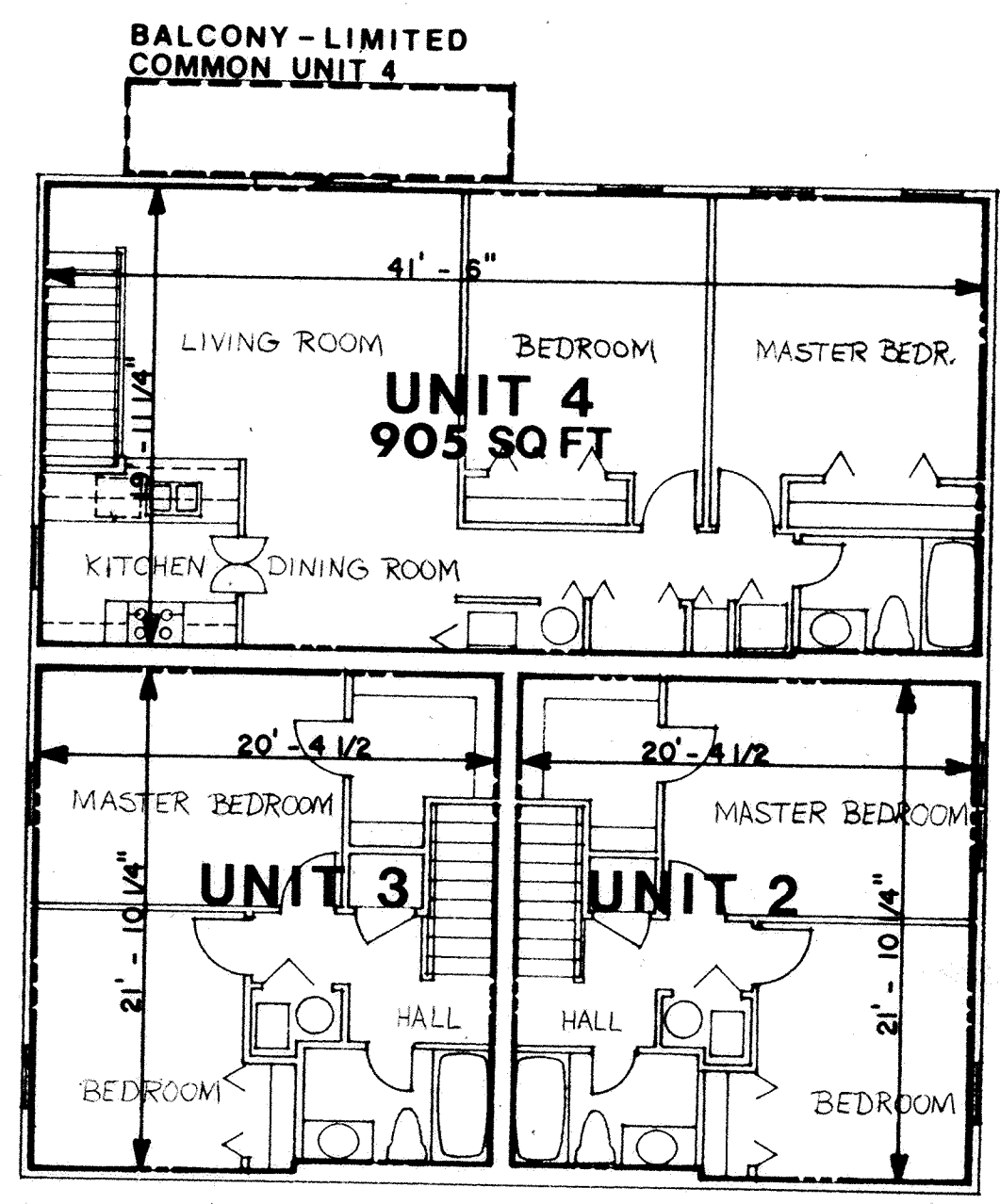
RECORDED *Mar 6 1975*
 PLAT VOL. 13 PAGE 132
Bernice Montague
 RECORDER
 Fee 6640

Approved For Transfer
 Allen County Tax Map
 Office: *JRR* Date: *3-6-1975*



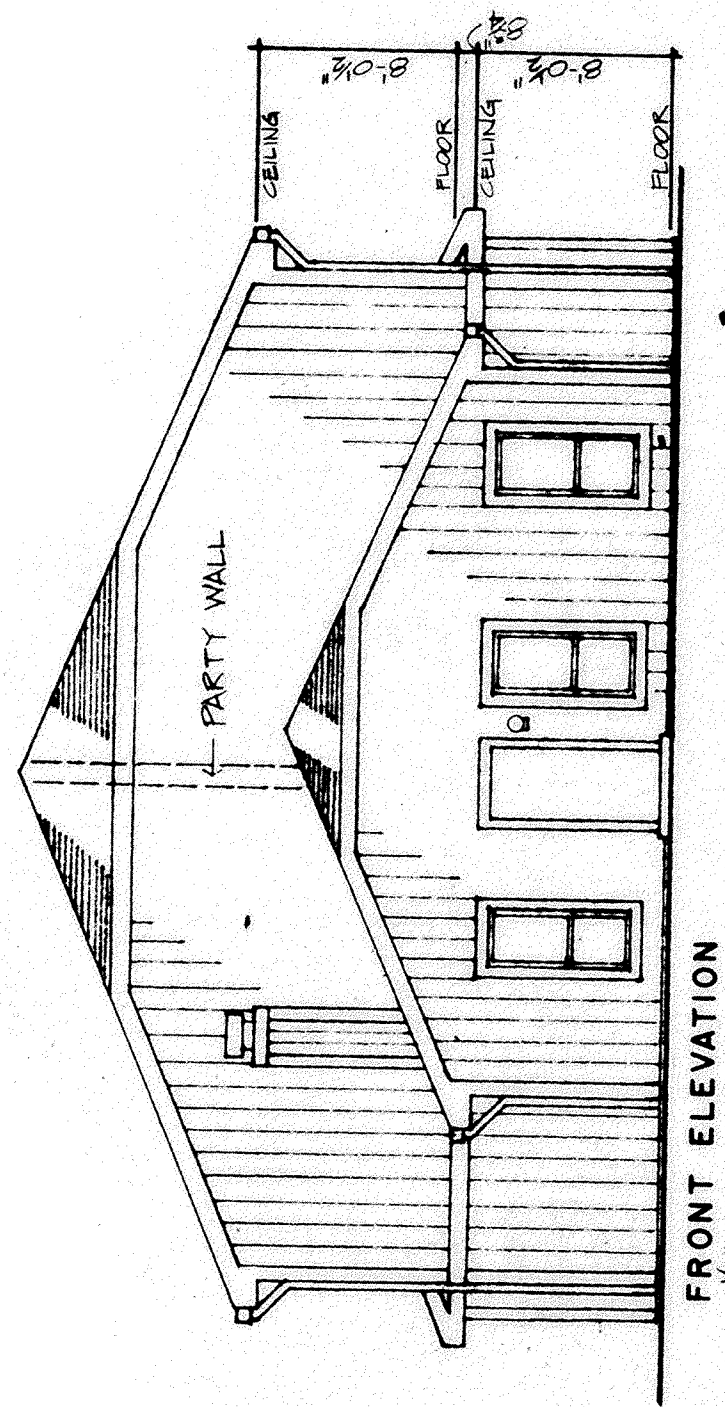
SHT 1 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



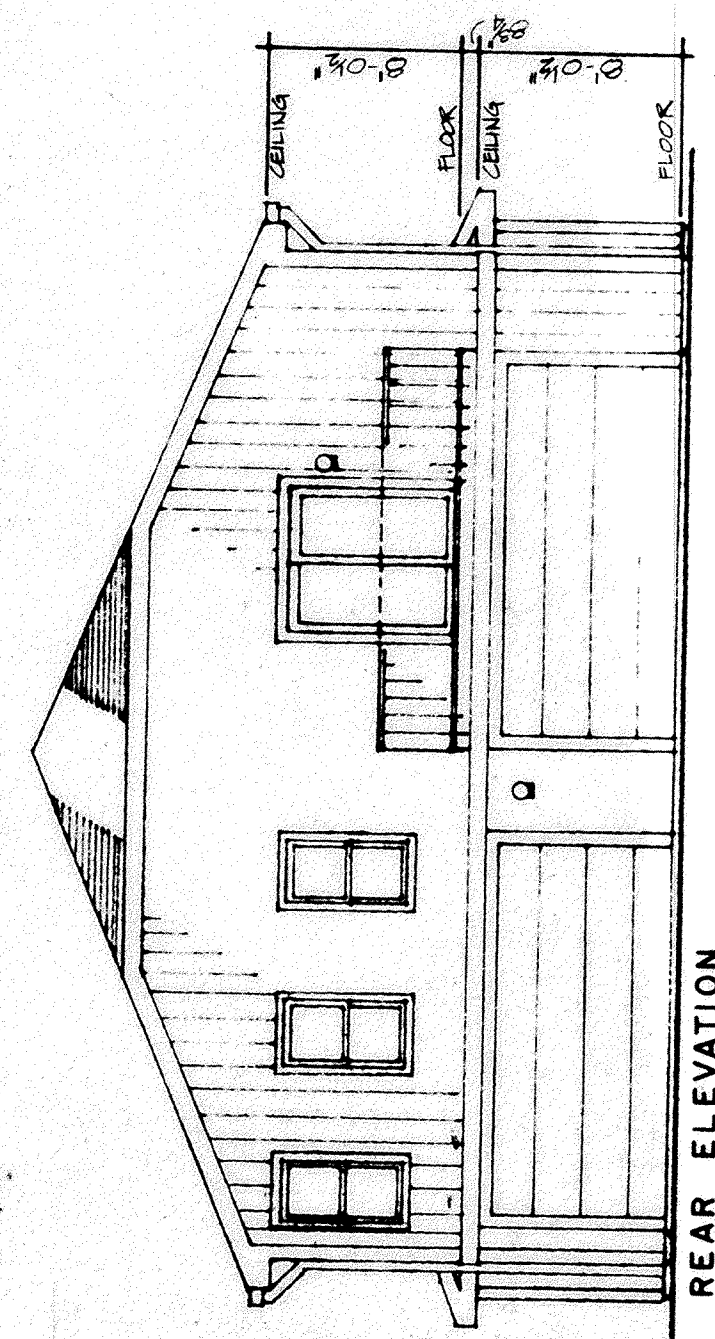
SHT 2 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS

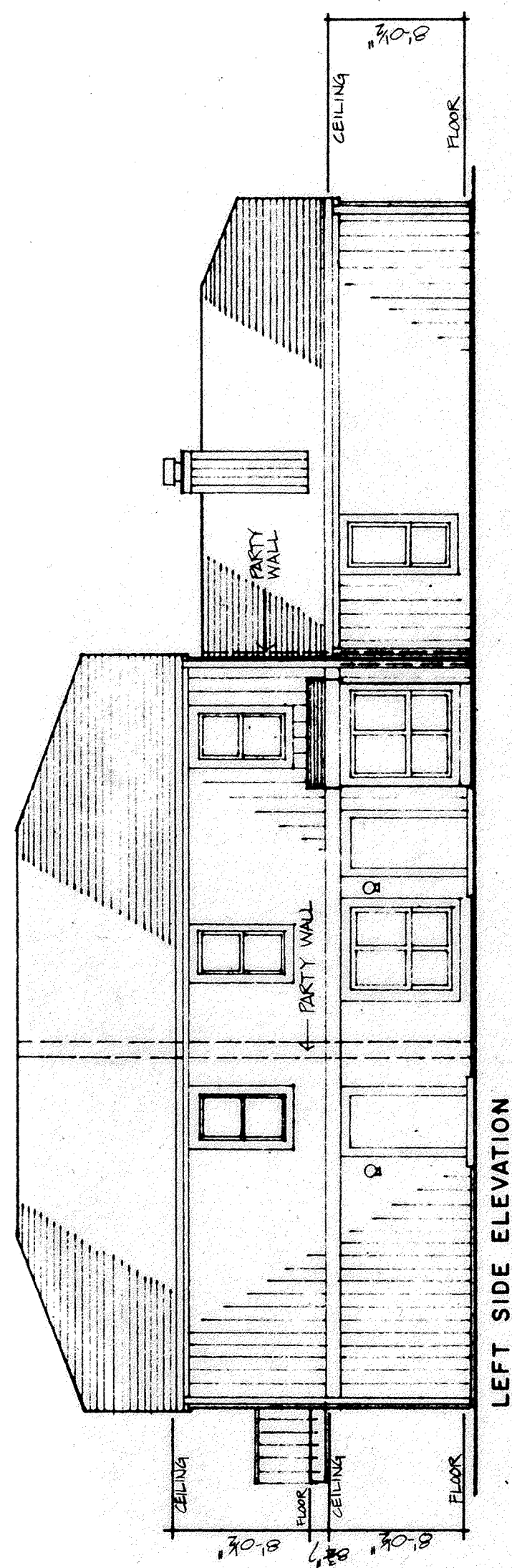


FRONT ELEVATION
1/8" = 1'-0"

TYPICAL OF BUILDINGS:
 1/8" (MIRROR IMAGE), 1/8" (MIRROR IMAGE)
 EXTERIOR MATERIALS AND ROOF
 LINE MAY DIFFER FROM
 BUILDING TO BUILDING

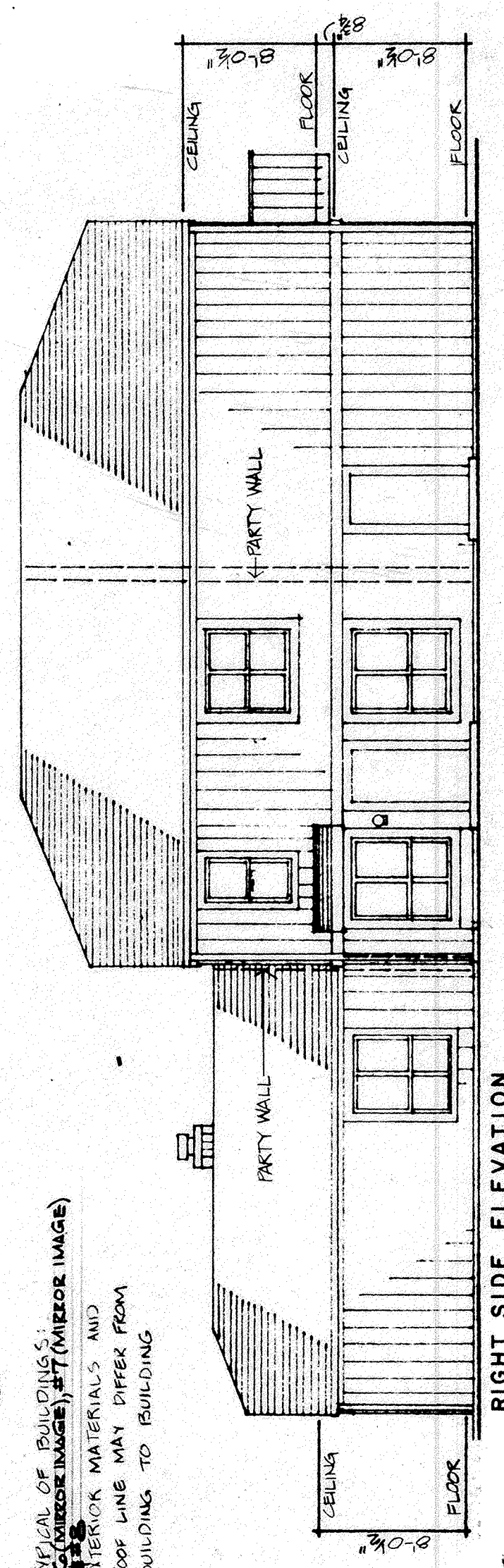


REAR ELEVATION
1/8" = 1'-0"

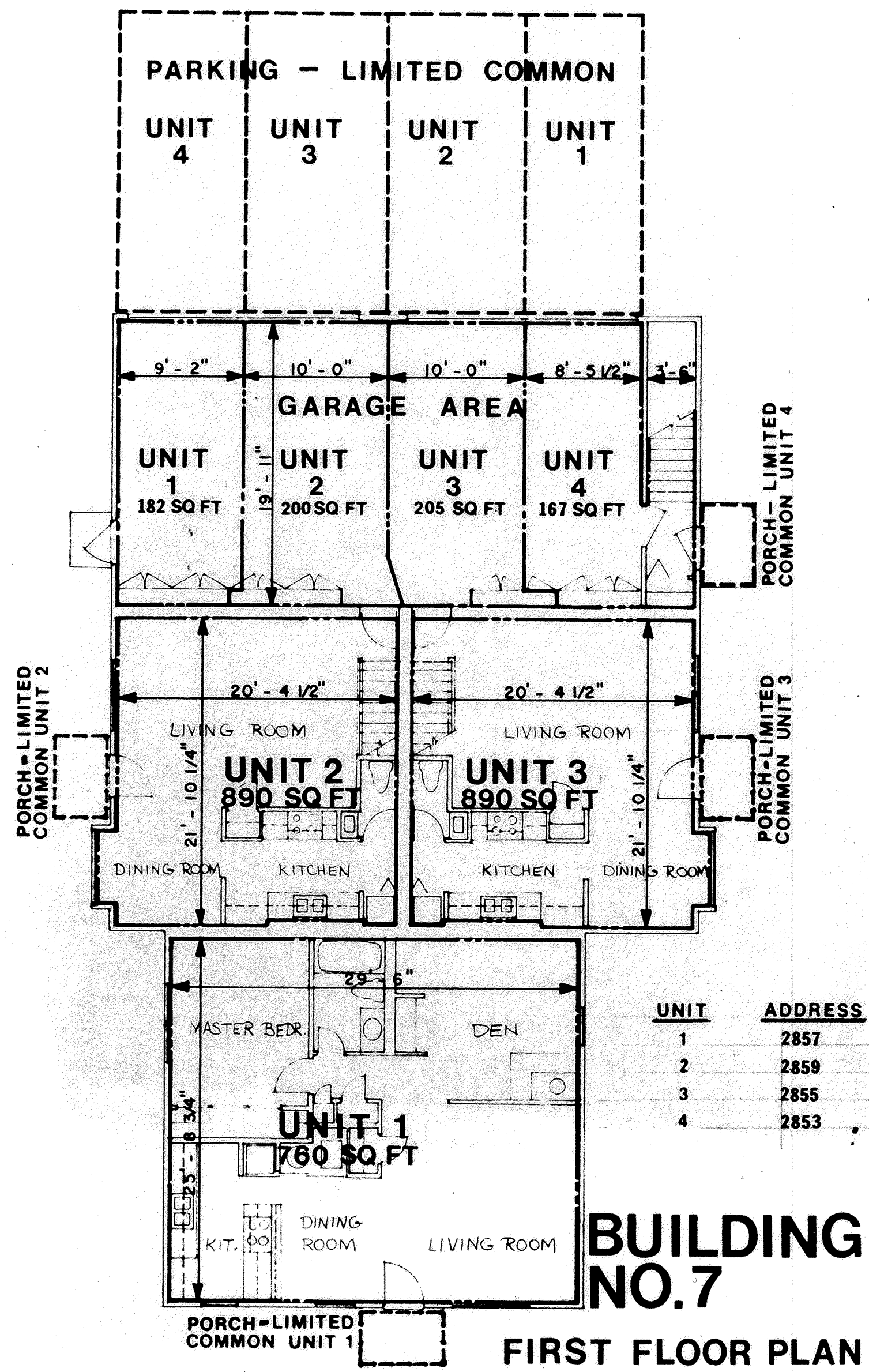


LEFT SIDE ELEVATION
1/8" = 1'-0"

TYPICAL OF BUILDINGS:
 1/8" (MIRROR IMAGE), 1/8" (MIRROR IMAGE)
 EXTERIOR MATERIALS AND
 ROOF LINE MAY DIFFER FROM
 BUILDING TO BUILDING

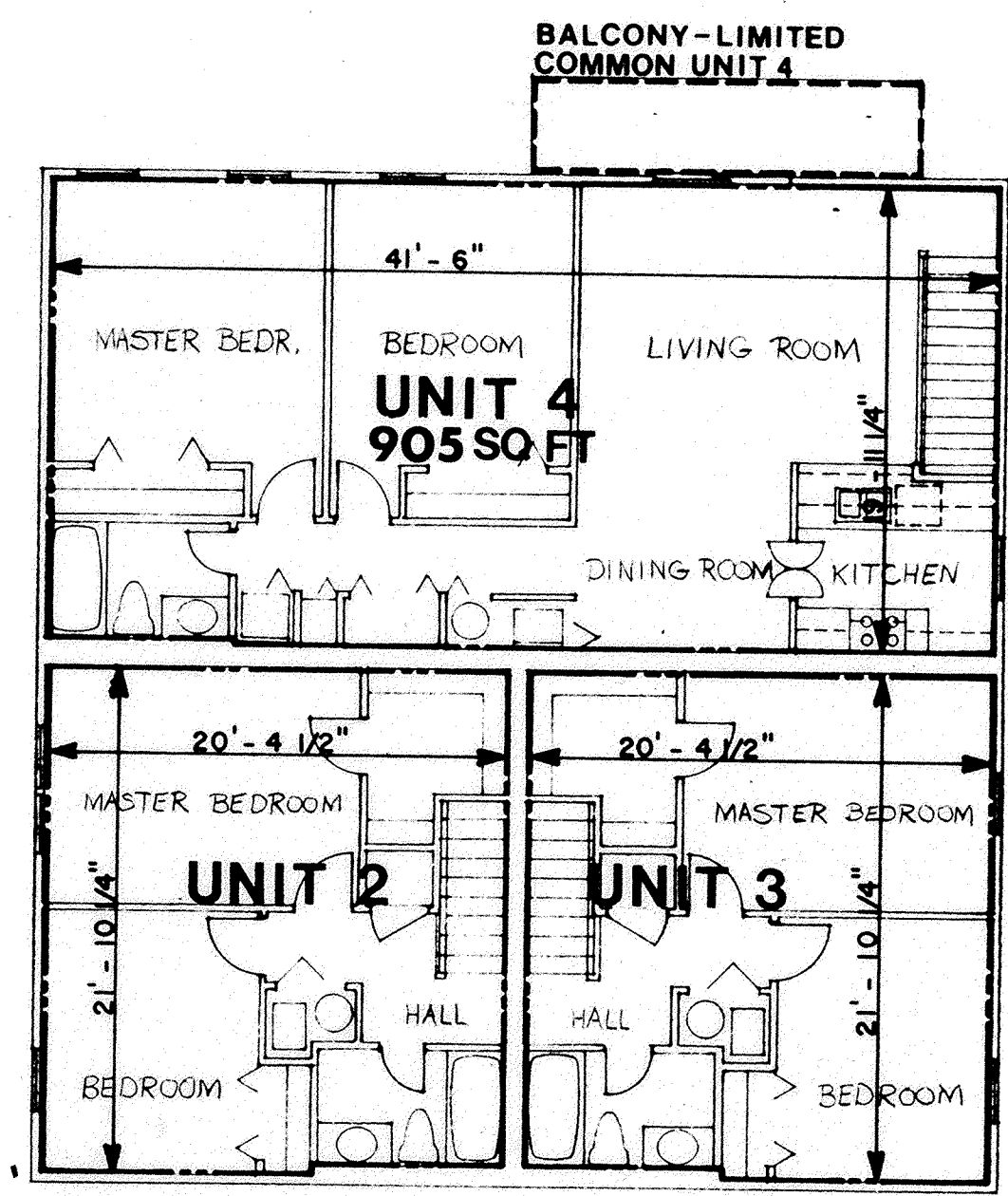


RIGHT SIDE ELEVATION
1/8" = 1'-0"



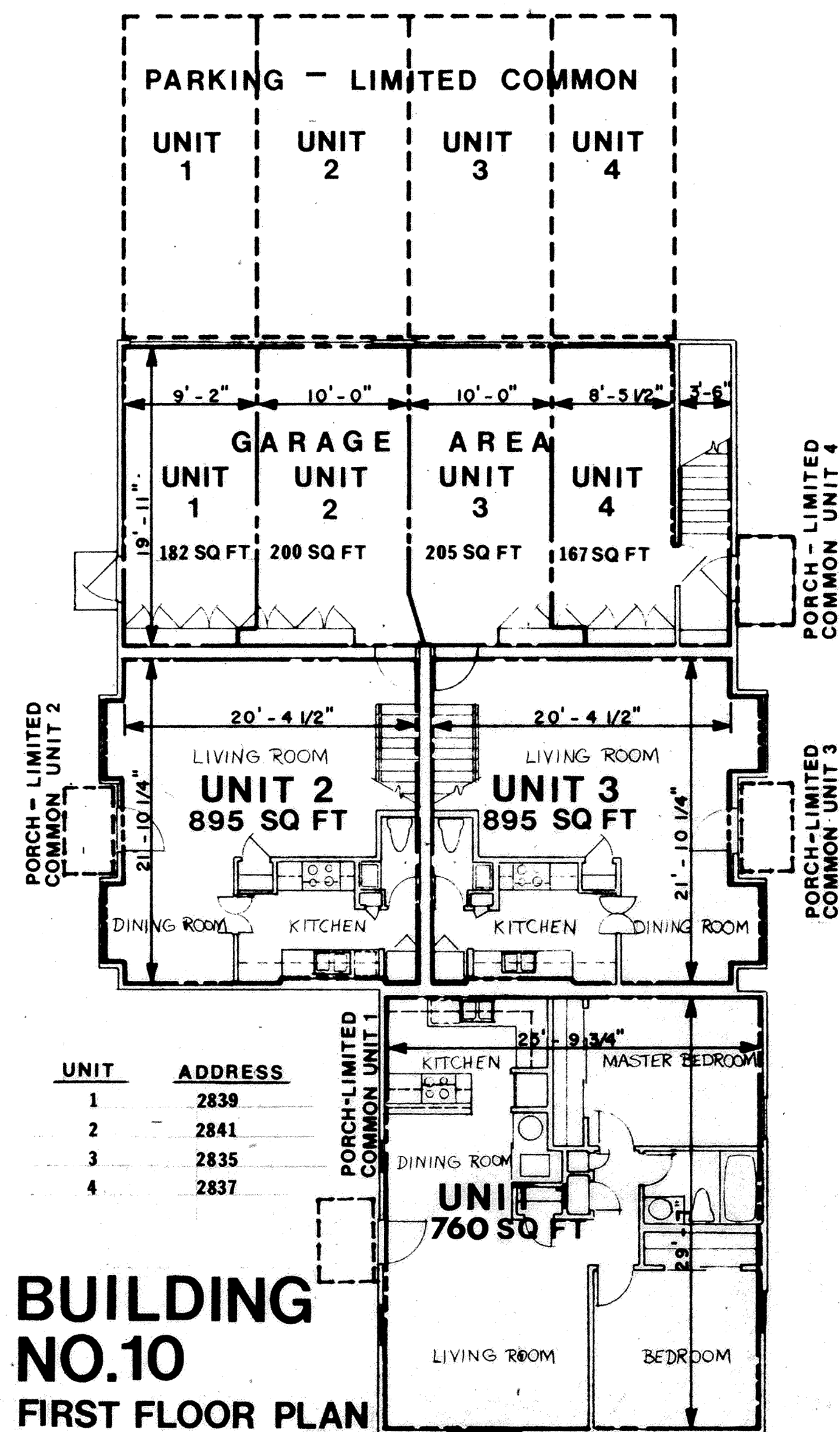
SHT 1 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



SHT 2 of 2

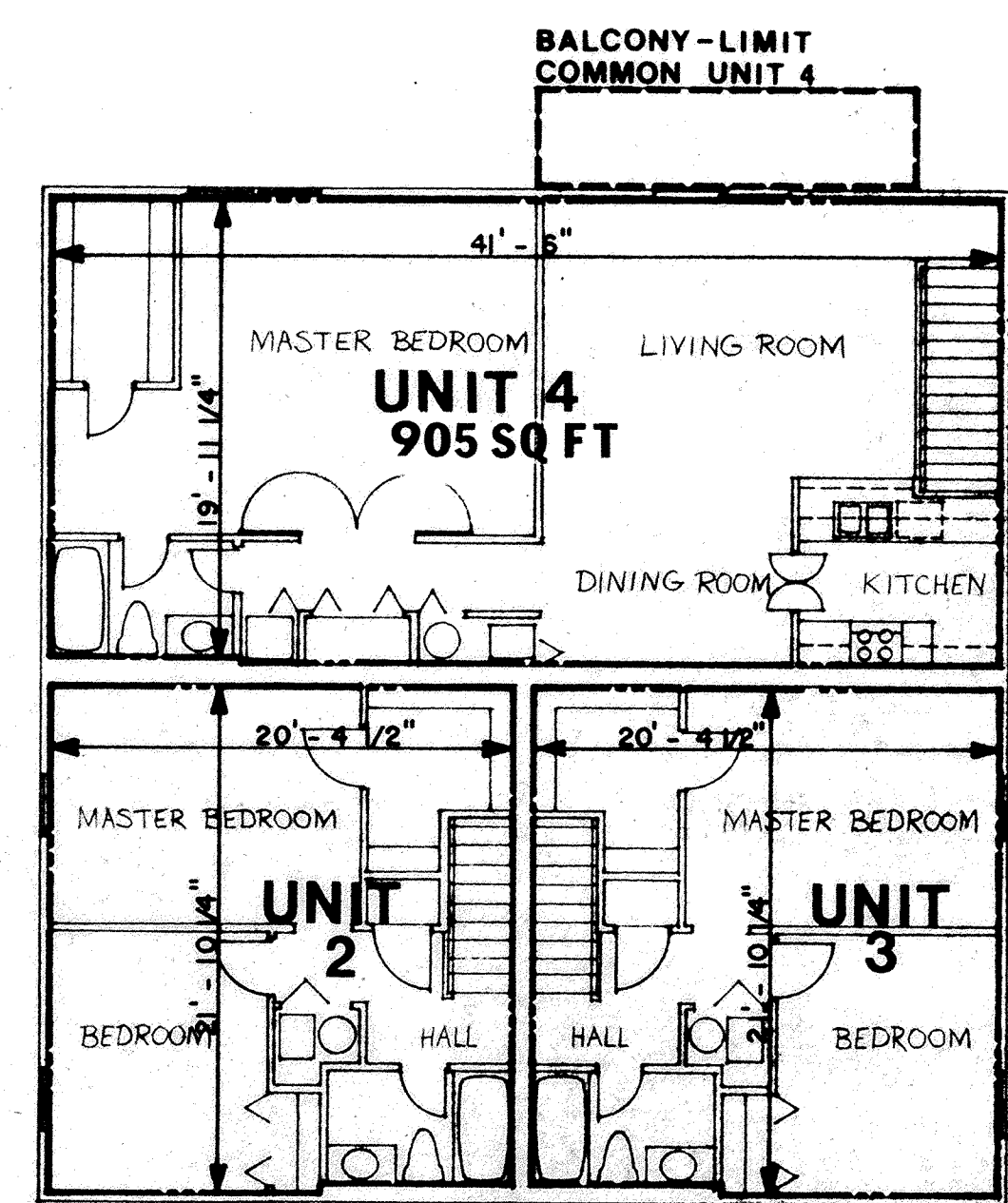
SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



BUILDING NO.10
FIRST FLOOR PLAN

SHT.1 of 2

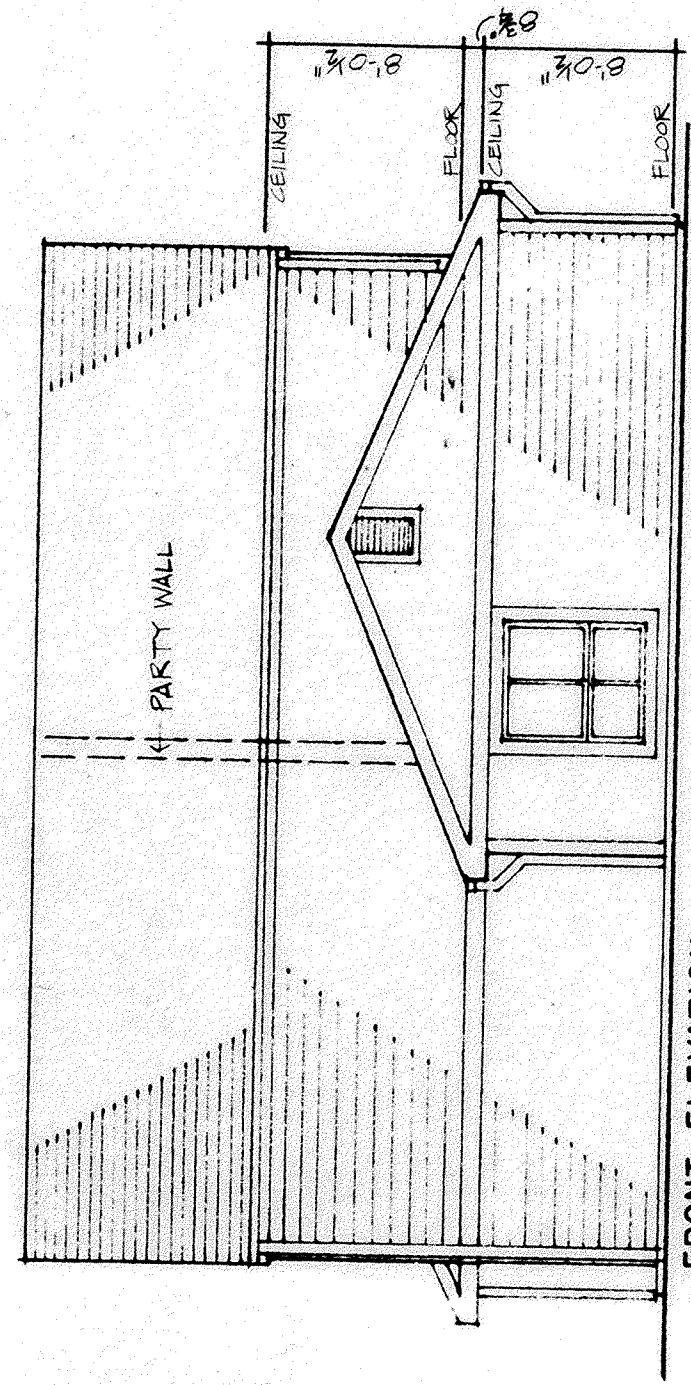
SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



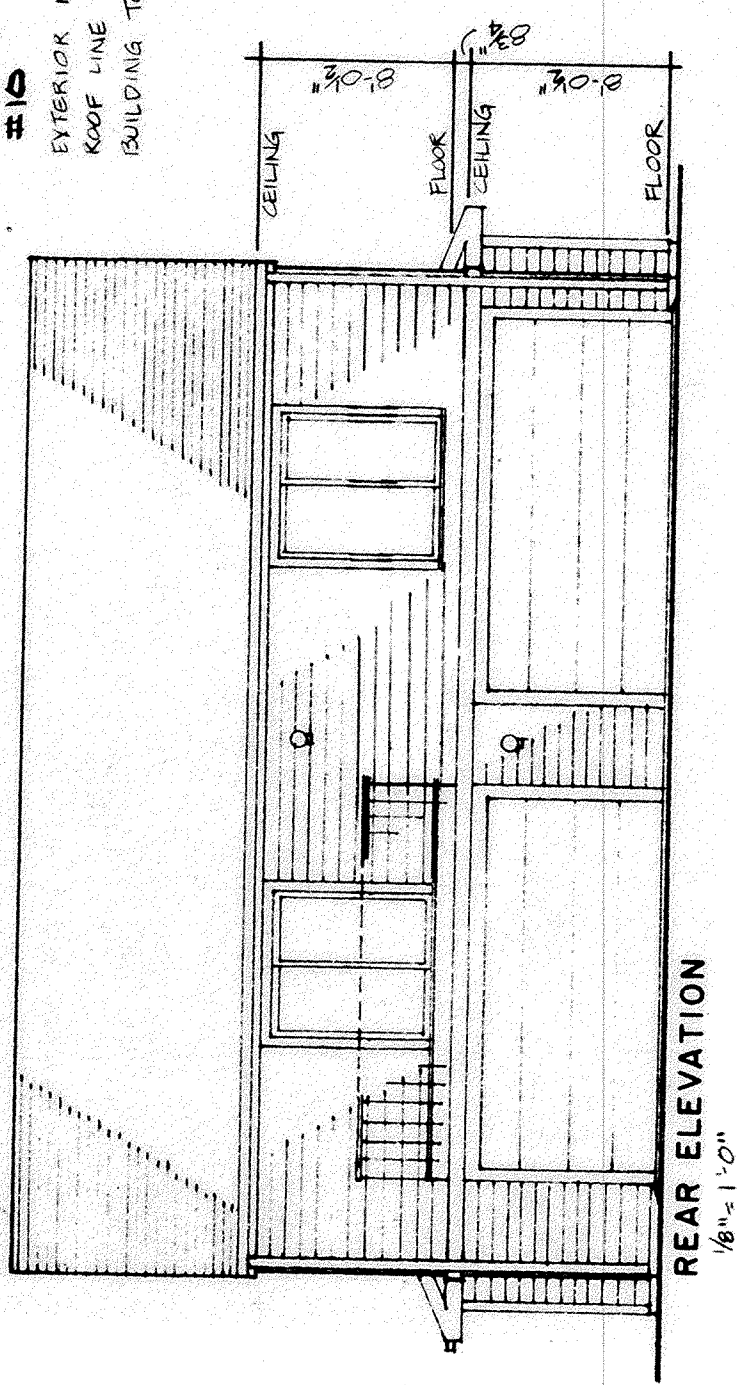
BUILDING NO.10
SECOND FLOOR PLAN

SHT. 2 of 2

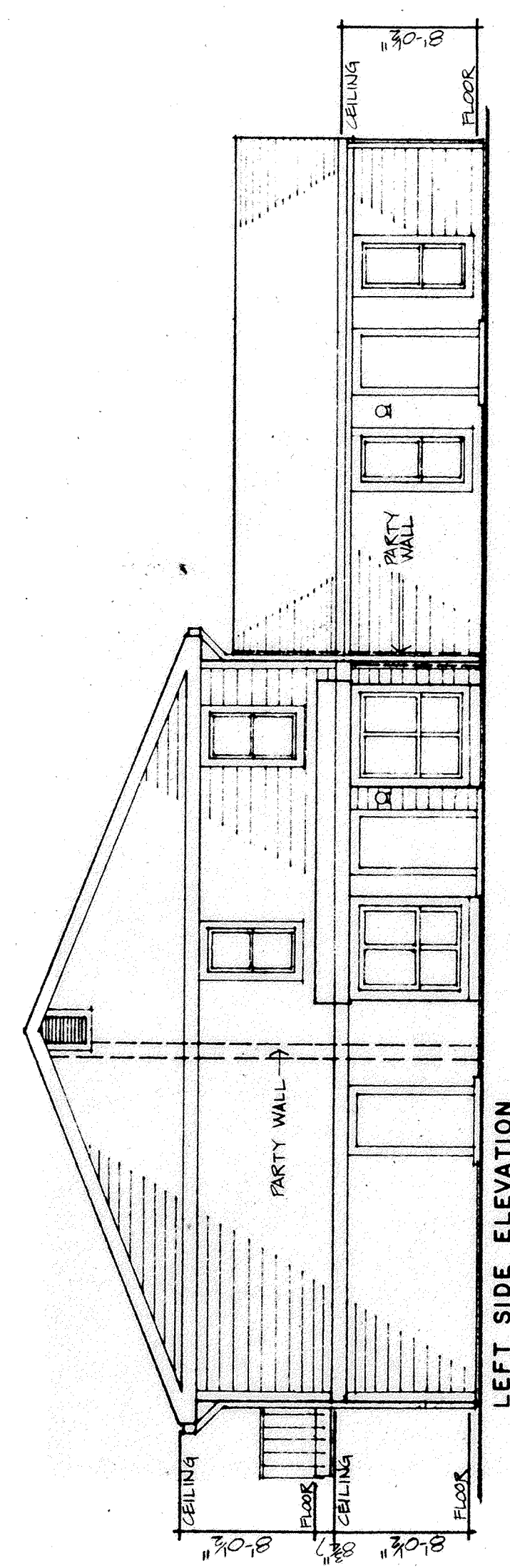
SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



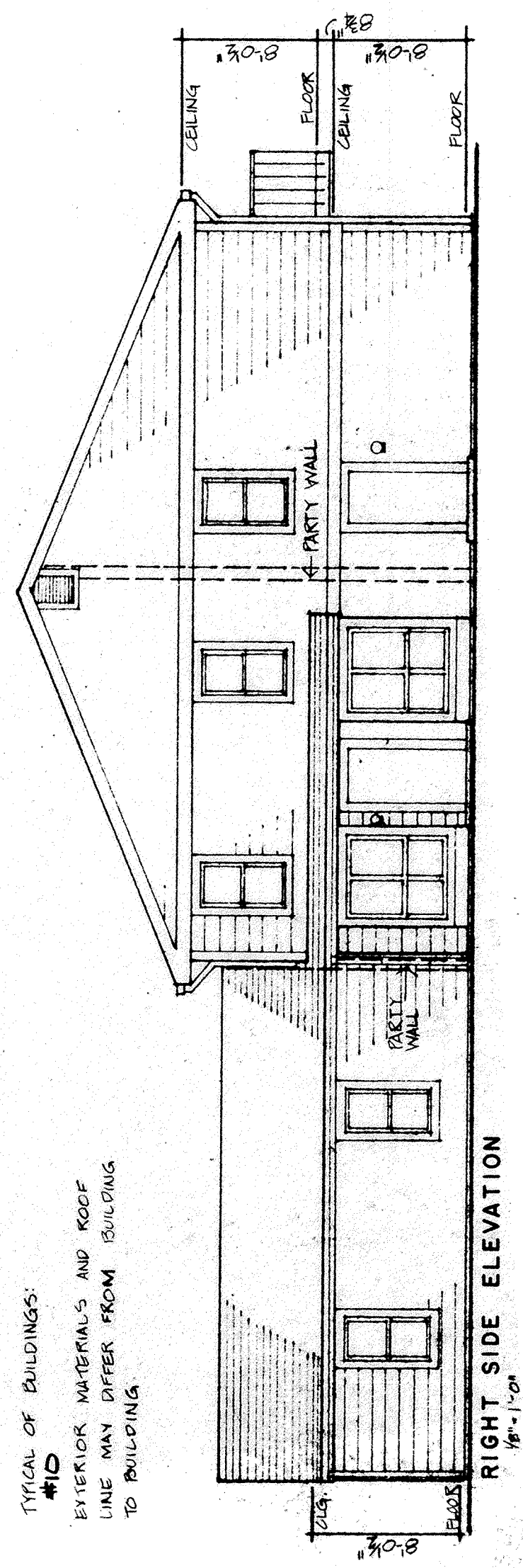
TYPICAL OF BUILDINGS:
#10
EXTERIOR MATERIALS AND
ROOF LINE MAY DIFFER FROM
BUILDING TO BUILDING.



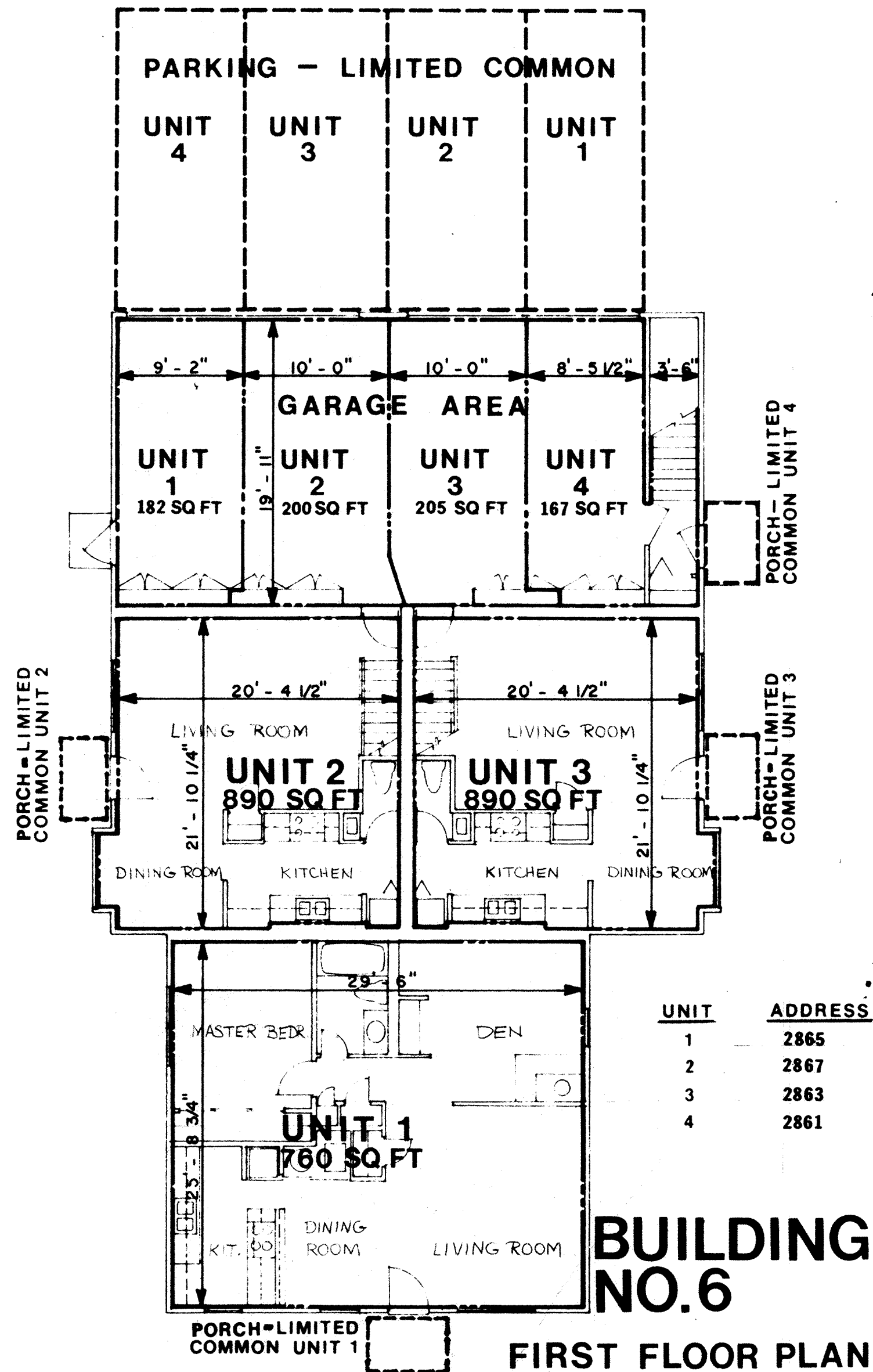
SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



TYPICAL OF BUILDINGS:
#10
EXTERIOR MATERIALS AND ROOF
LINE MAY DIFFER FROM BUILDING
TO BUILDING.

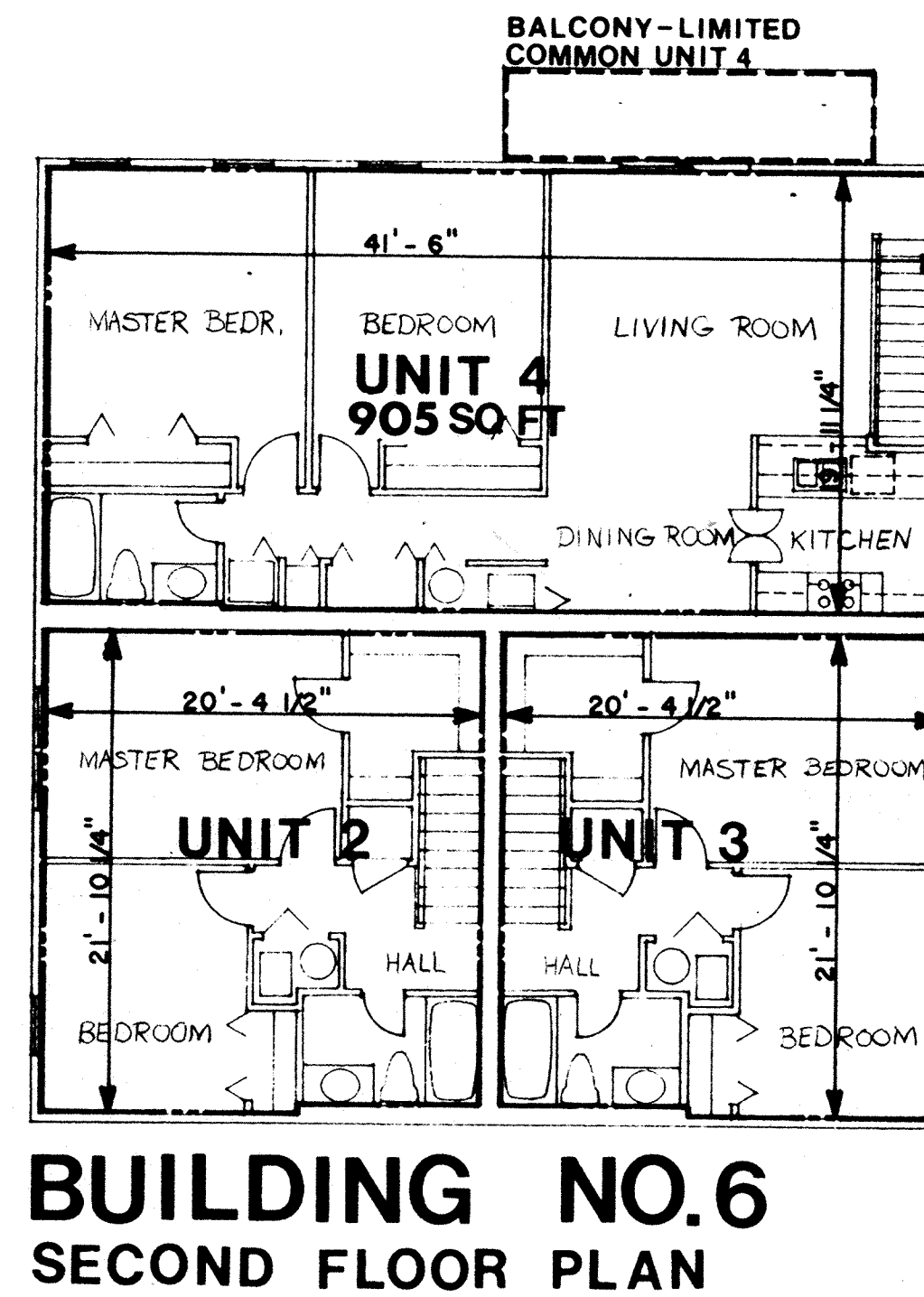


SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



SHT 1 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS



SHT 2 of 2

SHAWNEE WOODS CONDOMINIUM LIMA, OHIO
ESCHLIMAN ASSOCIATES ARCHITECTS PLANNERS

139

PLAT OF A SURVEY OF DEDICATORS LAND-for-SHAWNEE WOODS PARCEL TWO

IN

The North 1/2 of Section 3, Town 4 South - Range 6 East, SHAWNEE TOWNSHIP, ALLEN COUNTY, OHIO

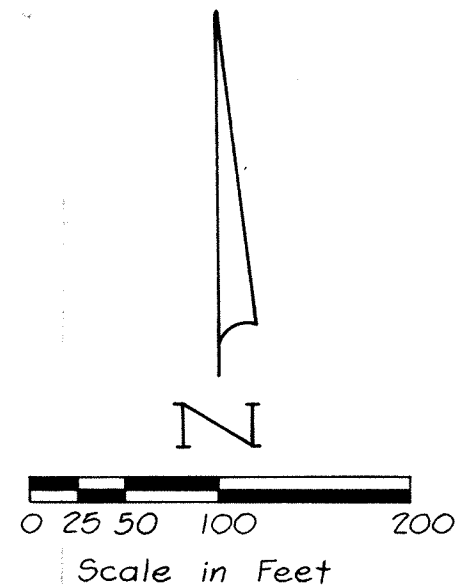
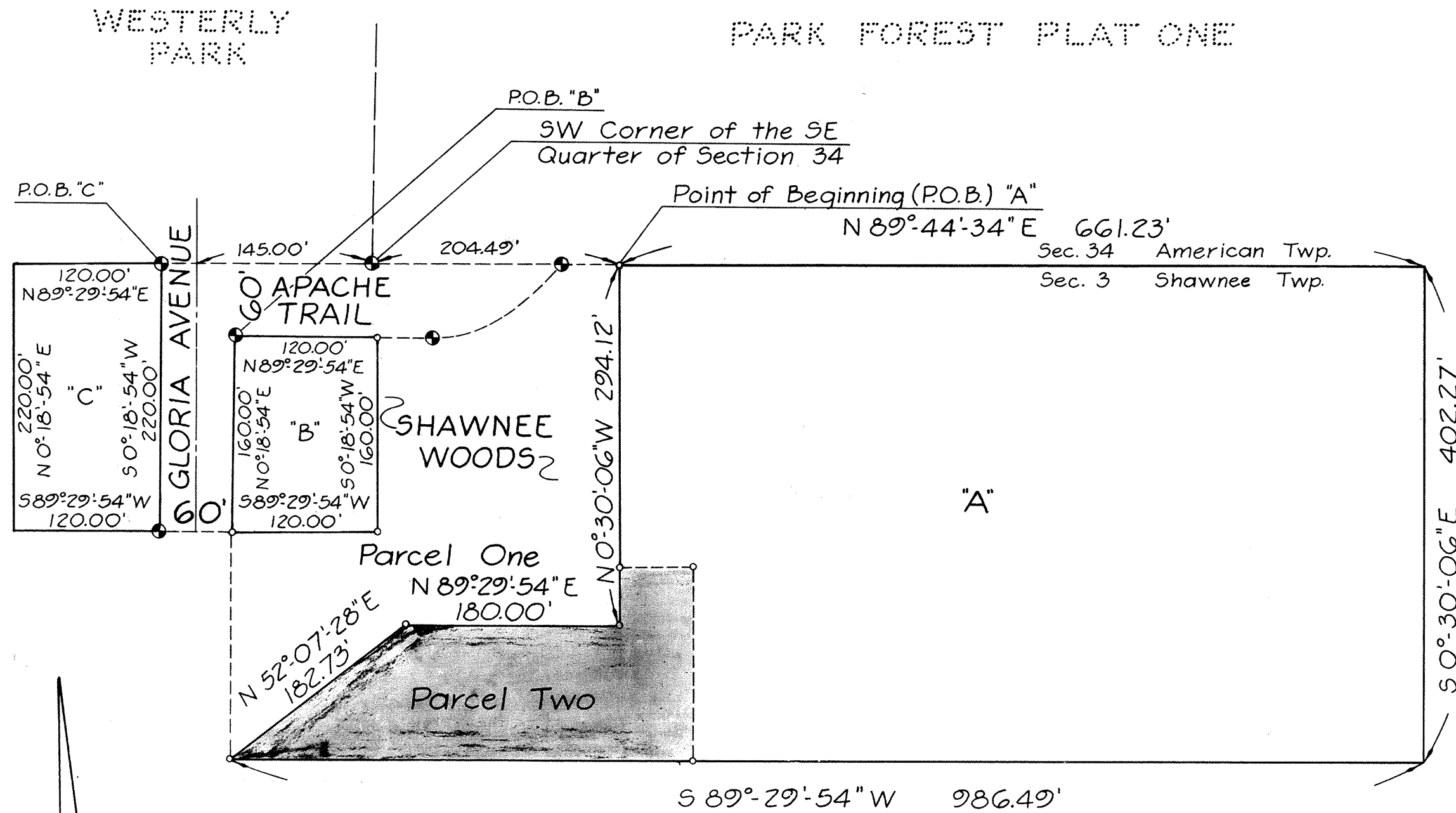
CERTIFICATION

I hereby certify that in January, 1975, I surveyed the following described land in the North 1/2 of Section 3, T4S - R6E, Shawnee Township, Allen County, Ohio, and that this plat was prepared in accordance with Senate Bill # 347 effective September 30, 1974.

Starting at an existing concrete monument on the North line of said section and N 89°-29'-54"E a distance of 145.00 feet from the centerline of Gloria Avenue; thence N 89°-44'-34"E along the North line of said section a distance of 204.49 feet to the point of BEGINNING "A" thence N 89°-44'-34"E along the North line of said section a distance of 661.23 feet to a point; thence S 0°-30'-06"E a distance of 402.27 feet to a point; thence S 89°-29'-54"W a distance of 986.49 feet to a point; thence N 52°-07'-28"E a distance of 182.73 feet to a point; thence N 89°-29'-54"E a distance of 180.00 feet to a point; thence N 0°-30'-06"W a distance of 294.12 feet to the point of BEGINNING "A".

Also starting at a point on the intersection of the North line of said section and the centerline of Gloria Avenue; thence S 0°-18'-54"W a distance of 60.00 feet to a point; thence N 89°-29'-54"E a distance of 30.00 feet to the point of BEGINNING "B" thence N 89°-29'-54"E a distance of 120.00 feet to a point; thence S 0°-18'-54"W a distance of 160.00 feet to a point; thence S 89°-29'-54"W a distance of 120.00 feet to a point; thence N 0°-18'-54"E a distance of 160.00 feet to the point of BEGINNING "B".

Also starting at a point on the intersection of the North line of said section and the centerline of Gloria Avenue; thence S 89°-29'-54"W along the North line of said section a distance of 30.00 feet to the point of BEGINNING "C" thence S 0°-18'-54"W a distance of 220.00 feet to a point; thence S 89°-29'-54"W a distance of 120.00 feet to a point; thence N 0°-18'-54"E a distance of 220.00 feet to a point; thence N 89°-29'-54"E a distance of 120.00 feet to the point of BEGINNING "C", containing 7.82 acres in all more or less, subject to all roadways and easements of record.



• Denotes Existing Monuments

Claude M. Brown, Jr.
Claude M. Brown, Jr.
Reg. Surveyor #5123

1/8/75
Date

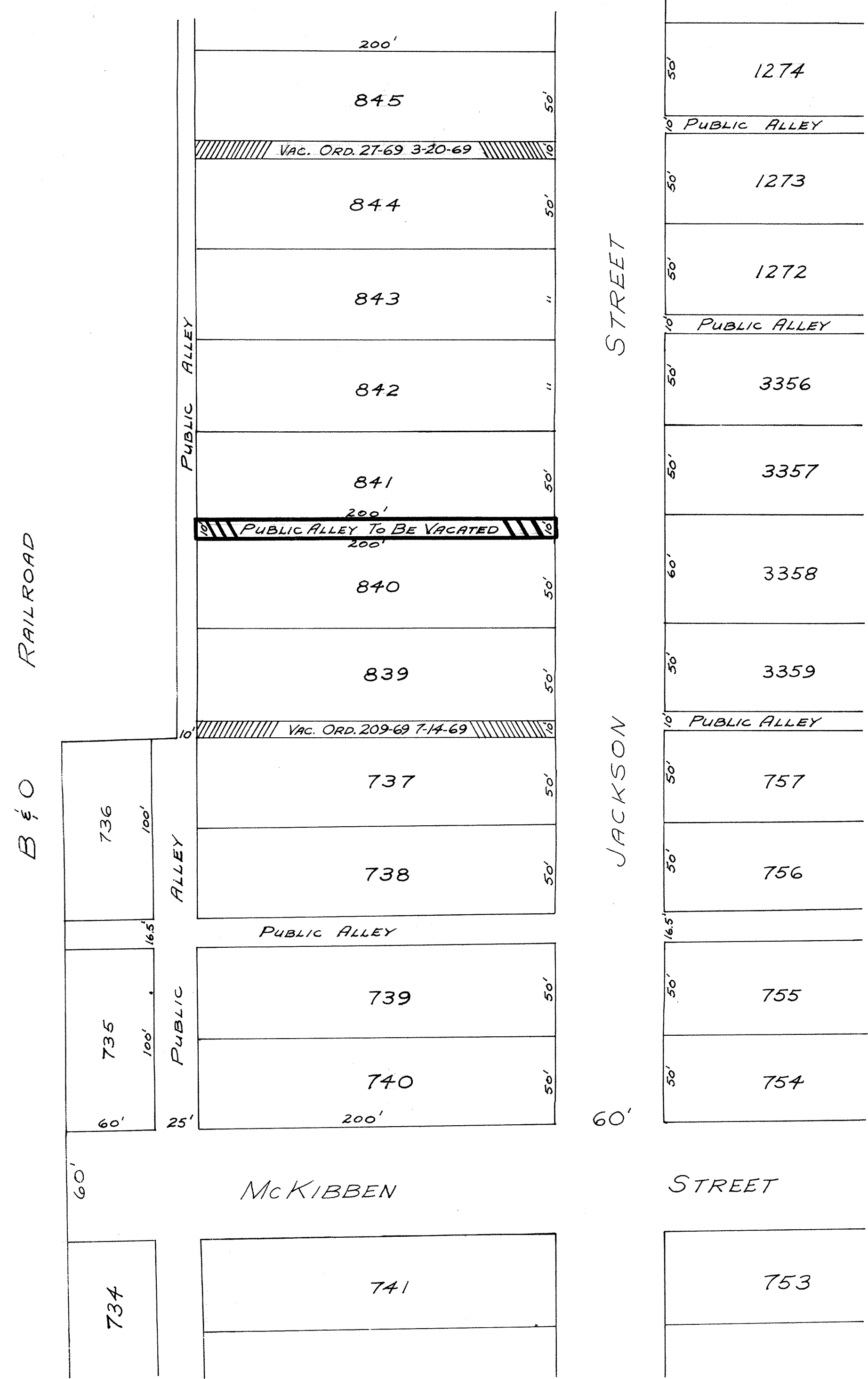
Prepared by:
CLAUDE BROWN & ASSOC.
CONSULTING ENGINEERS
TOLEDO, OHIO

322117

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 3:00 O-CLOCK
MAR 6 1975

RECORDED Mar 6 1975
PART VOL 13 PAGE 132
Bernice Montague
Fee \$6.40

VACATION PLAT OF A 10' ALLEY BETWEEN B & O RAILROAD AND JACKSON STREET IN McCULLOUGH'S 2ND ADDITION TO CITY OF LIMA

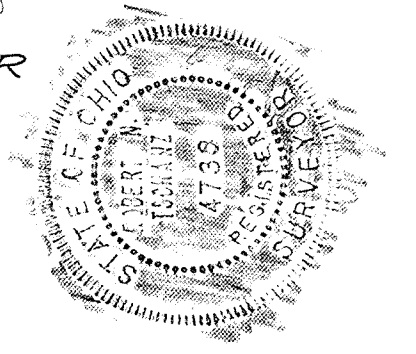


LEGAL DESCRIPTION

BEING A TEN (10) FOOT ALLEY LYING NORTH OF MCKIBBEN STREET BETWEEN JACKSON STREET AND THE B & O RAILROAD AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT NUMBER 841 IN McCULLOUGH'S ADDITION TO THE CITY OF LIMA, OHIO; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT TWO HUNDRED (200) FEET TO THE SOUTHEAST CORNER OF SAID LOT; THENCE SOUTH TEN (10) FEET TO THE NORTHEAST CORNER OF LOT NUMBER 840 IN SAID ADDITION; THENCE WEST ALONG THE NORTH LINE OF SAID LOT TWO HUNDRED (200) FEET TO THE NORTHWEST CORNER OF SAID LOT; THENCE NORTH TEN (10) FEET TO THE PLACE OF BEGINNING.

Robert N. Tschanz
ROBERT N. TSCHANZ
REGISTERED SURVEYOR
OHIO # 4738

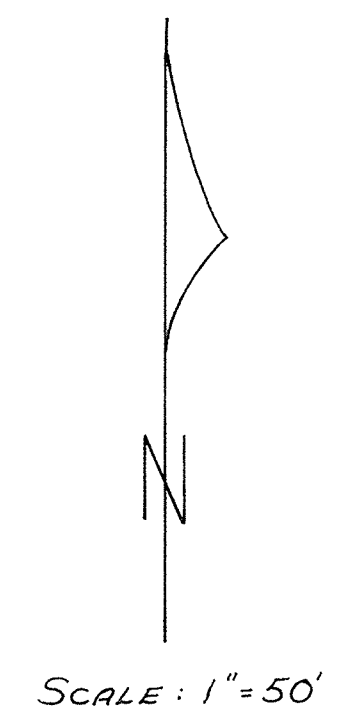


322489

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 12:42 O'CLOCK

MAR 20 1975

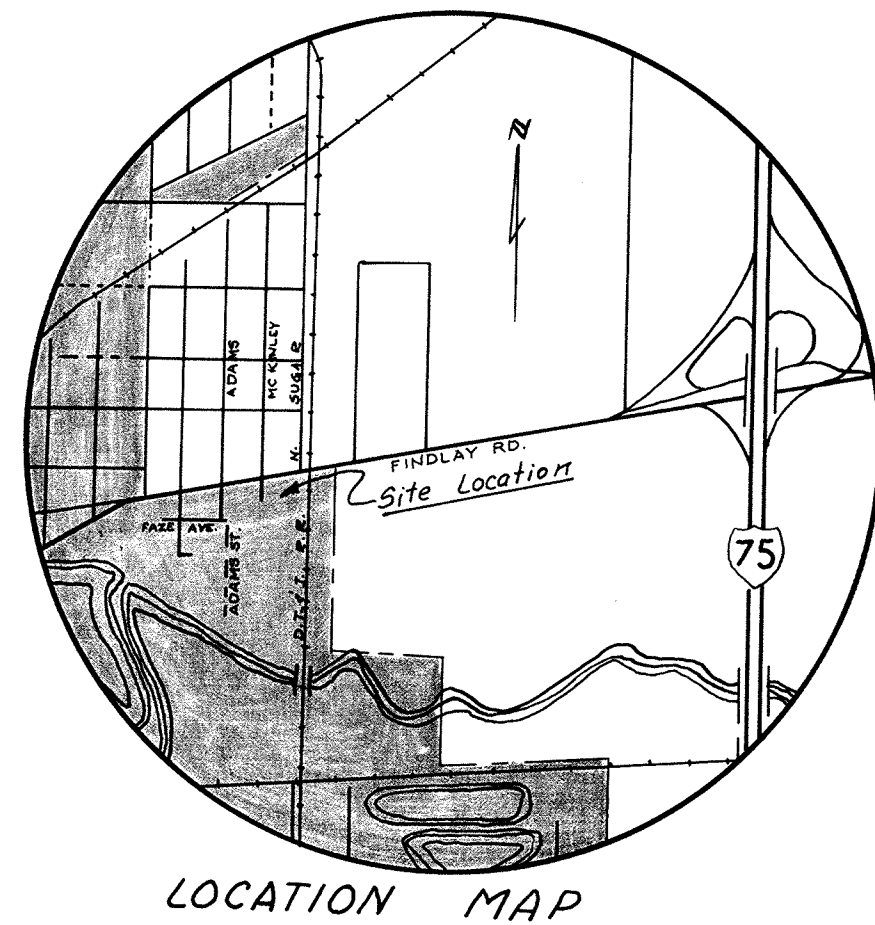
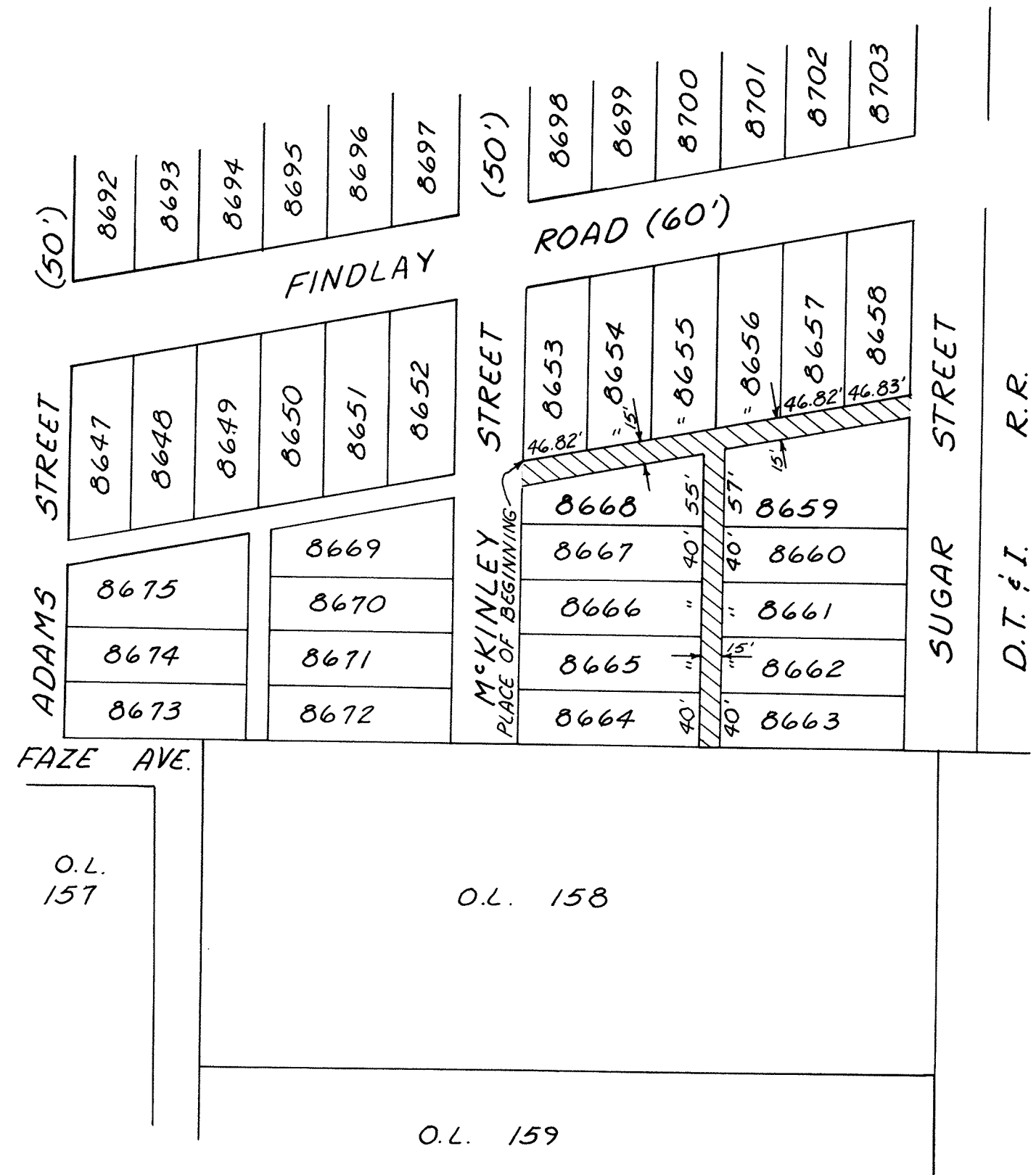
RECORDED Mar 20 1975
Vol. 13 PAGE 140
By Bruce M. ...
Fee \$ 8.30 By B. J. ... Deputy



For Ordinance to create alley
See Ord. Vol. 56 Page 12

ALLEY VACATION

141



DESCRIPTION

Beginning at the southwest corner of Lot No. 8653 in Belmont Addition to the City of Lima, Allen County, Ohio; thence northeasterly along the south line of Lots 8653 thru 8658 to the southeast corner of Lot No. 8658; thence south with the west line of Sugar Street to the northeast corner of Lot No. 8659; thence southwesterly along the north line of Lot No. 8659 to the northwest corner of Lot No. 8659; thence south with the west line of Lots 8659 thru 8663 to the southwest corner of Lot No. 8663; thence west with the north line of O.L. 158 to the southeast corner of Lot No. 8664; thence north with the east line of Lots 8664 thru 8668 to the northeast corner of Lot No. 8668; thence southwesterly with the north line of Lot No. 8668 to the northwest corner of Lot No. 8668; thence north with the east line of McKinley Street to the PLACE OF BEGINNING.

Robert F. Grimes
Registered Surveyor No. 5050

323945

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 2:22 O'CLOCK P.M.

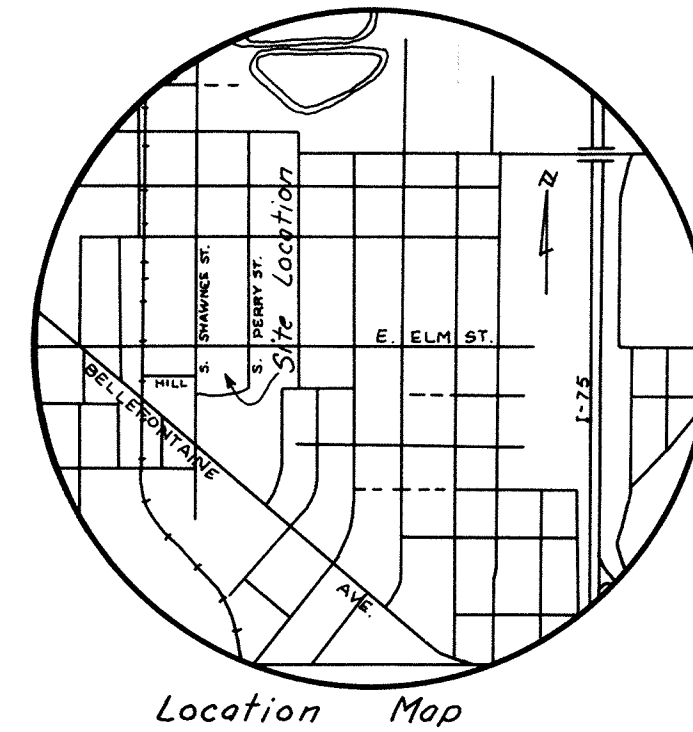
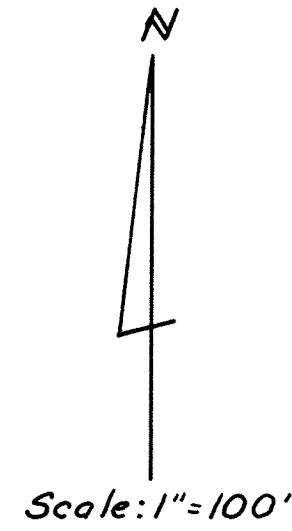
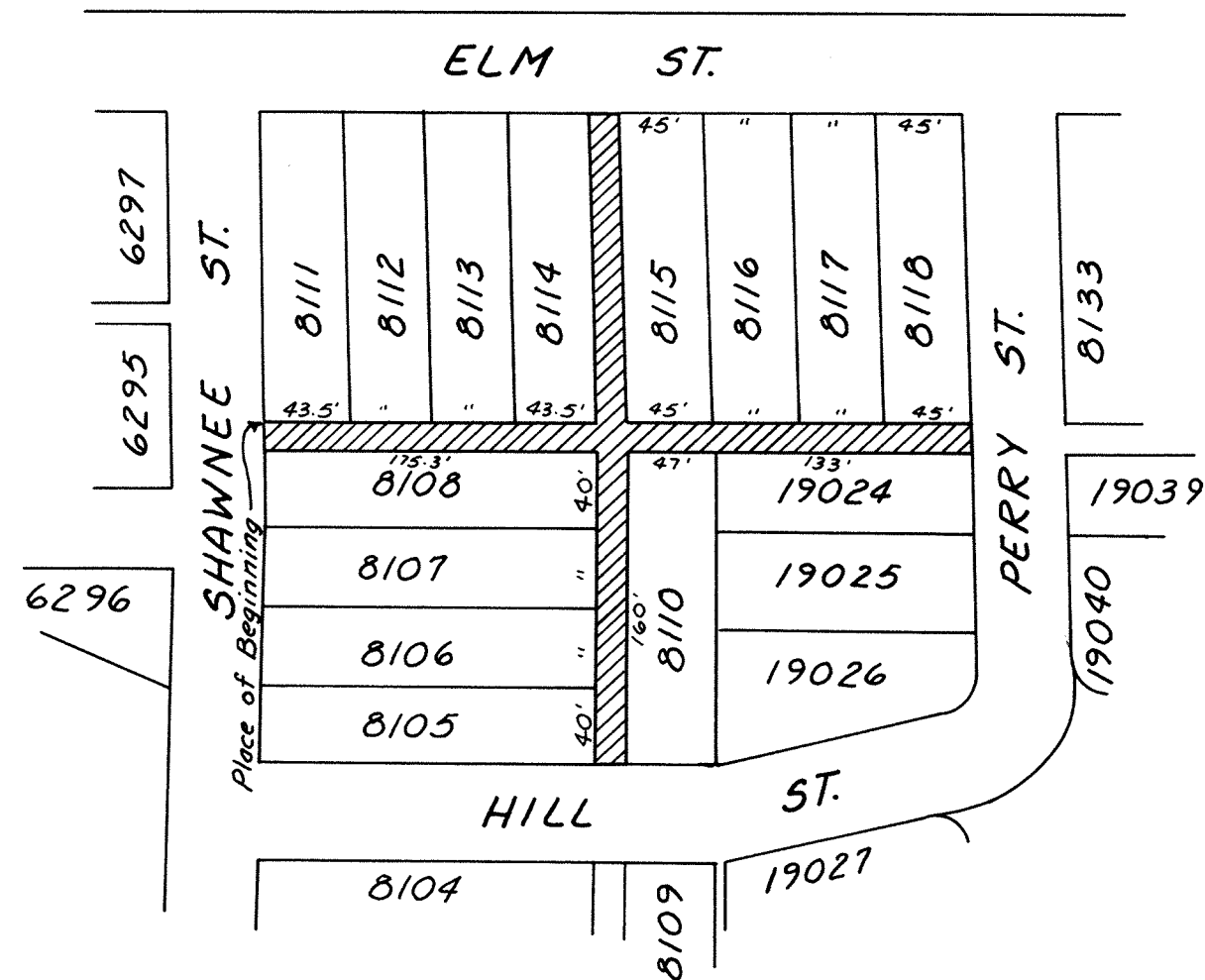
MAY 6 1975

RECORDED May 6 1975
Plat VOL 13 page 141
Bernice Montague
File # 830
By A. Kinley
Deputy

*For Ordinance to Vacate Alley
See Deed Vol. 563 Page 329.*

ALLEY VACATION

142



DESCRIPTION

Beginning at the Southwest corner of Lot No. 8111 in Lincoln Park Addition to the City of Lima, Allen County, Ohio; thence east with the South line of Lots 8111 through 8114 to the Southeast corner of Lot No. 8114; thence North with the East line of Lot No. 8114 to the Northeast corner of Lot No. 8114; thence East with the South line of Elm Street to the Northwest corner of Lot No. 8115; thence South with the West line of Lot No. 8115 to the Southwest corner of Lot No. 8115; thence East with South line of Lots 8115 through 8118 to the Southeast corner of Lot No. 8118; thence South with the West line of Perry Street to the Northeast corner of Lot No. 19024; thence West with the North line of Lot No. 19024 and 8110 to the Northwest corner of Lot No. 8110; thence south with the West line of Lot No. 8110 to the Southwest corner of Lot No. 8110; thence West with the North line of Hill Street to the Southeast corner of Lot No. 8105; thence North with the East line of Lots 8105 through 8108 to the Northeast corner of Lot No. 8108; thence west with the North line of Lot No. 8108 to the Northwest corner of Lot No. 8108; thence North with the East line of Shawnee Street to the PLACE OF BEGINNING.

Theodore A. Metzger
Registered Surveyor No. 5514



323947

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 2:22 O'CLOCK P.M.

MAY 6 1975

RECORDED May 6 1975
Vol. 13 PAGE 142
Benita Mortagosa
RECORDER
Fee \$8.32 *C. B. Knott*
Deputy

*For Ordinance to Vacate Alleys
See Deed Vol. 563 Page 328.*

UNIVERSITY HEIGHTS CONDOMINIUM N^o 11

143

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 25996, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 1 OF 5
EXHIBIT A

ENGINEER AND SURVEYOR'S CERTIFICATE

UNIVERSITY HEIGHTS CONDOMINIUM NO. 11 is situated in Lot No. 25996 of the University Heights Subdivision No. 1 of the Southeast Quarter of Section 34, T-3-S, R-7-E, Bath Township, Allen County, Ohio.

Monuments placed as shown on this Sheet 1 of Exhibit A. Easements and Streets are as shown on said Sheet 1.

We certify that the within drawings designated Exhibit A and consisting of pages numbered consecutively from 1 to 5 correctly represent the building as constructed. Unit dimensions, dimensions of common areas and dimensions of limited common areas so far as graphically possible and that there are no encroachments on any abutting premises.

Dated at Lima, Ohio, Dec. 13, 1974.

KOHLI AND KALHER ASSOCIATES, LIMITED

BY Lugene Kidman
Registered Surveyor No. 6017

Richard D. Manning P.E.
Registered Engineer No. 34373

COUNTY RECORDER'S CERTIFICATE

No. 324251

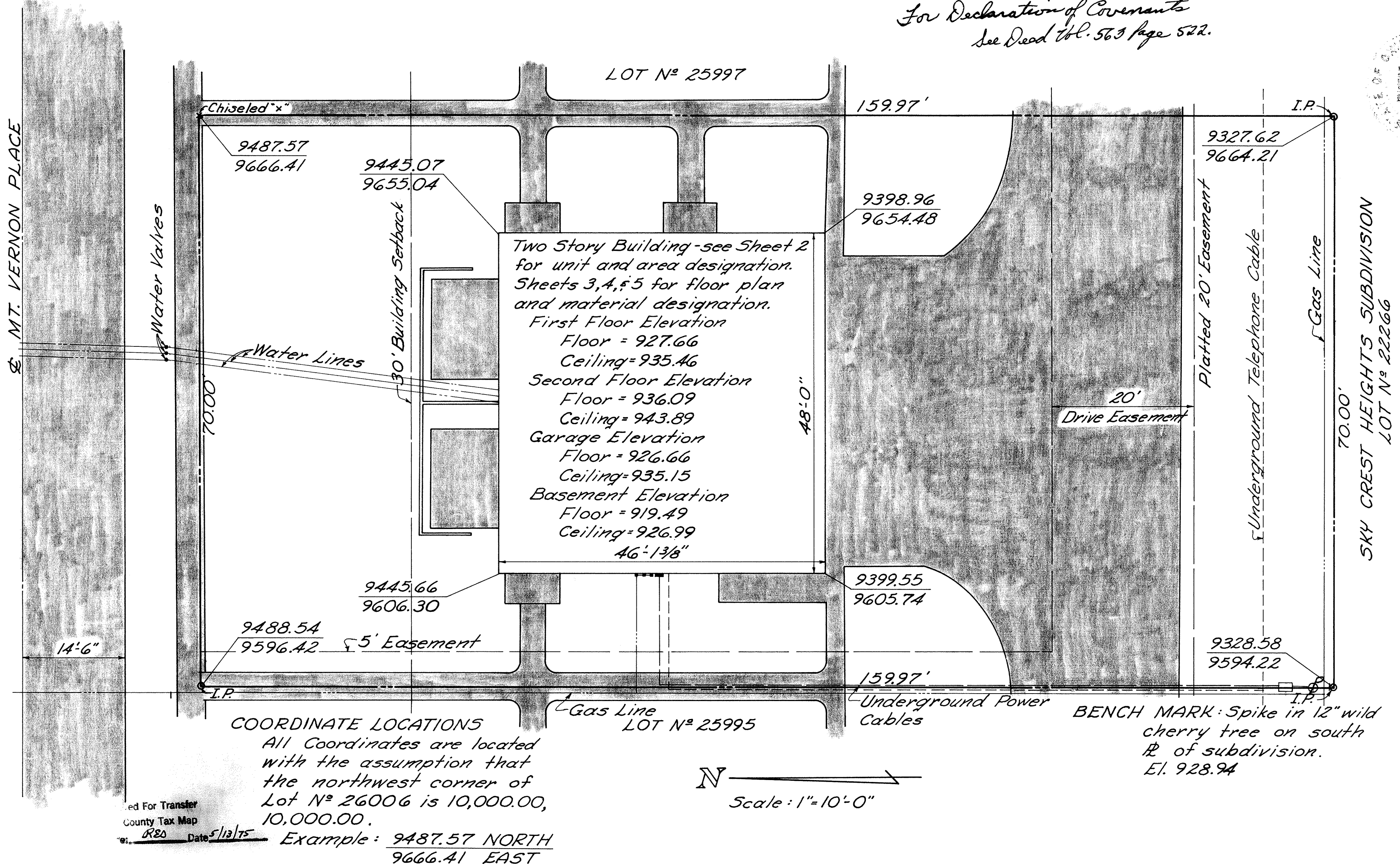
Filed for record in the Allen County, Ohio, Recorder's Office this 13th day of May, 1974, at 3:54 o'clock P. M. and recorded in Allen County, Ohio, Plat Book 13, on Page 143.

Fee: \$ 41.50

Bernice Montague
Recorder, Allen County, Ohio



*For Declaration of Covenants
See Deed Vol. 563 Page 522.*



UNIVERSITY HEIGHTS CONDOMINIUM N^o 11 144

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

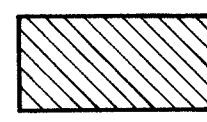
LOT N^o 25996, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 2 OF 5
EXHIBIT A

UNIT 11-A 1062 S.F.

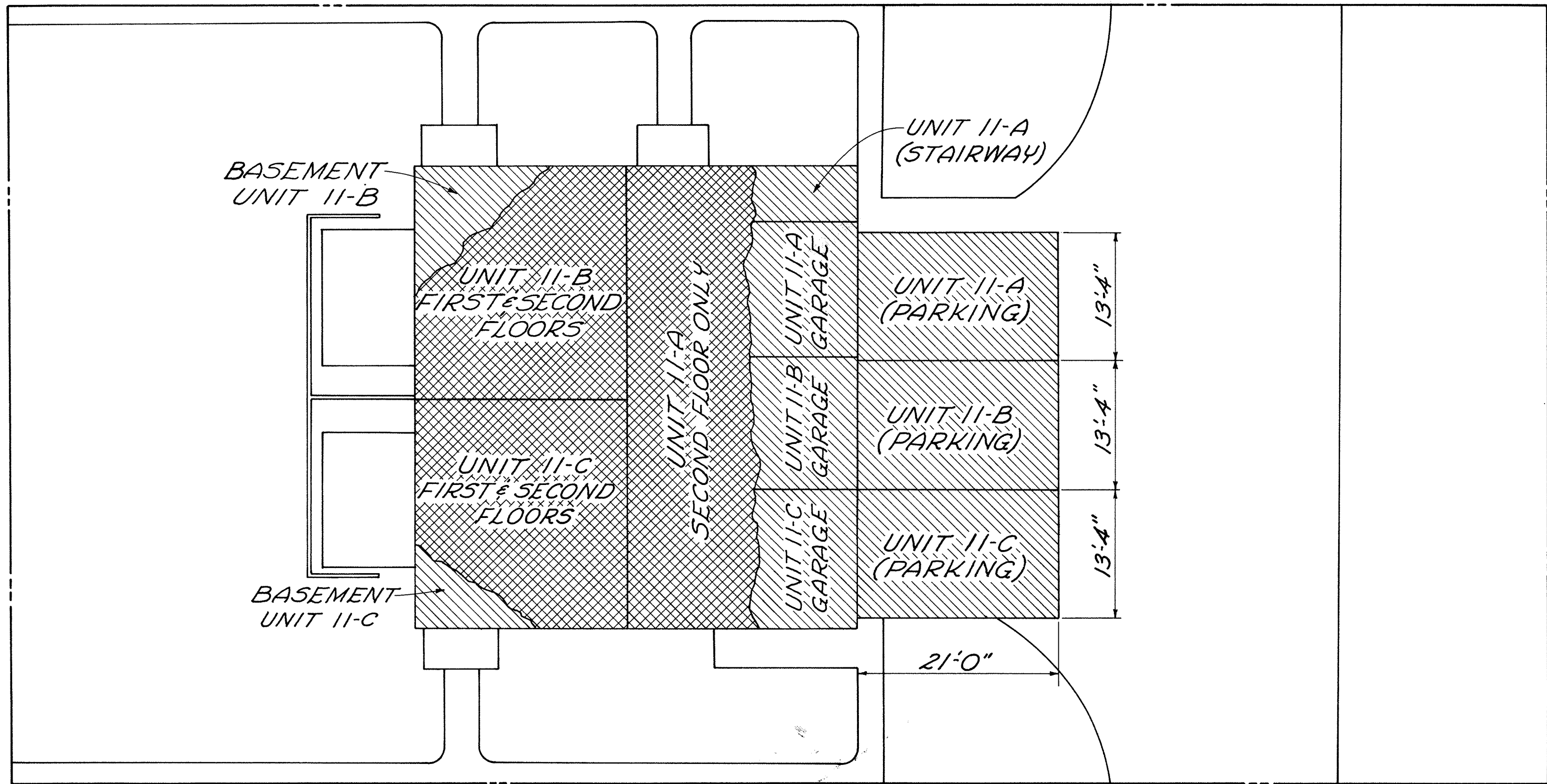
UNIT 11-B 1021 S.F.

UNIT 11-C 1021 S.F.

 Designates:
Limited Common Area

 Designates:
Unit Area

 Designates:
Common Area



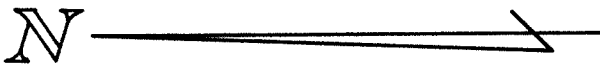
Dated at Lima, Ohio, Dec. 13, 1974.

KOHLI AND KALHER ASSOCIATES, LIMITED

BY Eugene E. Edman
Registered Surveyor No. 6017

Richard D. Mouser PE
Registered Engineer No. 34373

Approved For Transfer
Allen County Tax Map
Office RE Date 5/15/75

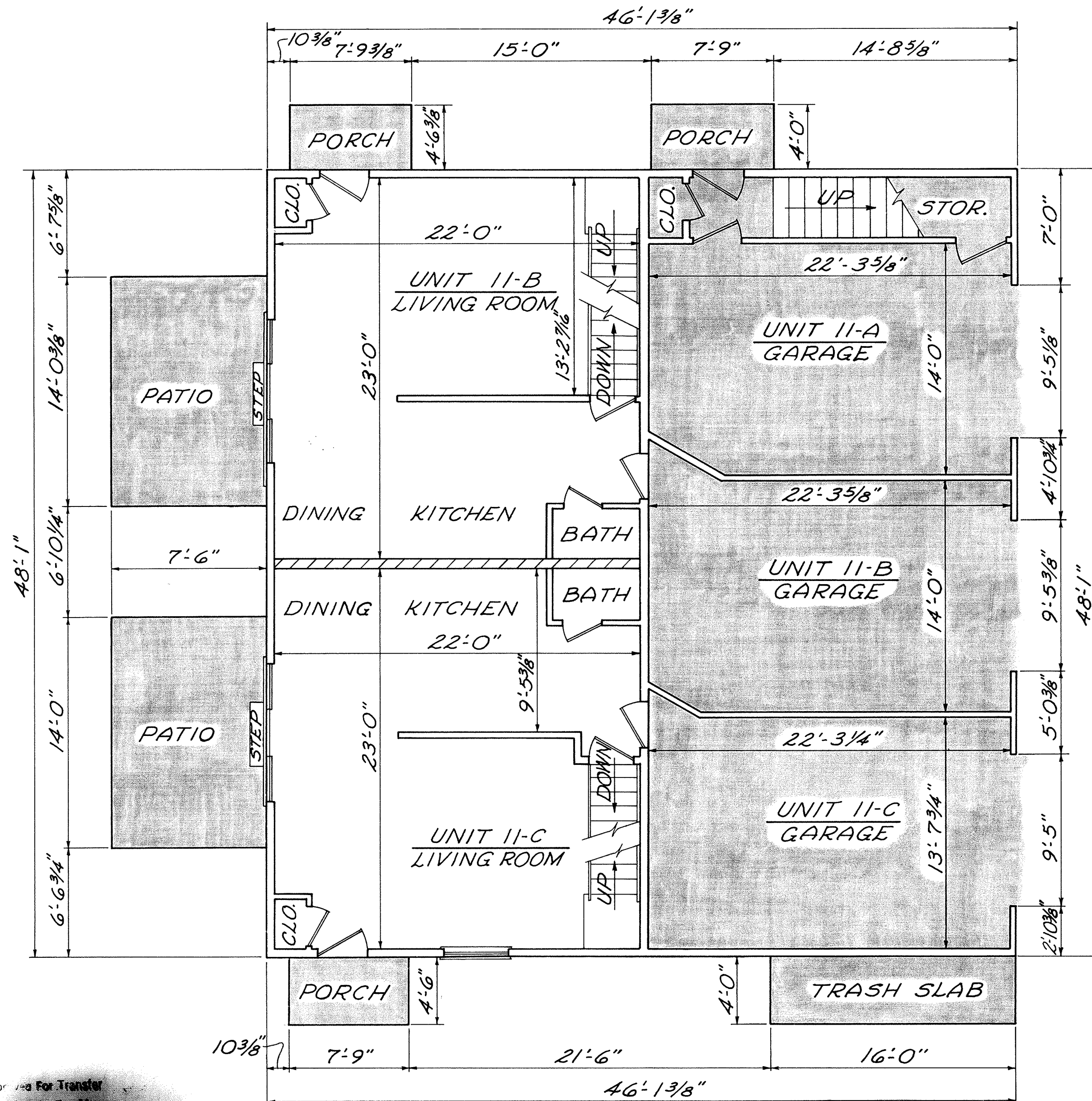
N 
Scale: 1" = 10'-0"

UNIVERSITY HEIGHTS CONDOMINIUM N^o 11 145

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 25996, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 3 OF 5
EXHIBIT A



N
Scale: 3/16" = 1'-0"

FOUNDATION - 10" x 18" Concrete Footers; 8" poured-in-place basement walls. Basement under only Units 11-B and 11-C.

EXTERIOR WALLS - Typical 2" x 4" Studs, 16" O.C.; Insulation - 1/2" Insulation Board; 8" Horizontal Aluminum siding, Brick Facing.

INTERIOR PARTITIONS - 2" x 4" Stud Walls and Drywall; Garage Partitions - 2" x 4" Studs 5/8" Drywall each side.

Designates Unit Partitions 4" Insulation, 2" x 4" Staggered Studs 16" O.C., 2 Layers 1/2" Drywall each side 2" x 6" Plate.

Designates Concrete



Dated at Lima, Ohio, Dec. 13, 1974

KOHLI AND KALHER ASSOCIATES, LIMITED

BY Eugene J. Edman
Registered Surveyor No. 6017

Richard D. Quisenberry P.E.
Registered Engineer No. 34373

Approved For Transfer
Allen County Tax Map
Date 5/3/75

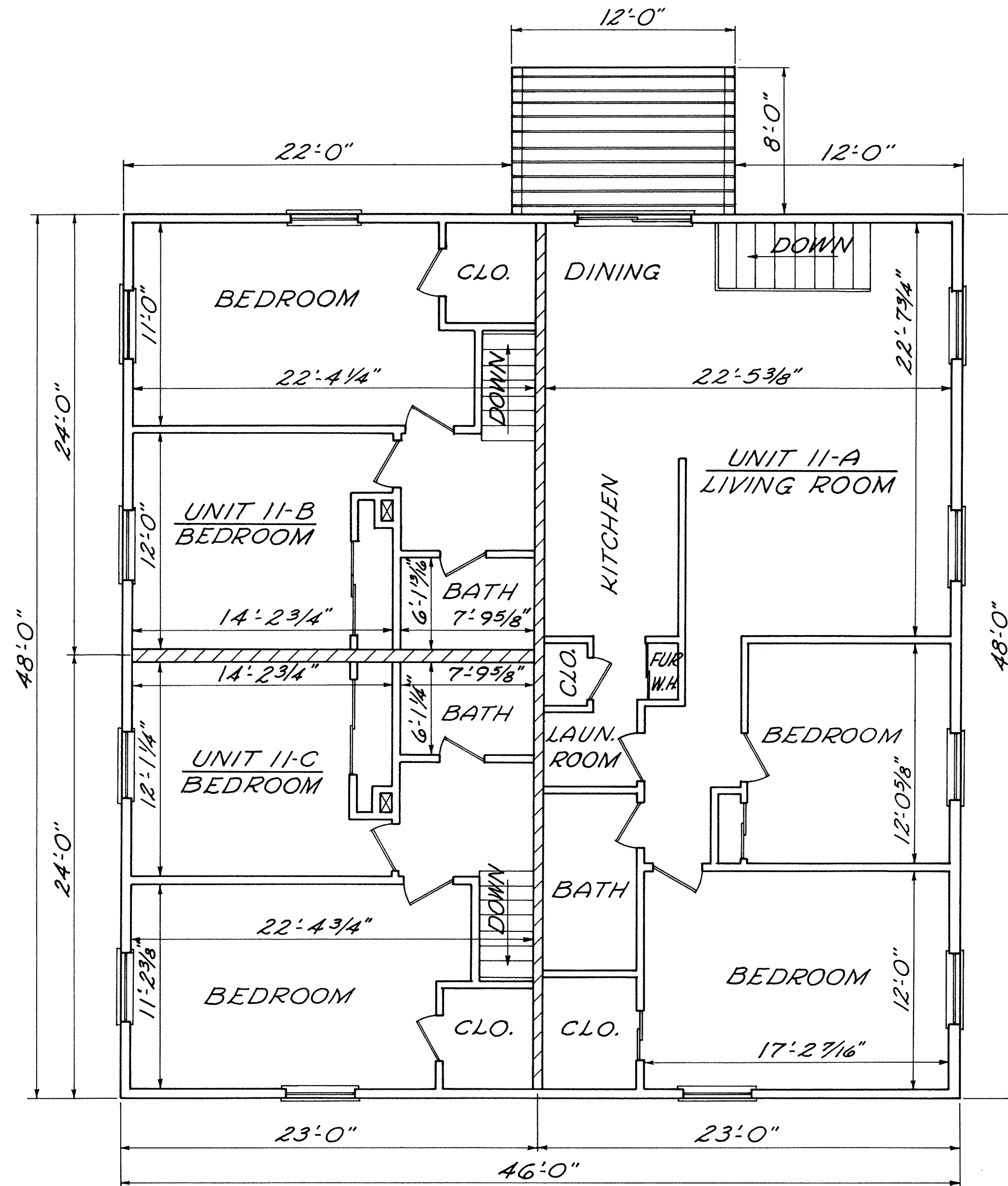
FIRST FLOOR

UNIVERSITY HEIGHTS CONDOMINIUM N^o 11 146

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOT N^o 25996, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 4 OF 5
EXHIBIT A



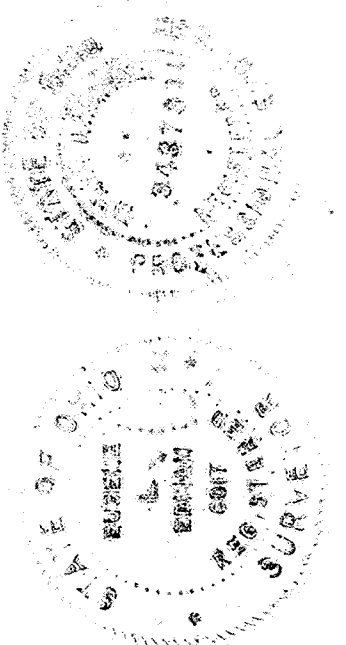
FLOOR JOISTS - 2"x8"
16" O.C.; Flooring, 3/4" T.&G.
Plywood, Insulation;
Ceiling - Drywall.

ROOF TRUSSES - 24" O.C.,
Insulation, Drywall ceiling.

ROOF SHEATHING - 5/8"
Plywood; Roofing: Asphalt
Shingles.

▨▨▨▨ Designates Unit
Partition - 4" Insulated
Walls 2"x4" Staggered
Studs, 2"x6" Plate 16" O.C.,
2 Layers 1/2" Drywall each
side.

N
Scale: 3/16" = 1'-0"



Dated at Lima, Ohio Dec. 13, 1974.

KOHLI AND KALHER ASSOCIATES, LIMITED

By Eugene J. Edman
Registered Surveyor No. 6017

Richard D. Hansen P.E.
Registered Engineer No. 34373

Approved For Transfer
Allen County Tax Map
Official File No. REA Date 5/13/75

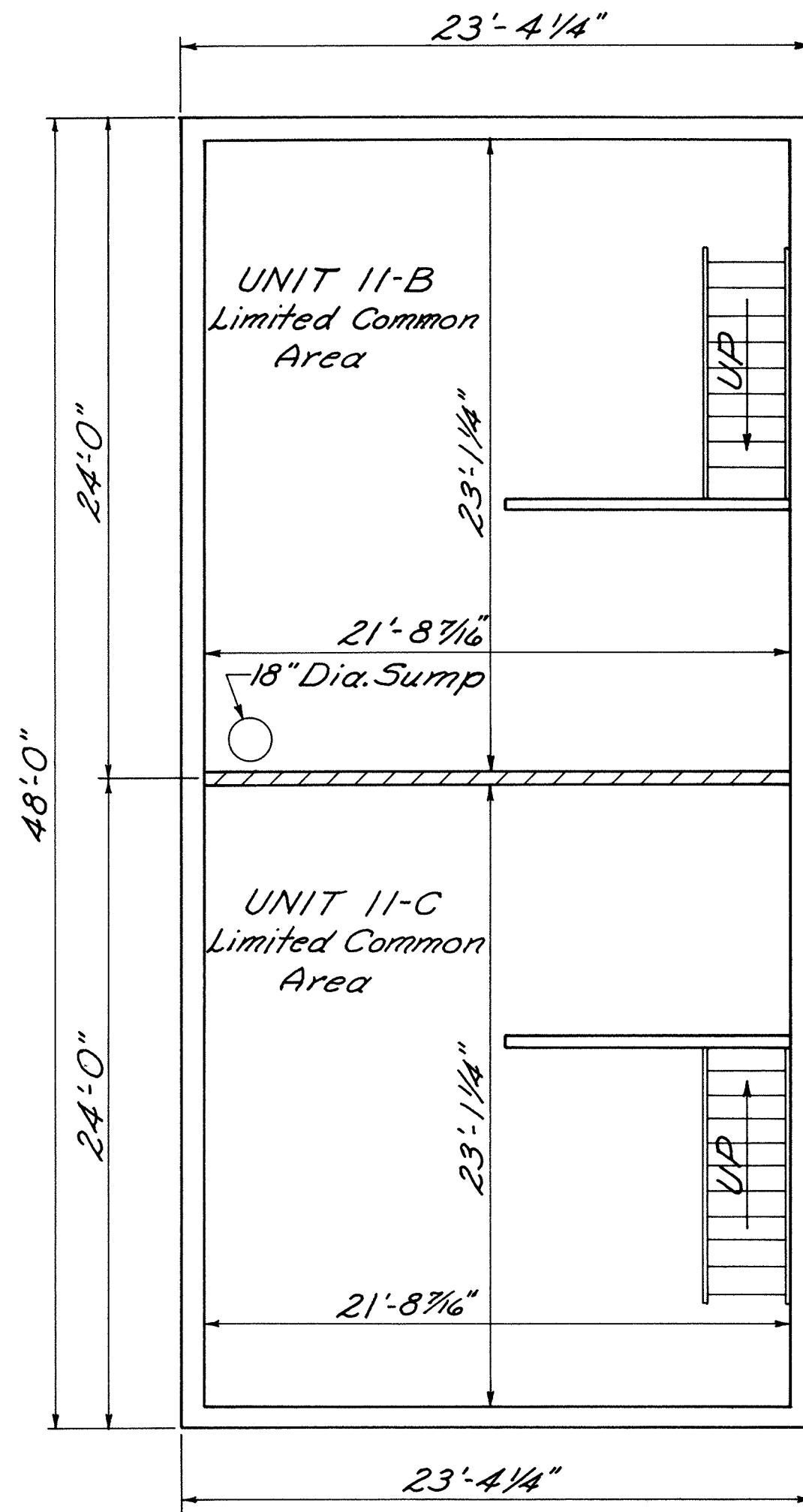
SECOND FLOOR

UNIVERSITY HEIGHTS CONDOMINIUM N^o 11 147

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

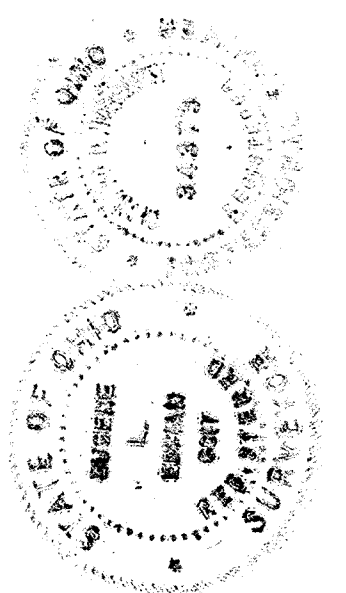
LOT N^o 25996, UNIVERSITY HEIGHTS SUBDIVISION N^o 1

SHEET 5 OF 5
EXHIBIT A



N
Scale: 3/16" = 1'-0"

▨ Designates Unit Partition
2"x6" Studs & Plate 16" O.C.
4" Bat Insulation, 1 layer 1/2"
Drywall each side.



Dated at Lima, Ohio, Dec. 13, 1974
KOHLE AND KALHER ASSOCIATES, LIMITED
By Eugene J. Edman
Registered Surveyor No. 6017

Robert D. O'Malley P.E.
Registered Engineer No. 34373

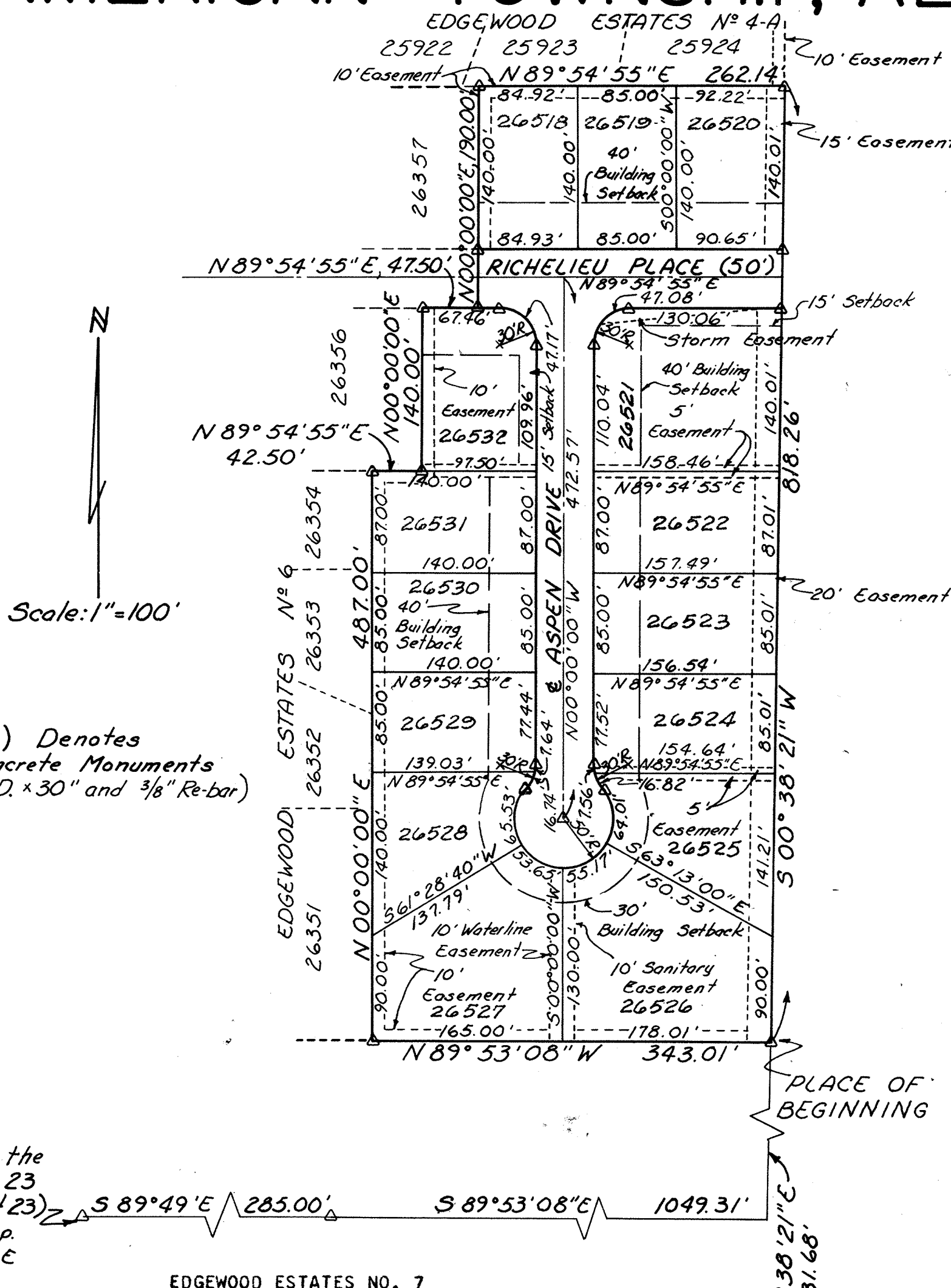
Approved For Transfer
Allen County Tax Map
Office: QES Date: 5/13/75

BASEMENT

EDGEWOOD ESTATES No 7

S.W. 1/4, SECTION 23, T3S, R6E
AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO

148



S.W. Cor of the
NE 1/4 Sect 23
(Center of Sect 23)
American Twp.
T-3-S R-6-E

EDGEWOOD ESTATES NO. 7

Being a parcel of land situate in the southwest quarter of the northeast quarter of Section 23, American Township, T-3-S, R-6-E, of the First Principal Meridian, Allen County, Ohio, and more particularly described as follows:

Commencing at the southwest corner of the northeast quarter of said Section 23 (Center of Section 23); thence S 89° 49' E with the south line of the northeast quarter, 285.00 feet; thence S 89° 53' 08" E with the south line of said northeast quarter, 1049.31 feet; thence N 00° 38' 21" E, 331.68 feet to the PLACE OF BEGINNING; thence N 89° 53' 08" W with an extension of the south line of Edgewood Estates Plat 6, 343.01 feet to the southeast corner of Edgewood Estates Plat 6; thence N 00° 00' 00" E with an east line of Edgewood Estates Plat 6, 487.00 feet; thence N 89° 54' 55" E with a south line of Edgewood Estates Plat 6, 42.50 feet; thence N 00° 00' 00" E with an east line of Edgewood Estates Plat 6, 140.00 feet; thence N 89° 54' 55" E with a south line of Edgewood Estates Plat 6, 47.50 feet; thence N 00° 00' 00" E with an east line of Edgewood Estates Plat 6, 190.00 feet to the northeast corner of Edgewood Estates Plat 6 and the south line of Edgewood Estates Plat 4-A; thence N 89° 54' 55" E with the south line of Edgewood Estates Plat 4-A, 262.14 feet, to the southeast corner of Edgewood Estates Plat 4-A; thence S 00° 38' 21" W, 818.26 feet to the PLACE OF BEGINNING, containing 5.995 Acres more or less and subject to all legal easements and rights-of-way of record.

DEDICATION

Harry H. Wagner Sr., being the owner of the land contained in the hereon plat, hereby adopts said plat and dedicates the land contained within the streets to the use and benefit of the public forever. Utility easements are established as shown on the plat.

In Witness Whereof, Harry H. Wagner Sr. and Marjorie C. Wagner, his wife, have hereunto signed their names this 16th day of May, 1975.

Witnesses:

Steve J. Morrow
Harry H. Wagner Sr.
Theodore A. Metzger
Marjorie C. Wagner

ACKNOWLEDGMENT

State of Ohio
Allen County ss:

Before me a Notary Public in and for said state and county, personally appeared Harry H. Wagner Sr. and Marjorie C. Wagner, who acknowledged that they did sign the hereon plat of Edgewood Estates No. 7 and that the signing was their free act and deed.

In Witness Whereof, I have hereunto set my hand and seal this 16th day of May, 1975.

My Commission Expires: 1/2/79

Adrian J. O'Neill
Notary Public, Allen County, Ohio

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, and on behalf of said City and said Commission approve and accept this plat this day of 1975.

Julius H. Hoover
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

COUNTY AUDITOR'S CERTIFICATE

This Plat filed for transfer this 16th day of MAY, 1975. Fee: \$ 3.50

Richard A. Witt
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 324407
Filed for record in the Allen County, Ohio, Recorder's Office this 16th day of May, 1975, at 2:31 o'clock P.M. and recorded in the Allen County Plat Book 13 on Page 108.
Fee: \$ 16.60

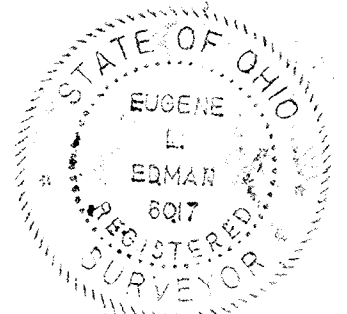
Bernice Montague
Recorder of Allen County, Ohio.

COUNTY ENGINEER'S CERTIFICATE

Having checked the construction of the streets in this subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans thereof, and that they are in good repair, and this endorsement shall constitute acceptance of the streets for public use.

County Engineer of Allen County, Ohio

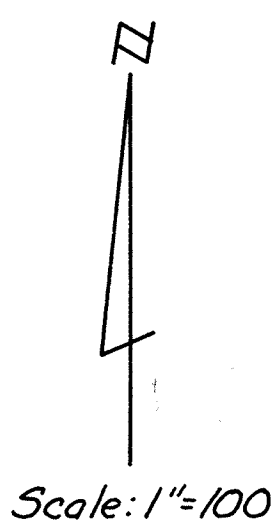
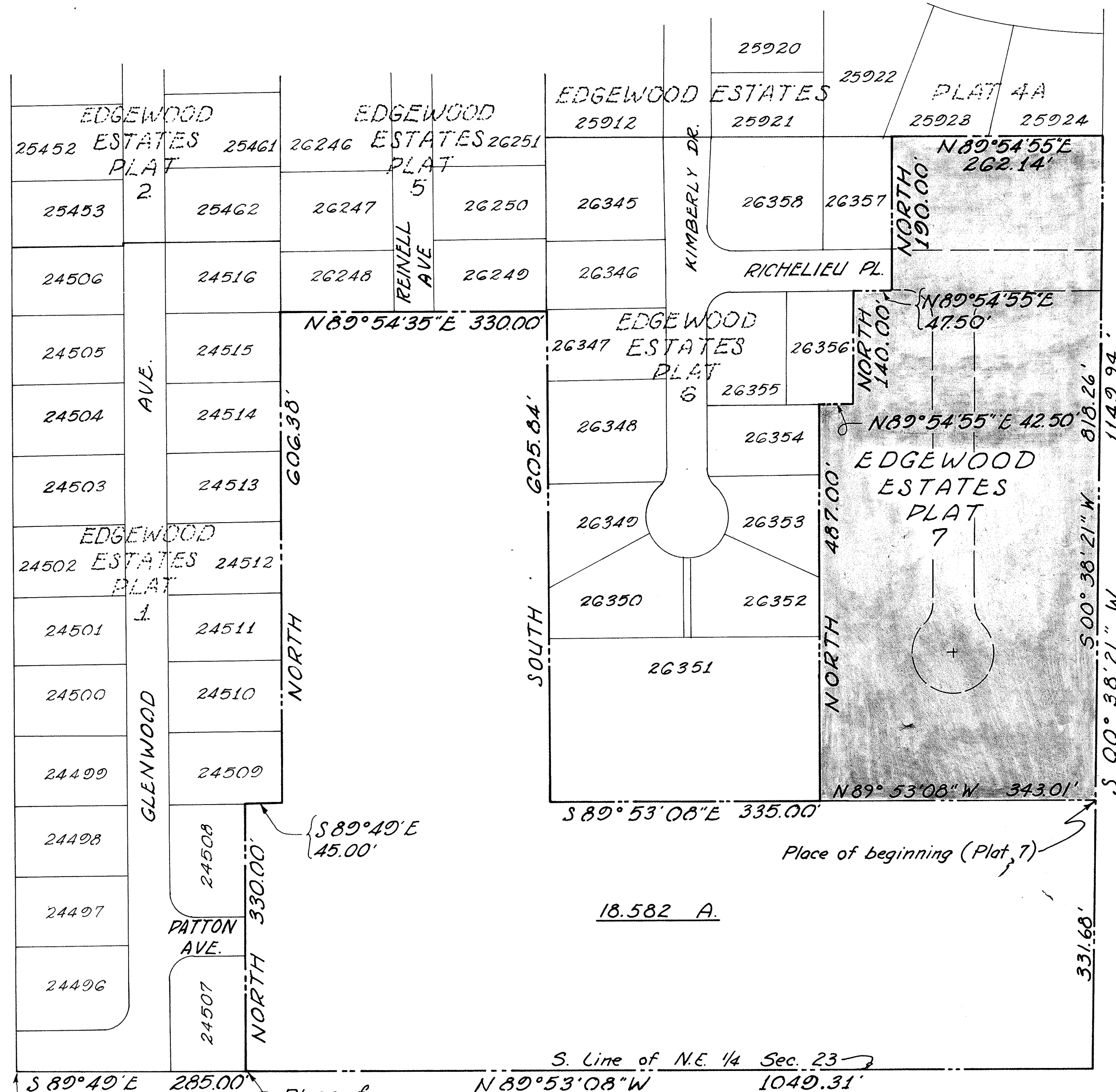
I hereby certify that this plat is based on a true and accurate survey made by me or under my supervision in April 1975.



Eugene L. Edman
Registered Surveyor No. 6017

Approved For Transfer
Allen County Tax Map
Office: 9 RR Date 5-16-1975

SURVEY OF DEDICATORS LAND FOR EDGEWOOD ESTATES N° 7



DESCRIPTION OF THE DEDICATORS LANDS FOR EDGEWOOD ESTATES

Being a parcel of land located in the southwest quarter of the northeast quarter of Section 23, American Township, T-3-S, R-6-E, of the First Principal Meridian, Allen County, Ohio, and more particularly described as follows:

Commencing at the southwest corner of the northeast quarter of Section 23 (center of Section 23) American Township, T-3-S, R-6-E; thence S 89° 49' 00" E with the south line of the northeast quarter and the south line of Edgewood Estates Plat 1, 285.00 feet to the PLACE OF BEGINNING; thence NORTH with an east line of Edgewood Estates Plat 1, 330.00 feet; thence S 89° 49' E with a south line of Edgewood Estates Plat 1, 45.00 feet; thence NORTH with an east line of Edgewood Estates Plat 1, 606.38 feet to the southwest corner of Edgewood Estates Plat 5; thence N 89° 54' 35" E with the south line of Edgewood Estates Plat 5, 330.00 feet to the southeast corner of Edgewood Estates Plat 5 and the west line of Edgewood Estates Plat 6; thence SOUTH with the west line of Edgewood Estates Plat 6, 605.84 feet to the southwest corner of Edgewood Estates Plat 6; thence S 89° 53' 08" E with a south line of Edgewood Estates Plat 6, 335.00 feet; thence NORTH with an east line of Edgewood Estates Plat 6, 487.00 feet; thence N 89° 54' 55" E with a south line of Edgewood Estates Plat 6, 42.50 feet; thence NORTH with an east line of Edgewood Estates Plat 6, 140.00 feet; thence N 89° 54' 55" E with a south line of Edgewood Estates Plat 6, 47.50 feet; thence NORTH with an east line of Edgewood Estates Plat 6, 190.00 feet to the northeast corner of Edgewood Estates Plat 6 and the south line of Edgewood Estates Plat 4-A; thence N 89° 54' 55" E with the south line of Edgewood Estates Plat 4-A 262.14 feet to the southeast corner of Edgewood Estates Plat 4-A; thence S 00° 38' 21" W, 1149.94 feet to the south line of the northeast quarter of Section 23; thence N 89° 53' 08" W with the south line of said northeast quarter, 1049.31 feet to the PLACE OF BEGINNING, containing 18.582 Acres more or less and subject to all legal easements and rights-of-way of record.

I hereby certify that this plat represents a true and accurate survey made by me or under my supervision in April 1975.

SW Cor of the NE 1/4 Sect. 23 (Center of Sect 23) American Twp. T-3S R-6-E

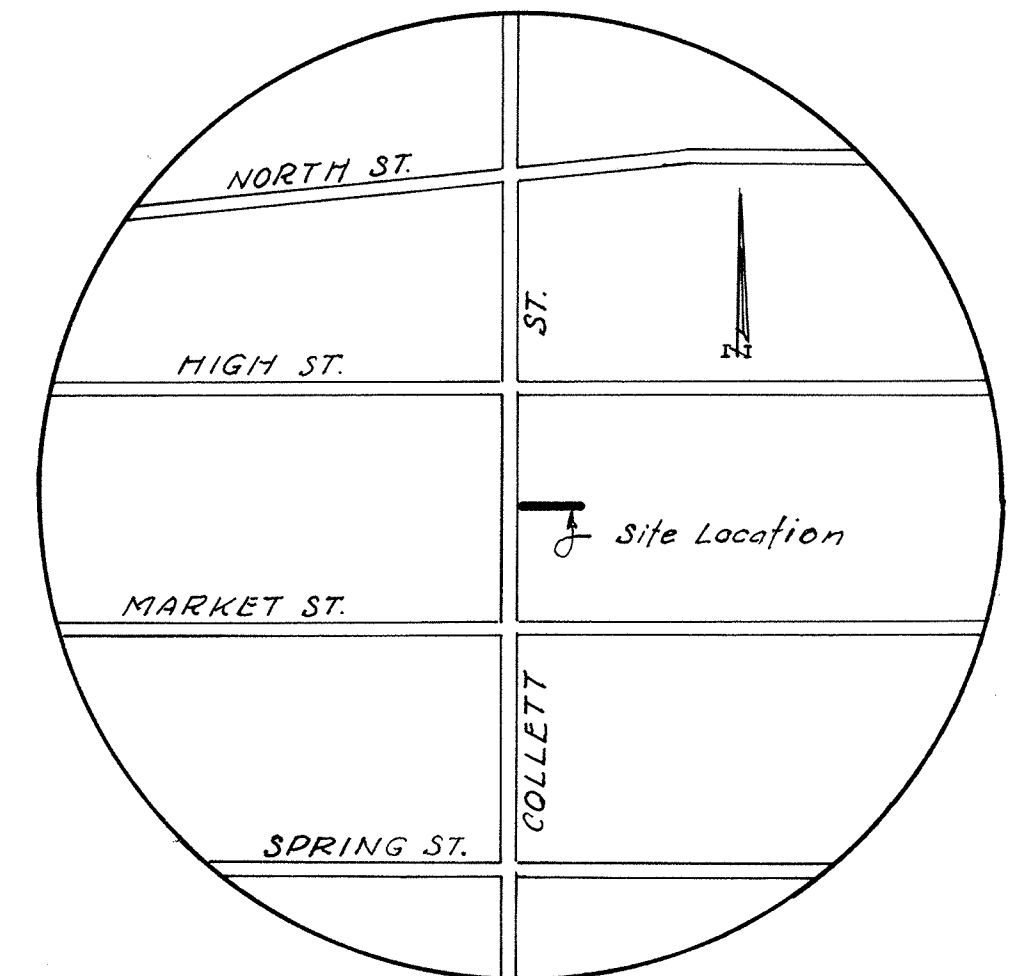
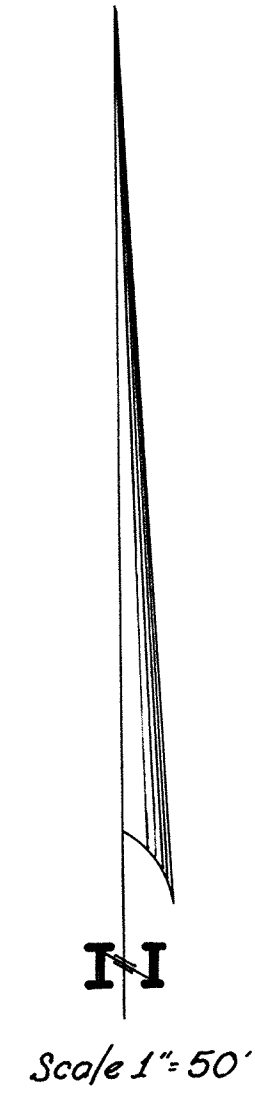
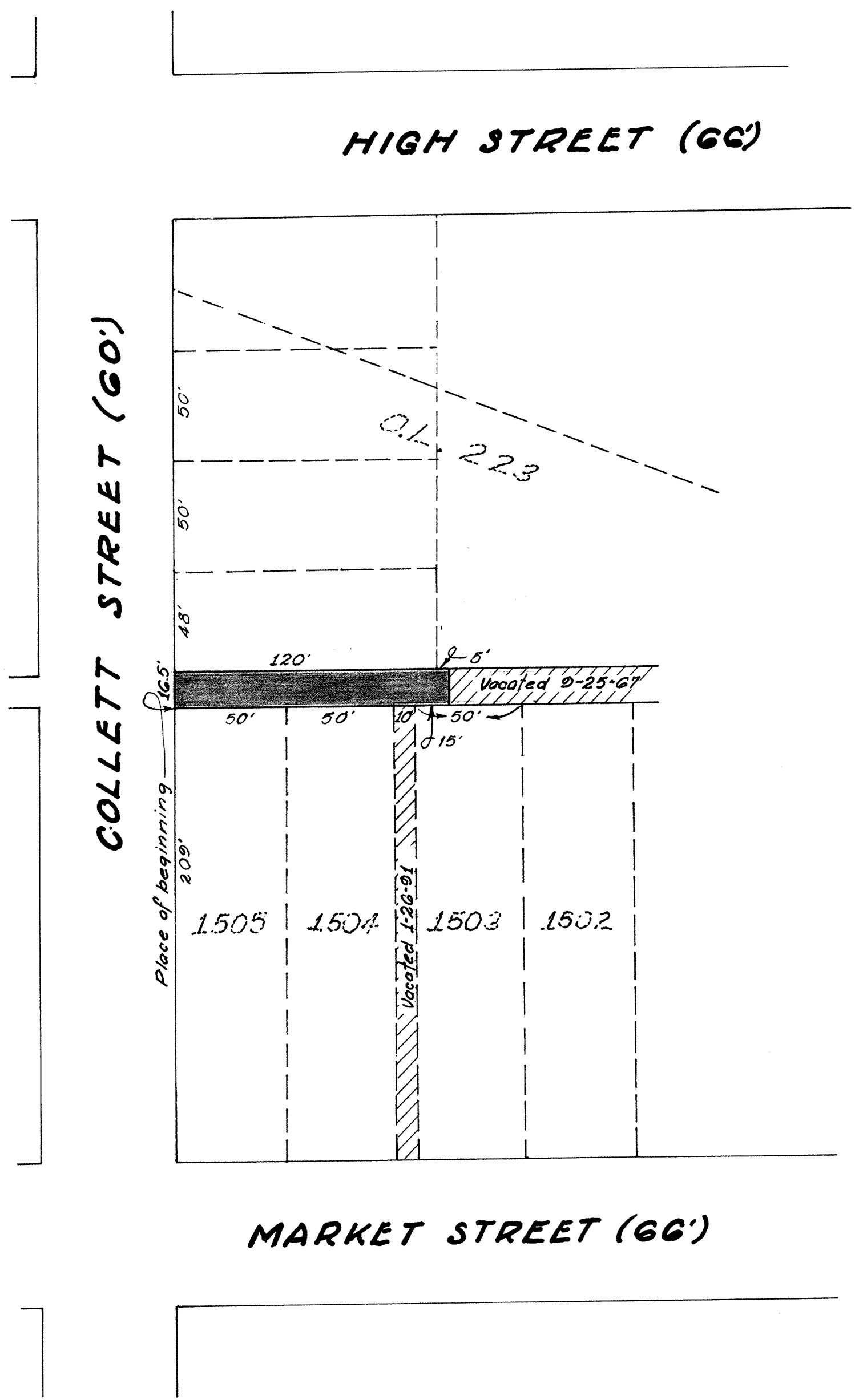
18.582 A.

Eugene J. Edman
Registered Surveyor No. 6017



Approved For Transfer
Allen County Tax Map
Office: D.R.R. Date 5-16-1975

ALLEY VACATION



LOCATION MAP

LEGEND

- Original Lot Lines - - - - -
- Previous Vacations
- Subject Area
- Original Lot Numbers
- Right-of-way Lines ———

DESCRIPTION

Beginning at the northwest corner of Lot Number 1505 in Blackburns Addition to the City of Lima, Ohio, said PLACE OF BEGINNING also being on the east line of Collett Street; thence north with the east line of Collett Street, 16.5 feet to the south line of Outlot 223; thence east with said south line of Outlot 223, 125.00 feet to the west line of a previous alley vacation (Ordinance 184-67) dated 9-25-67; thence south with the west line of said previous vacation to the north line of Lot Number 1503 in said Blackburns addition; thence west with the north line of lots numbered 1503, 1504, 1505, 125.00 feet to the PLACE OF BEGINNING.

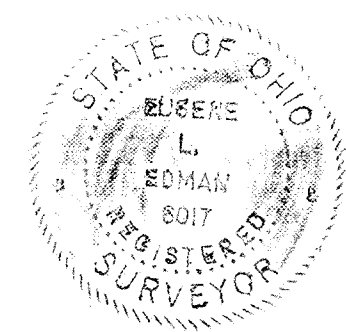
324682

Eugene L. Edman
 Registered Surveyor No. 6017

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 10:18 O'CLOCK P.M.

MAY 27 1975

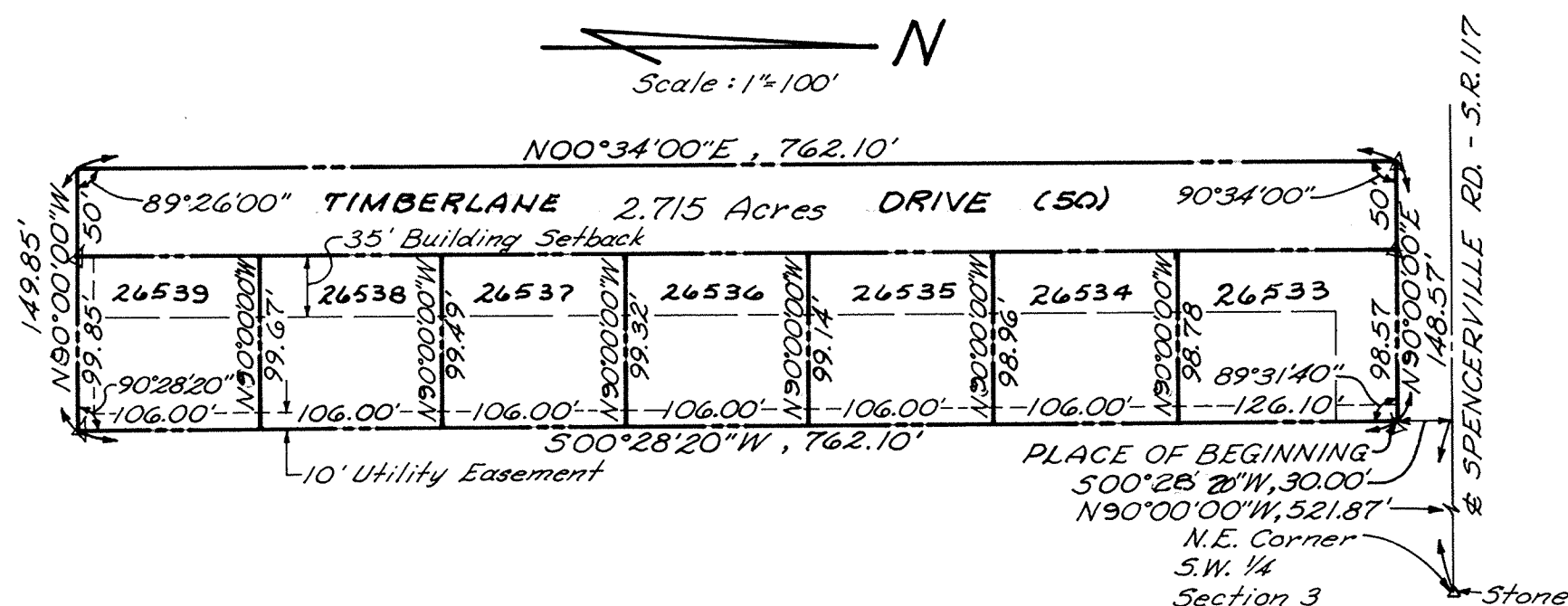
RECORDED *May 27 1975*
 Vol. 150 PAGE 150
Bessie M. ...
 Fee \$8.30 by BK.



*For Ordinance to Vacate Alley
 See Deed Vol. 564 Page 180.*

TIMBERLANE No 1

151



DEDICATION

Timberlane Limited, A Partnership, being the sole owner of the above described premises, hereby dedicates the streets and utility easements as shown to the public for their use forever. Signed this 18th day of JUNE 1975.

OWNER
TIMBERLANE LIMITED, a Ltd. Partnership Assn.
J. Ramon Laibe (Chairman)

WITNESS
Judy Ann Acclimiere
Donald Spillman

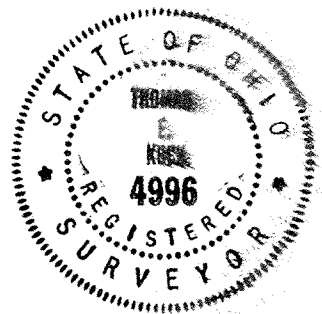
SURVEYORS CERTIFICATE

I hereby certify that in February 1975, I surveyed the following described, and that Iron Pipes were placed at all lot corners. Monuments (Δ) have been placed as shown.

Being a part of the Southwest 1/4 of Section 3, T4S, R6E, Shawnee Township, Allen County, Ohio and more particularly described as follows: Starting at the Northeast corner of the Southwest 1/4 of said Section 3; thence $N90^{\circ}00'00''W$ with the north line of the Southwest 1/4 of said Section 3, also the centerline of (Spencerville Road - S.R. 117) 521.87 feet; thence $500^{\circ}28'20''W, 30.00$ feet to the south right-of-way line of (Spencerville Road - S.R. 117, this also being the PLACE OF BEGINNING; thence $500^{\circ}28'20''W, 762.10$ feet; thence $N90^{\circ}00'00''W, 149.85$ feet; thence $N00^{\circ}34'00''E$ to the south right-of-way line of (Spencerville Road - S.R. 117) 762.10 feet; thence $N90^{\circ}00'00''E$ with said south right-of-way line 148.57 feet to the PLACE OF BEGINNING, containing 2.61 Acres more or less.

Thomas E. Kuck
 Thomas E. Kuck
 Reg. Surveyor #4996

For Resolution # 2-75 Reopening Plat # 26533, 26534 and 26535
 see Misc. Vol 4 pg 413



ACKNOWLEDGEMENT

County of Allen, State of Ohio
 Before me, a Notary Public, in and for said County and State, did personally appear the above signed Owners, who acknowledged this Document to be their free act and deed, in testimony thereof, I affix my hand and seal this 18th day of JUNE 1975.
 My Commission Expires June 1978
Donald Spillman
 Notary Public

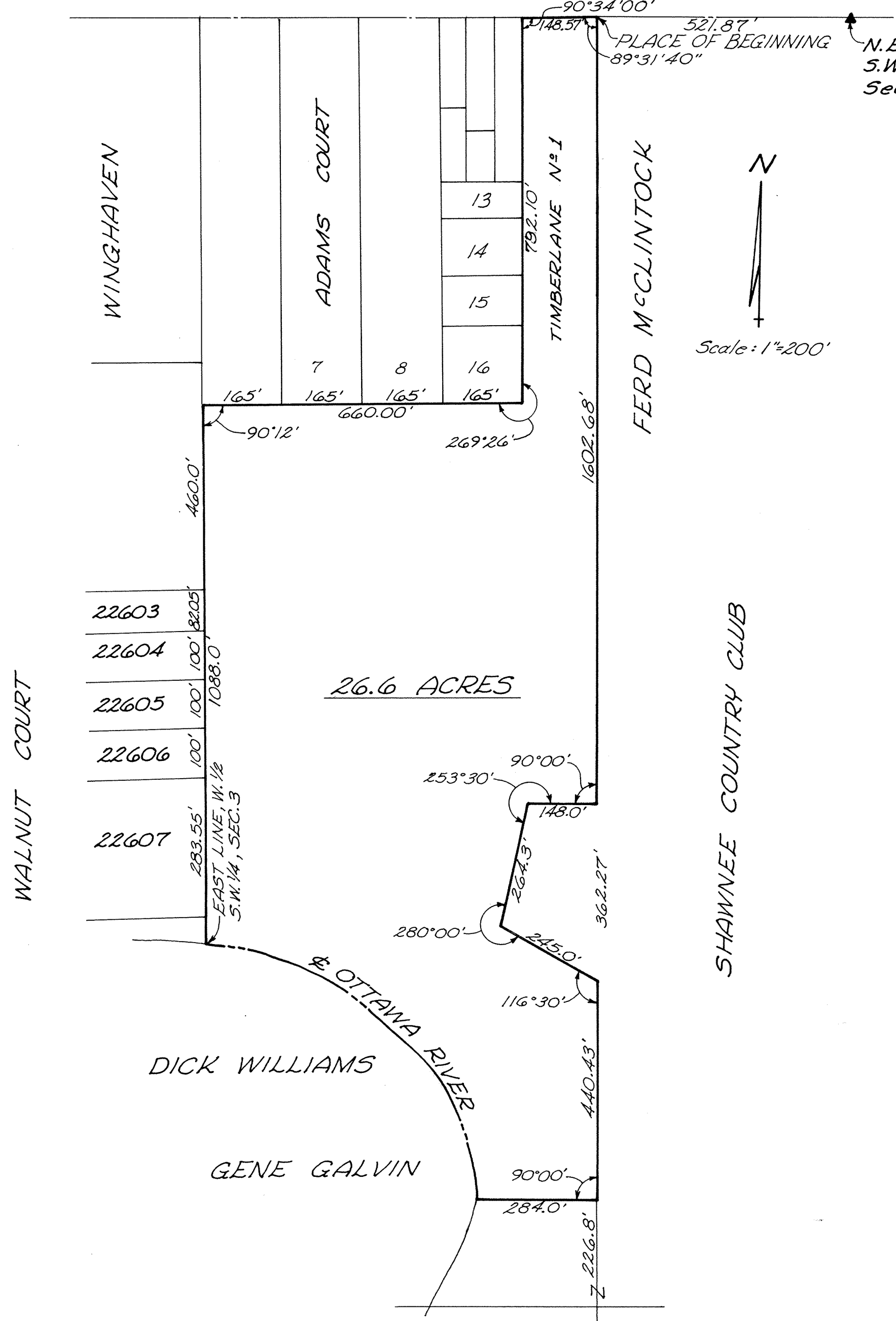
APPROVAL OF CITY PLANNING COMMISSION

Being the duly elected Mayor of the City of Lima, Ohio, and Chairman of the Planning Commission, I hereby accept this Plat for the City.
Harry Meyer
 Mayor and Chairman of the Planning Commission

Filed for Transfer this 18th day of JUNE 1975 at 11:30 o'clock A. M. in the office of the Allen County Auditor.
Richard A. Ditt
 Allen County Auditor

No. 325531
 Filed for record this 18th day of June 1975 at 11:30 o'clock A. M. in the office of the Allen County Recorder and recorded in Plat Book 13 Page 151.
 Fee \$24.90
Bernice Montague
 Allen County Recorder

SPENCERVILLE RD. (S.R. 117)



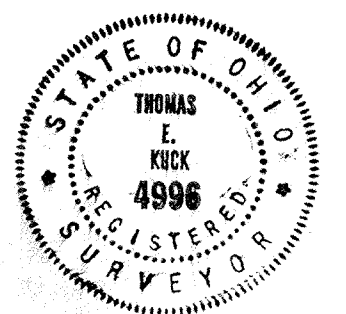
26.6 ACRES

DESCRIPTION

Being a part of the Southwest 1/4 of Section 3, T4S, R6E, Shawnee Township, Allen County, Ohio and more particularly described as follows: Starting at the Northeast corner of the Southwest 1/4 of said Section 3; thence West with the North line of the Southwest 1/4 of said Section 3, also the centerline of Spencerville Road (S.R. 117), 521.87 feet, this being the PLACE OF BEGINNING; thence with a deflection of 89°31'40" to the left and South, 1602.68 feet; thence West with an interior angle of 90°00'00", 148.00 feet; thence Southwesterly with an interior angle of 253°30'00", 264.30 feet; thence Southeasterly with an interior angle of 280°00'00", 245.00 feet; thence South with an interior angle of 116°30'00", 440.43 feet; thence West with an interior angle of 90°00'00", 284.00 feet to the centerline of the Ottawa River; thence Northwesterly with the centerline of the Ottawa River to the East line of the West 1/2 of the Southwest 1/4 of said Section 3; thence North with the East Line of the West 1/2 of the Southwest 1/4 of said Section 3, 1088.00 feet; thence East with an interior angle of 90°12'00", 660.00 feet; thence North with an interior angle of 269°26'00", 792.10 feet to the North line of the Southwest 1/4 of said Section 3, also the centerline of Spencerville Road (S.R. 117); thence East with an interior angle of 90°34'00" with the North line of the Southwest 1/4 of said Section 3, also the centerline of Spencerville Road (S.R. 117), 148.57 feet to the PLACE OF BEGINNING, containing 26.6 Acres more or less.

TIMBERLANE BOUNDARY SURVEY

THOMAS E. KUCK
REG. SURVEYOR No 4996
LIMA - OHIO



RESTRICTIONS FOR TIMBERLANE SUBDIVISION N^o 1

153

The following restrictions are hereby imposed upon all lots in Timberlane Subdivision N^o 1, Shawnee Township, Allen County, Ohio:

1. Said lots shall be used for residence purposes only and not for any purpose of business, trade or public entertainment, or resort; and no nuisance advertising sign, billboard or other advertising devices shall be erected or permitted upon said lots, or any of them, nor shall said lots, or any of them, be used in any way which would endanger the health or unreasonably detract from the quiet of any other adjacent lots or premises.

2. Although the residential building plots shown on the plat may be rearranged to form building plots of different size from those shown on the plat, no such building plots shall be arranged with a frontage of less than One Hundred Feet (100) at the building line on which the house faces.

3. No building or structure shall be erected, placed, maintained, or permitted to remain on any building site or plot in said subdivision, the walls of which shall be nearer to the street on which the same faces than 35 feet, and no such building or structure shall be erected, placed, maintained, or permitted to remain on any building site or plot, the walls of which shall be nearer than 10 feet from the side lot line of any lot enclosing said site or plot. The restrictions contained in this paragraph shall not be interpreted to prevent the construction of open porches, open porte chere, or open terraces within said distances.

4. No building or structures other than one (1) family residences not to exceed two (2) stories in height, together with customary outbuildings, such as private garages, home workshops, and home greenhouses incidental to the residential use of such building sites shall be erected, maintained, or permitted upon any building site.

5. No residential structure shall be erected on any building site, the habitable floor area of which, exclusive of basements, open porches, and garages, is less than 1750 square feet. If such residential structure exceeds one (1) story in height, the first floor shall contain not less than 1200 square feet of habitable floor area. The overall width across the front of all residential structures, including garage, if attached thereto, shall be not less than 52 feet.

6. No fence or wall of any kind for any purpose shall be erected, placed or suffered to remain upon said premises nearer to the street than the building lines hereinbefore established, except fences erected for ornamental purposes only and for which ornamental fences written approval, or consent of grantor, or its designee, shall have first been obtained. No fence or wall herein permitted to be erected shall be more than five (5) feet in height.

7. No structure of a temporary character, trailer, basement, tent, shack, garage, barn, or other outbuilding

7. (Cont.) shall be used on any lot at any time as a residence, either temporarily or permanently.

8. No noxious or offensive activities shall be carried on upon any lot, nor shall anything be done thereon which may be, or become an annoyance or nuisance to the neighborhood.

9. Easements for installation and maintenance of utilities are reserved as shown on the recorded plat and over the rear 10 feet of each lot.

10. All grounds and premises in said subdivision shall be mowed and kept reasonably free of weeds and undergrowth by the owners thereof at all times prior to the start or commencement of the erection of any building, and thereafter, all such grounds shall be maintained and kept up by the owners so as to conform to the beauty of the area in said subdivision.

11. All driveways shall be surfaced with blacktop or concrete within one (1) year after construction of the same.

12. No clothesline exposed to the public view shall be permitted in said subdivision, and no washings, clothes, rugs, curtains, or drapes shall be hung to air or dry in public view.

13. All rubbish, trash, and garbage containers shall be kept in a location which is not exposed to public view.

14. No building or other structure shall be erected, placed or altered on any building site unless the building plans, specifications, and plot plan show the location of such building, have been approved in writing as to conformity and harmony of the external design and color, with the existing structures in the subdivision, and as to the location of the building, with reference to topography, and finished ground elevation by an architectural committee of three (3) individuals appointed by Timberlane Limited, a Limited Partnership Association, the owner of the real estate in the foregoing plot, its successors or assigns. In the event such an architectural committee fails to approve or disapprove said plans and specifications within thirty (30) days after the same have been submitted to it for approval, then such approval shall not be required, provided the design is in harmony with similar structures in the development, and conforms to all of the other covenants, restrictions, and conditions herein set forth.

The foregoing restrictions shall become covenants running with the land forever, and shall be enforceable by injunction or otherwise by any person owning or having an interest in said subdivision.

Invalidation of any of these restrictions by judgment or court order shall in no way affect any of the other provisions, which shall remain in full force and effect.

UNIVERSITY HEIGHTS CONDOMINIUM N° 18

154

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOTS N° 26515 & 26516, UNIVERSITY HEIGHTS SUBDIVISION N° 2

SHEET 1 OF 6
EXHIBIT A

ENGINEER AND SURVEYOR'S CERTIFICATE

UNIVERSITY HEIGHTS CONDOMINIUM NO. 18 is situated in Lots No. 26515 and 26516 of the University Heights Subdivision No. 2 of the Southeast Quarter of Section 34, T-3-S, R-7-E, Bath Township, Allen County, Ohio.

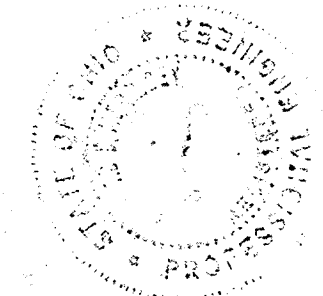
Monuments placed as shown on this Sheet 1 of 6, Exhibit A. Easements and Streets are as shown on said Sheet 1.

We certify that the within drawings designated Exhibit A and consisting of pages numbered consecutively from 1 to 6 correctly represent the buildings as constructed. Unit dimensions and dimensions of limited common areas so far as graphically possible and that there are not encroachments on any abutting premises.

Dated at Lima, Ohio, July 1, 1975.
KOHLI AND KALHER ASSOCIATES, LIMITED

BY Eugene J. Edman
Registered Surveyor No. 6017

BY Richard D. Danziger
Registered Engineer No. 34373



COUNTY RECORDER'S CERTIFICATE

NO. 326072
Filed for record in the Allen County, Ohio, Recorder's Office this 2 day of July, 1975 at 3:43 o'clock P. M. and recorded in Allen County, Plat Book 13 on Page 154.
FEE: \$ 49.80

Bernice Montague
Recorder, Allen County, Ohio

For Declaration of Covenants
See Deed Vol. 565 Page 497.
By Betty Kinzle
Deputy

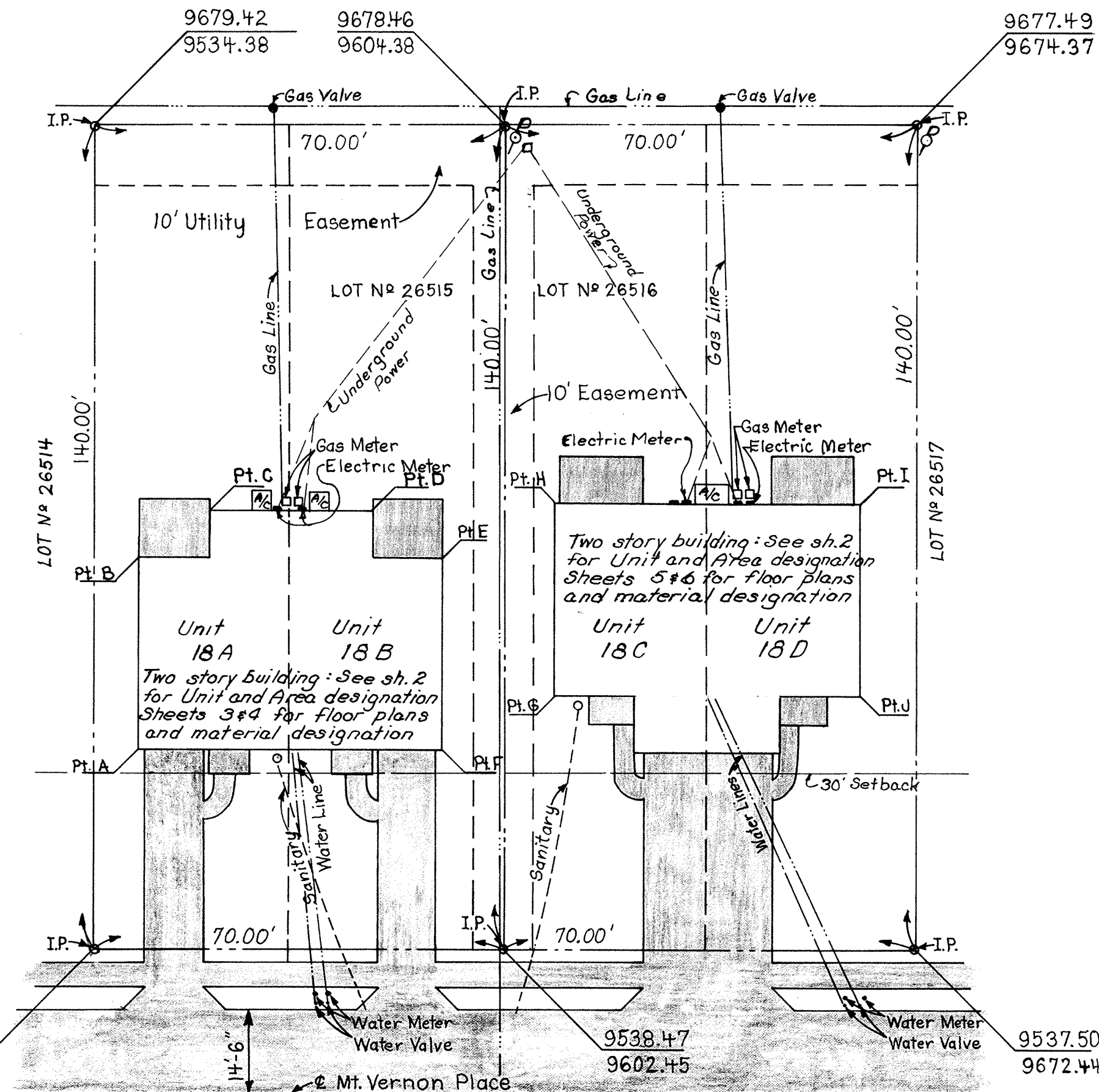
BENCH MARK: Spike in 12" wild cherry tree on the south R. of subdivision Elev. 928.94

326072

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 3:43 O'CLOCK P.M.

JUL 2 1975

RECORDED July 2 1975
Vol. 13 PAGE 154
Bernice Montague
RECORDER
Fee \$ 49.80 By B.H.



Scale: 1" = 20'-0"

COORDINATE LOCATIONS

All coordinates are located with the assumption that the northeast corner of Lot N° 26006 is 10,000.00, 10,000.00
Example for Lot Corners 9487.57 North
9666.41 East
Building Corners Pt. A See Table

BLDG. COORDINATES		
Pt.	North	East
A.	9572.06	9540.56
B.	9605.06	9540.89
C.	9612.94	9552.97
D.	9612.66	9580.93
E.	9604.54	9592.85
F.	9571.54	9592.52
G.	9580.33	9611.10
H.	9613.33	9611.33
I.	9612.95	9663.37
J.	9579.95	9663.13

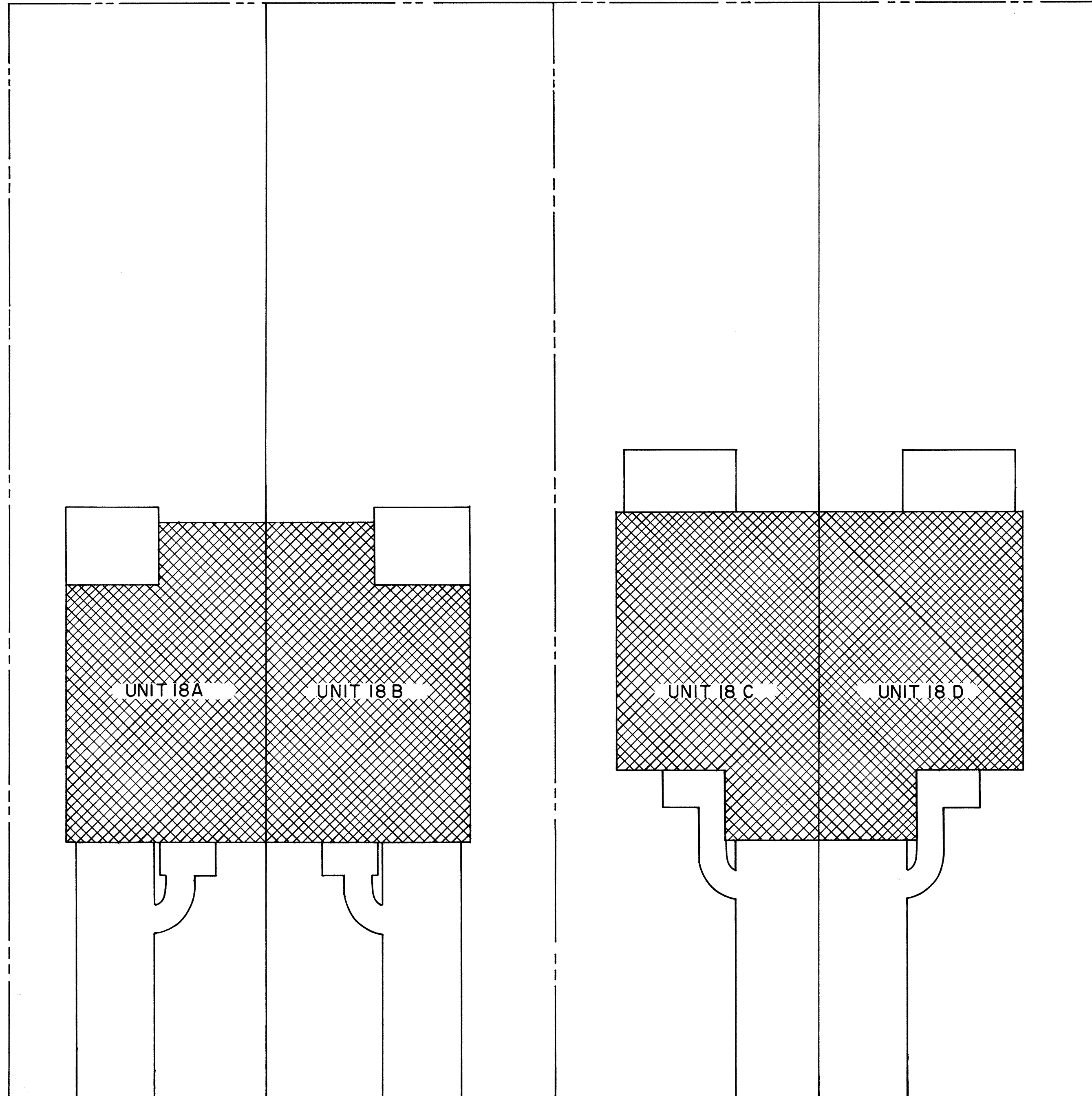
Area	Building Elevations			
	Unit 18A	Unit 18B	Unit 18C	Unit 18D
First Floor Floor	925.69	925.67	926.17	926.17
First Floor Ceiling	933.39	933.34	933.88	933.91
Garage Floor	924.39	924.36	924.86	924.86
Garage Ceiling	933.11	933.13	933.51	933.51
Second Floor Floor	934.13	934.08	934.61	934.60
Second Floor Ceiling	941.88	941.73	942.33	942.35

Approved for Transfer
Allen County Tax Map
Office: R2A Date: 7/2/75

UNIVERSITY HEIGHTS CONDOMINIUM N^o 18 ¹⁵⁵

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio
LOTS N^o 26515 & 26516, UNIVERSITY HEIGHTS SUBDIVISION N^o 2

SHEET 2 OF 6
EXHIBIT A





Dated at Lima, Ohio, July 1, 1975
KOHLI AND KALHER ASSOCIATES, LIMITED

By Eugene J. Kohli
Registered Surveyor No. 6017

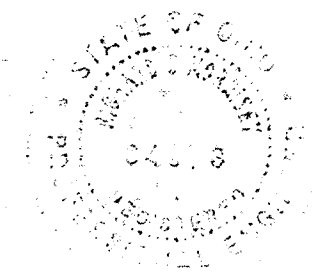
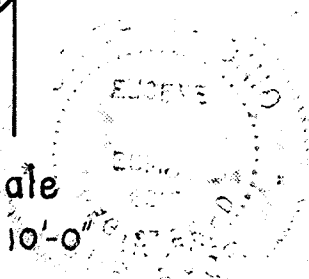
By Richard D. Morrison
Registered Engineer No. 34373

Unit 18A = 1434 S.F.
Unit 18B = 1434 S.F.
Unit 18C = 1730 S.F.
Unit 18D = 1730 S.F.

N

 Designates Unit Area
 Designates Limited Common Area

Scale
1" = 10'-0"

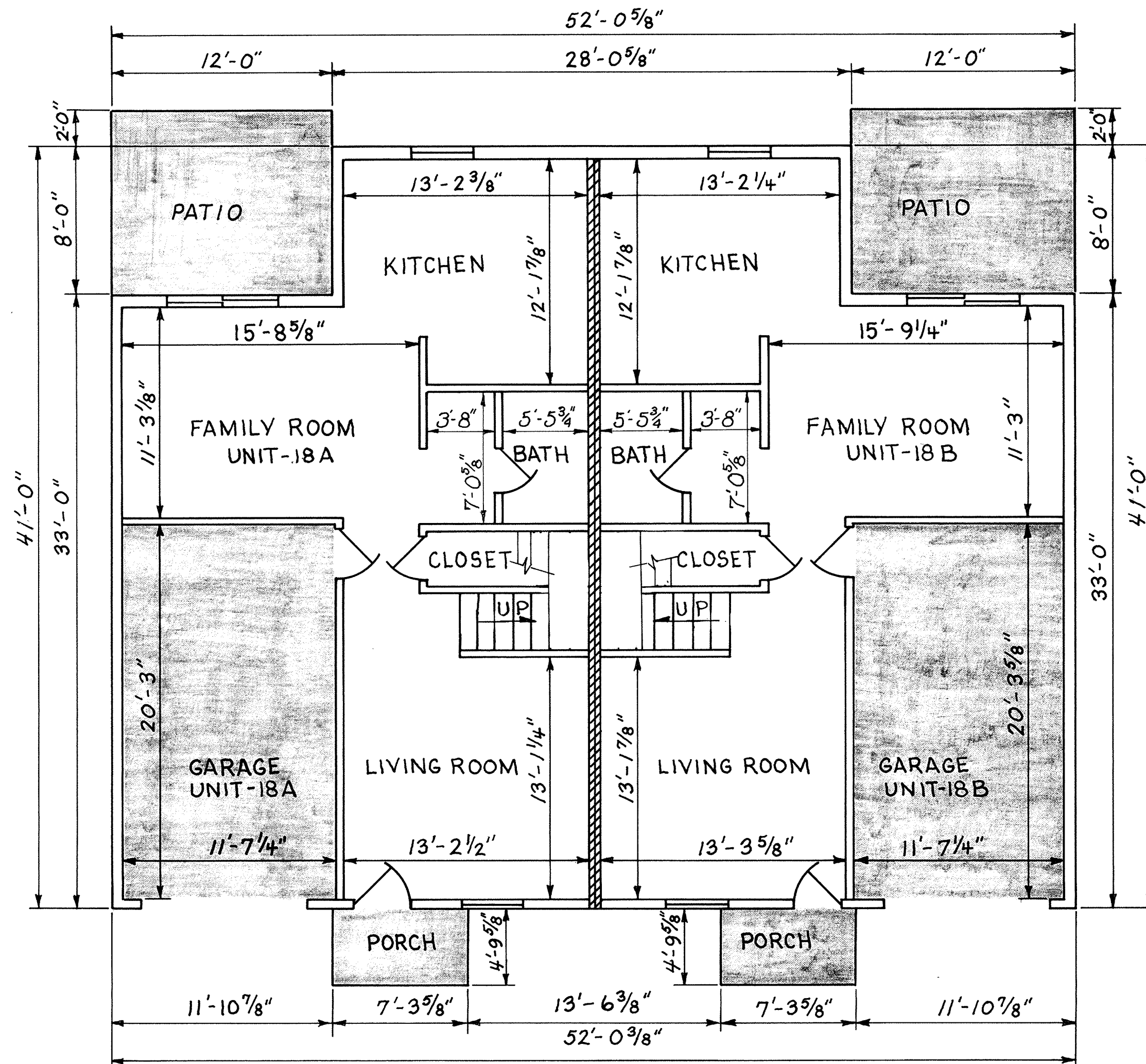


UNIVERSITY HEIGHTS CONDOMINIUM N^o 18 ¹⁵⁶

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOTS N^o 26515 & 26516, UNIVERSITY HEIGHTS SUBDIVISION N^o 2

SHEET 3 OF 6
EXHIBIT A




FIRST FLOOR

LOT N^o 26515

FOUNDATION - 10" x 18" Concrete Footers ; 8" poured-in-place walls.
No basements.

EXTERIOR WALLS - Typical 2" x 4" Studs, 16" O.C. ; Insulation - 1/2" Insulation Board ; 8" Horizontal Aluminum siding, Brick Facing.

INTERIOR PARTITIONS - 2" x 4" Stud Walls and 1/2" drywall ; Garage Partitions 2" x 4" Studs 5/8" Drywall each Side.

 Designates Unit Partition - 4" Insulation, 2" x 4" Staggered Studs 16" O.C., 2 Layers 1/2" Drywall each side 2" x 6" Plate.

 Designates Concrete.

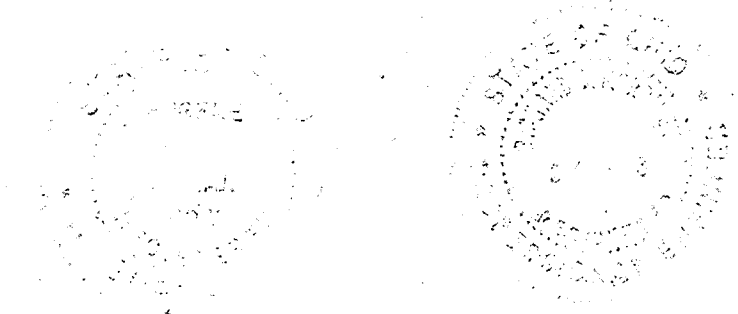
Dated at Lima, Ohio, Sept 1, 1975
KOHLI AND KALIHAN ASSOCIATED, LIMITED

BY Eugene R. Kalihan
Registered Surveyor No. 6017

By Richard D. Kalihan
Registered Engineer No. 34373

N

Scale: 3/16" = 1'-0"

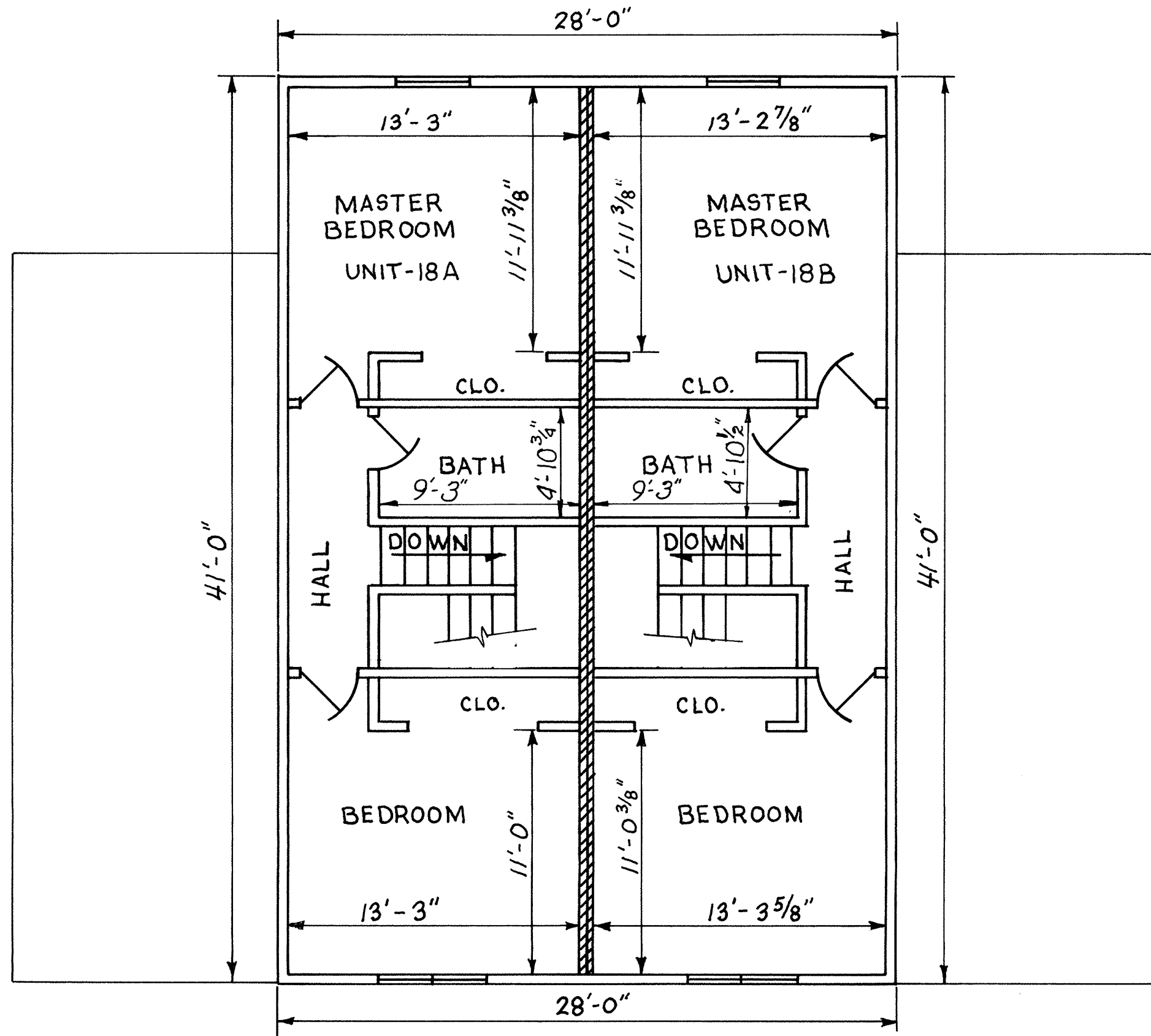


UNIVERSITY HEIGHTS CONDOMINIUM N^o 18 ¹⁵⁷

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOTS N^o 26515 & 26516, UNIVERSITY HEIGHTS SUBDIVISION N^o 2

SHEET 4 OF 6
EXHIBIT A



FLOOR JOISTS - 2"x8"
16" O.C.; Flooring, 3/4" T.&G.
Plywood, Insulation;
Ceiling - Drywall.

ROOF TRUSSES - 24" O.C.
Insulation, Drywall Ceiling.

ROOF SHEATHING - 5/8"
Plywood; Roofing: Asphalt
Shingles.

▨▨▨▨ Designates Unit
Partition 4" Insulated Walls
2"x4" Staggered Studs,
16" O.C., 2 layers 1/2" Drywall
each side, 2"x6" Plate.

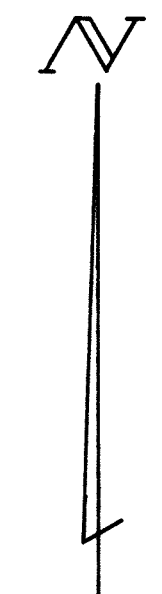
SECOND FLOOR

LOT N^o 26515

Dated at Lima, Ohio, July 1, 1975
KOHLI AND KALHER ASSOCIATES, LIMITED

By Eugene P. Kohli
Registered Surveyor No. 6017

By Richard D. D. Morrison
Registered Engineer No. 34373



Scale: 3/16" = 1'-0"

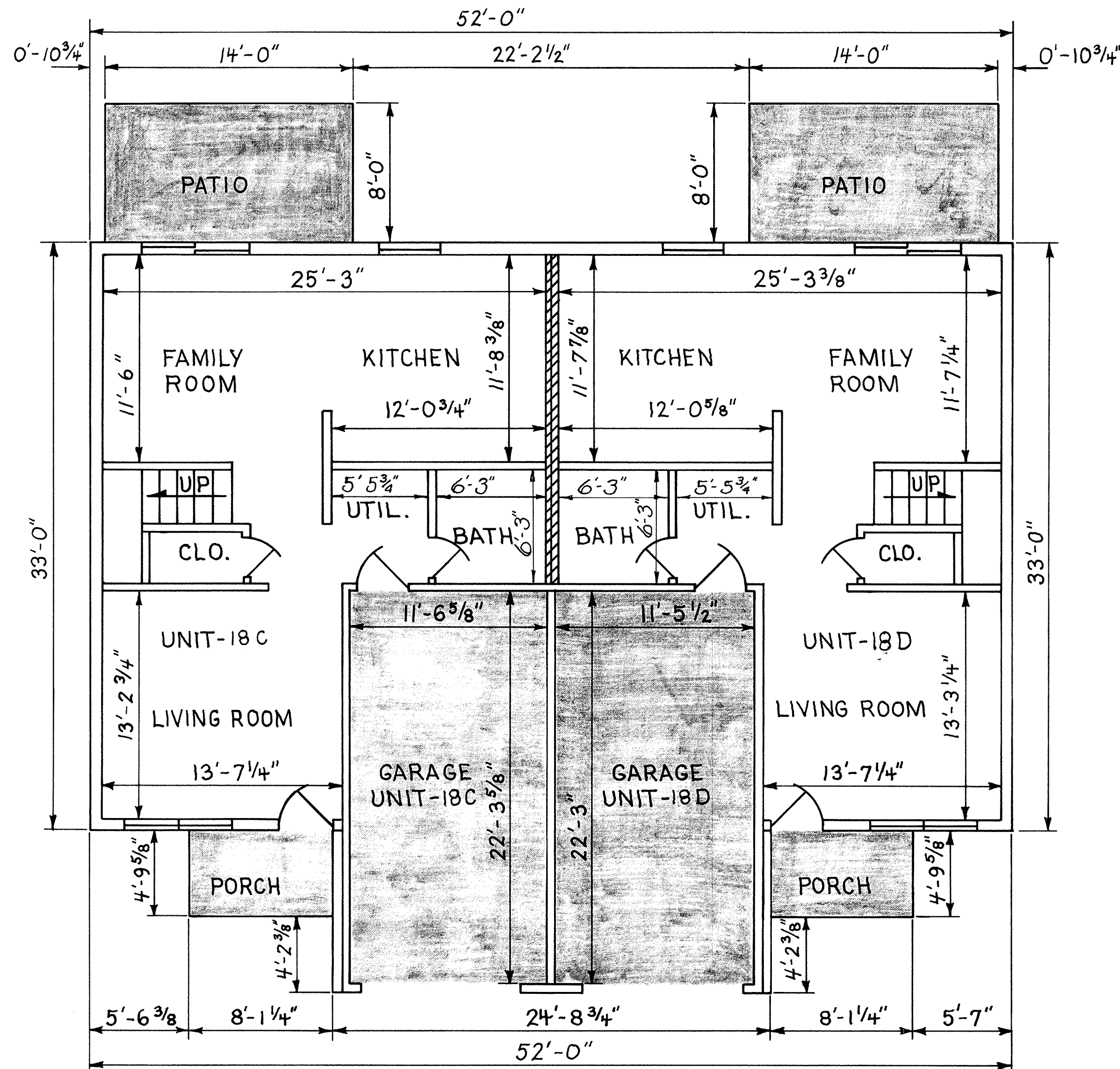


UNIVERSITY HEIGHTS CONDOMINIUM N^o18 158

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOTS N^o 26515 & 26516, UNIVERSITY HEIGHTS SUBDIVISION N^o2

SHEET 5 OF 6
EXHIBIT A



FOUNDATION - 10"x18" Concrete Footers; 8" poured-in-place walls. No basement.

EXTERIOR WALLS - Typical 2"x9" Studs, O.C.; Insulation - 1/2" Insulation Board; 8" Horizontal Aluminum siding, Brick Facing.

INTERIOR PARTITIONS - 2"x4" Stud Walls and 1/2" drywall; Garage Partitions 2"x4" Studs 5/8" Drywall each side.

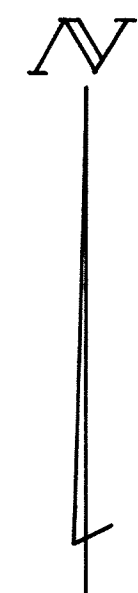
Designates Unit Partition - 4" Insulation, 2"x4" Staggered Studs 1/16" O.C., 2 Layers 1/2" Drywalls each side 2"x6" Plate.

Designates Concrete

Dated at Lima, Ohio, July 1, 1975
KOHLI AND KALHER ASSOCIATES, LIMITED

By Eugene K. Kohli
Registered Surveyor No. 6017

By Richard D. Morrison
Registered Engineer No. 34373



Scale: 3/16" = 1'-0"

FIRST FLOOR

LOT N^o 26516

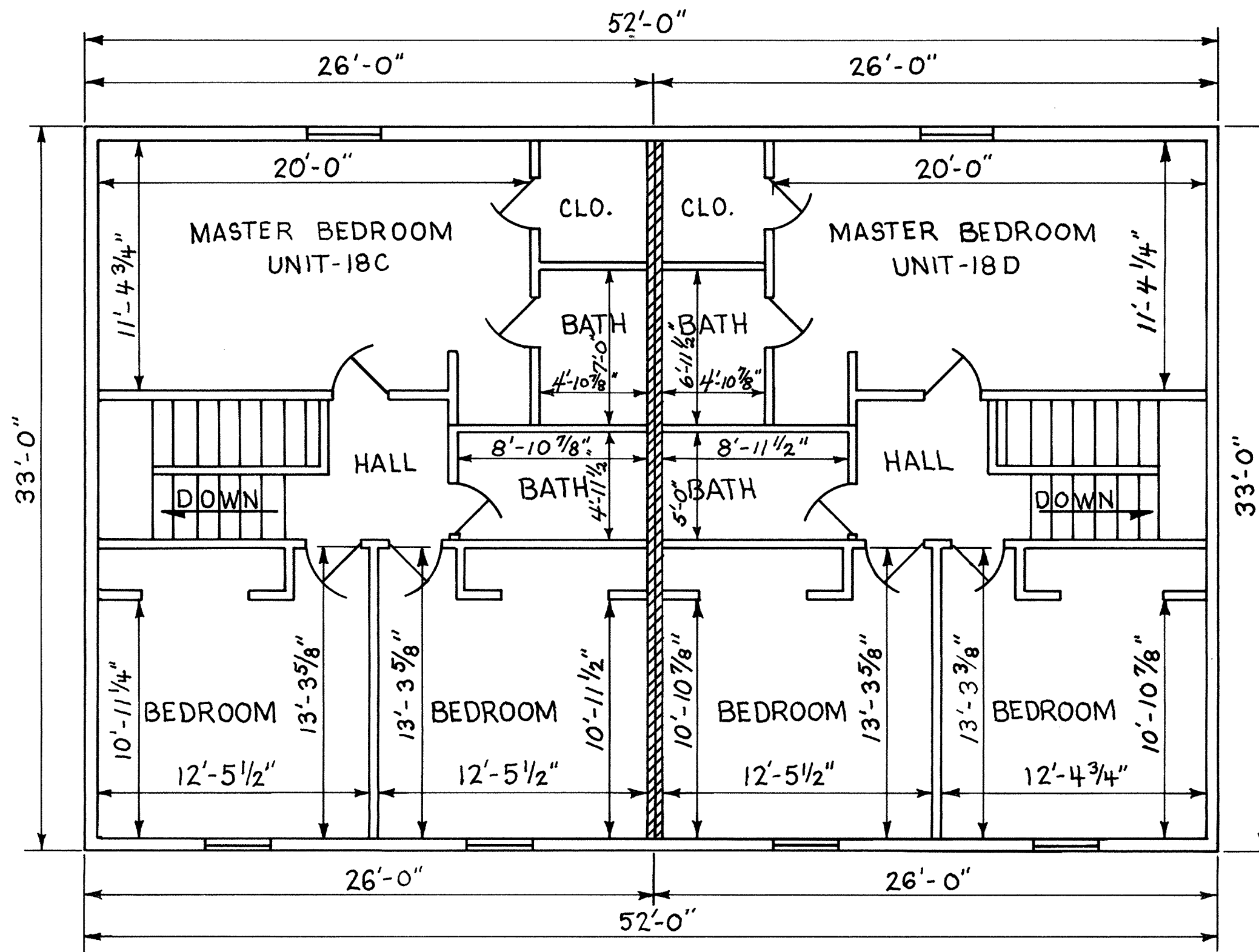
UNIVERSITY HEIGHTS CONDOMINIUM N^o 18

159

S.E. 1/4, Sec. 34, Bath Twp., Allen County, Ohio

LOTS N^o 26515 & 26516, UNIVERSITY HEIGHTS SUBDIVISION N^o 2

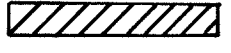
SHEET 6 OF 6
EXHIBIT A



FLOOR JOISTS - 2"x8",
16" O.C.; Flooring, 3/4" T.&G
Plywood, Insulation; Ceiling -
Drywall.

ROOF TRUSSES - 24" O.C.
Insulation, Drywall Ceiling.

ROOF SHEATHING - 5/8"
Plywood; Roofing: Asphalt
Shingles.

 Designates Unit
Partition 4" Insulated Walls
2"x4" Staggered Studs,
16" O.C., 2 layers 1/2" Drywall
each side, 2"x6" Plate.

SECOND FLOOR

LOT N^o 26516

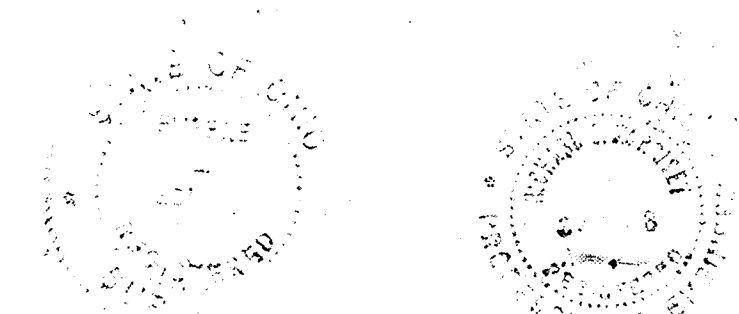
Dated at Lima, Ohio, June 1, 1975
KOHLI AND KALHER ASSOCIATES, LIMITED

By Eugene E. Kohli
Registered Surveyor No. 6017

By Richard D. Morrison
Registered Engineer No. 34373



Scale: 3/16" = 1'-0"



STONEHENGE CONDOMINIUM, SECTION # 1

N.E. 1/4 Sec. 23, T-3-S, R-6-E

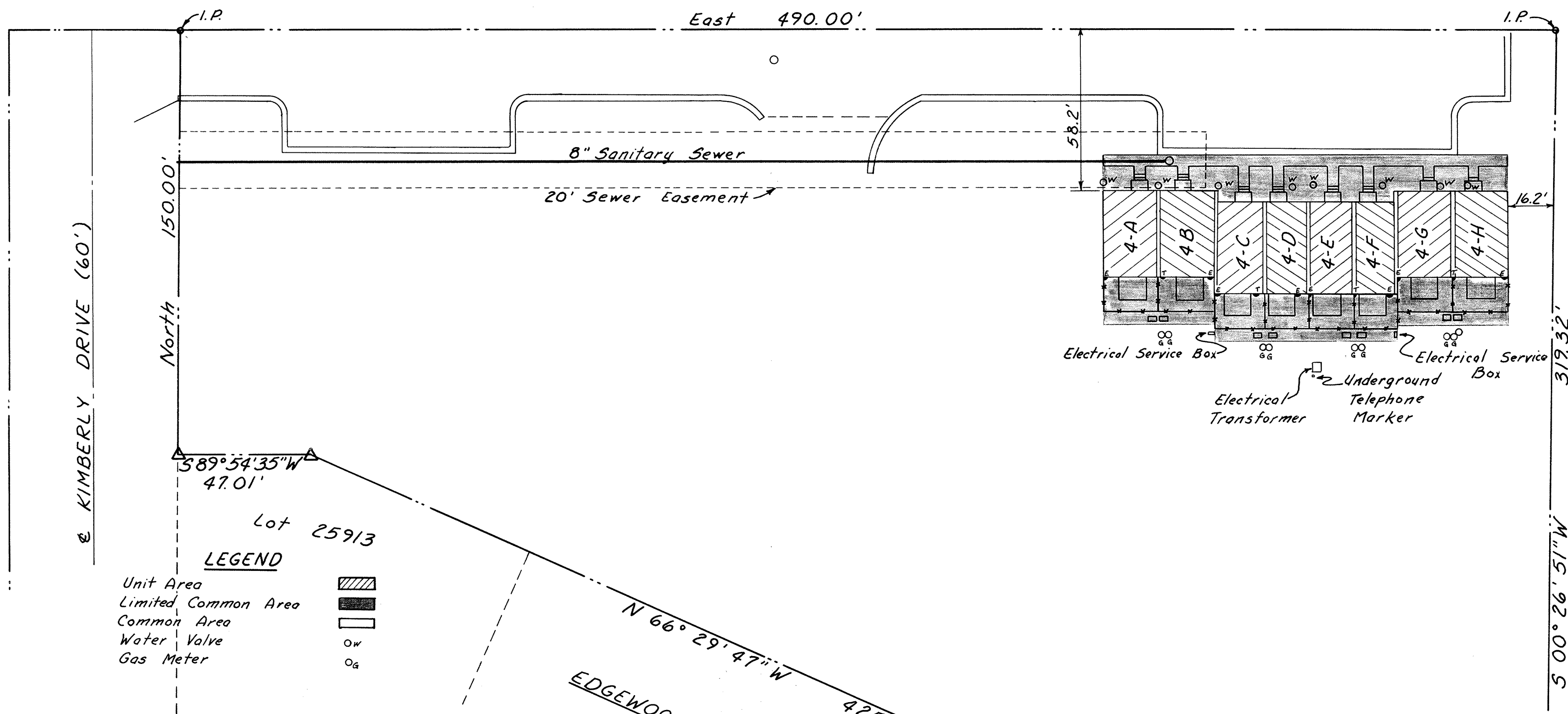
AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO

For Declaration of Removal of Property of Stonehenge Condominium
From the Provisions of Condominium Law See Deed Vol. #623 Page #349.

160



Scale: 1" = 30'



LEGEND

Unit Area	
Limited Common Area	
Common Area	
Water Valve	
Gas Meter	

Being a parcel of land situate in the northeast quarter of Section 23, T-3-S, R-6-E, American Township, Allen County, Ohio, more particularly described as follows:

Commencing at the southeast corner of the northeast quarter of the northeast quarter of said Section 23; thence S 89° 52' 55" W with the south line of the northeast quarter of said northeast quarter (centerline of Edgewood Drive), 1329.48 feet to the East line of Edgewood Estates No. 4-A Subdivision; thence N 00° 27' 55" E with said East line, 170.00 feet to the northeast corner of Lot No. 25918 in Edgewood Estates No. 4-A Subdivision; thence S 89° 52' 53" W with the North line of said Lot No. 25918, 2.23 feet to the PLACE OF BEGINNING; thence continuing S 89° 52' 55" W with said north lot line 50.76 feet; thence N 66° 29' 47" W with the northeast line of Edgewood Estates No. 4-A Subdivision, 425.00 feet; thence S 89° 54' 35" W with the north line of Lot No. 25913 in said subdivision, 47.01 feet to the east line of Kimberly Drive; thence NORTH with said east line extended 150.00 feet; thence EAST at right angles to the east line of said Kimberly Drive extended 490.00 feet; thence S 00° 26' 51" W, 319.32 feet to the PLACE OF BEGINNING, containing 115,120 square feet or 2.643 acres more or less subject to all easements of record.

I hereby certify that this plat represents a true and complete survey made under supervision in February, 1972, and that all monuments shown will be in place within twelve (12) months from the date of recording of the plat.

For Declaration of Stonehenge Condominiums see Deed Vol. 566 Page 395.
For By-Laws & Code Regulations see Deed Vol. 566 Page 400

Theodore A. Metzger
Registered Surveyor No. 5514
Kohli and Kalher Associates, Limited
Lima, Ohio



CERTIFIED STATEMENT
OF
REGISTERED SURVEYOR
AND
LICENSED PROFESSIONAL ENGINEER

The Stonehenge Condominium is situated in the Northeast Quarter (1/4) of Section Twenty-three (23), Township Three (3) South, Range Eight (8) East, American Township, Allen County, Ohio.

We hereby certify that the within drawings designated as Exhibit A and consisting of pages numbered consecutively from 1 to 4 correctly and accurately show the buildings as constructed, and the unit dimensions, dimensions of common areas and dimensions of limited common areas and facilities so far as is graphically possible, and that there are no encroachments on any abutting premises.

Dated at Lima, Ohio, this 22nd day of July, 1975.

Theodore A. Metzger
Theodore A. Metzger
Registered Surveyor No. 5514

Robert F. Grimes
Robert F. Grimes
Licensed Professional Engineer
No. 28816



Approved for Transfer
Allen County Tax Map Office
Ralph S. Stearns 7/22/75

CERTIFIED STATEMENT
OF
REGISTERED SURVEYOR
AND
LICENSED PROFESSIONAL ENGINEER

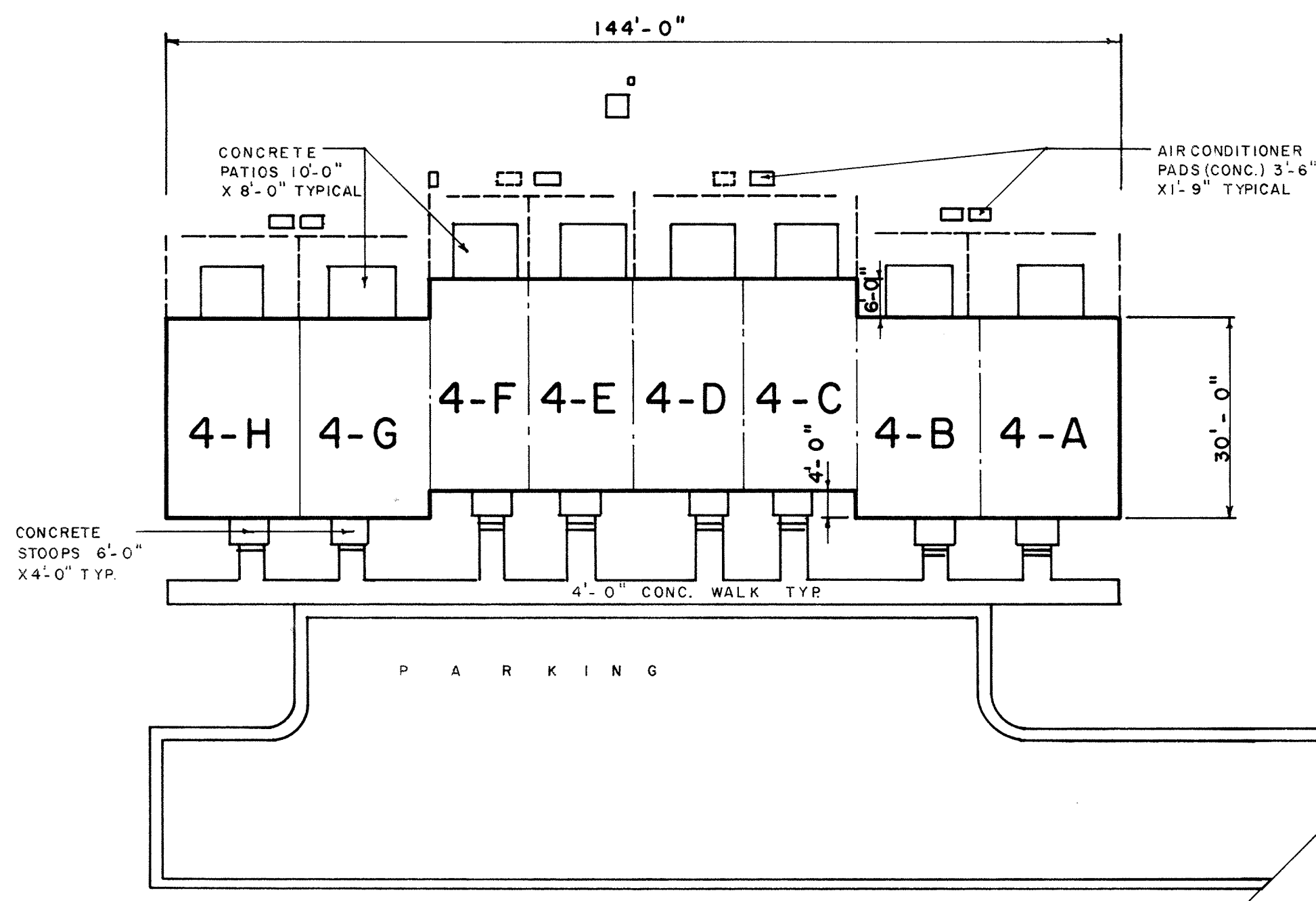
The Stonehenge Condominium is situated in the Northeast Quarter (¼) of Section twenty-three (23), Township Three (3) South, Range Eight (8) East, American Township, Allen County, Ohio.

We hereby certify that the within drawings designated as Exhibit A and consisting of pages numbered consecutively from 1 to 4 correctly and accurately show the buildings as constructed, and the unit dimensions, dimensions of common areas and dimensions of limited common areas and facilities so far as is graphically possible, and that there are no encroachments on any abutting premises.

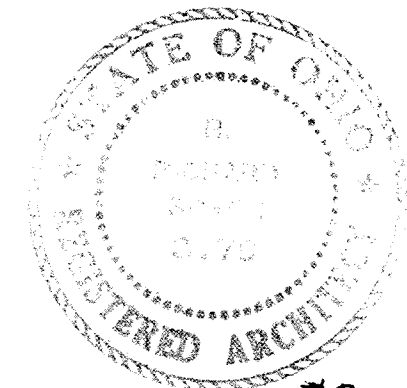
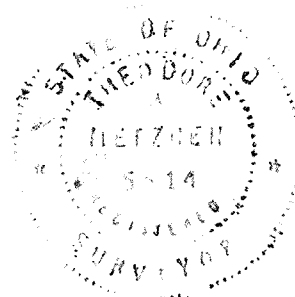
Dated at Lima, Ohio, this 22nd day of July, 1975.

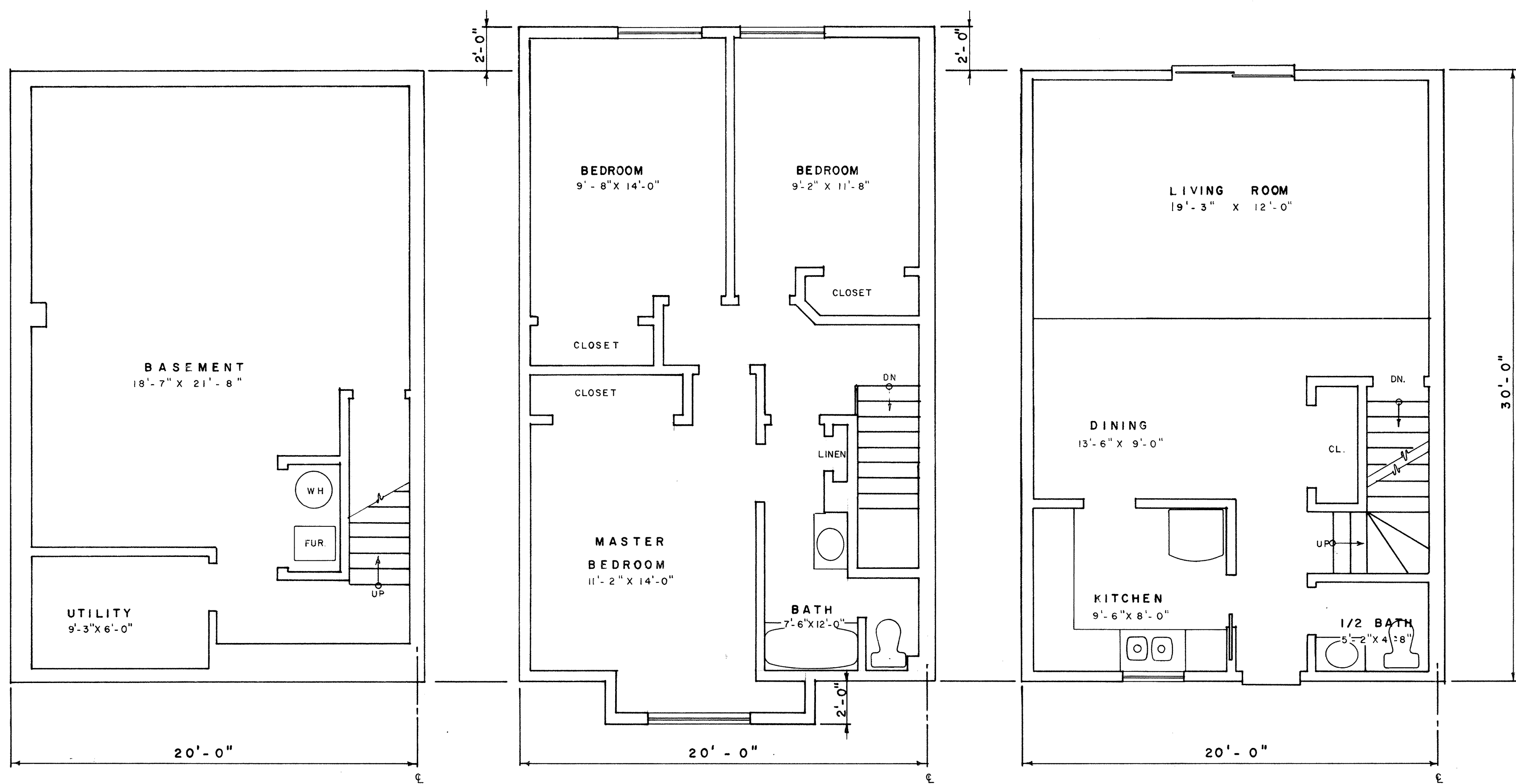
Theodore A. Metzger
Theodore A. Metzger
Registered Surveyor No. 5514

Robert F. Grimes
Robert F. Grimes
Licensed Professional Engineer No. 28816



R. RICHARD ROYCE, ARCHITECT
STONEHENGE CONDOMINIUM, SECTION #1
20' - 0"
BUILDING NO. 4





CERTIFIED STATEMENT
 OF
 REGISTERED SURVEYOR
 AND
 LICENSED PROFESSIONAL ENGINEER

R. RICHARD ROYCE, ARCHITECT
STONEHENGE CONDOMINIUM, SECTION #1
 1/4" = 1'-0"

THREE B.R. TOWNHOUSE
 TYPICAL UNITS NO. 4A, 4B,
 4G AND 4H

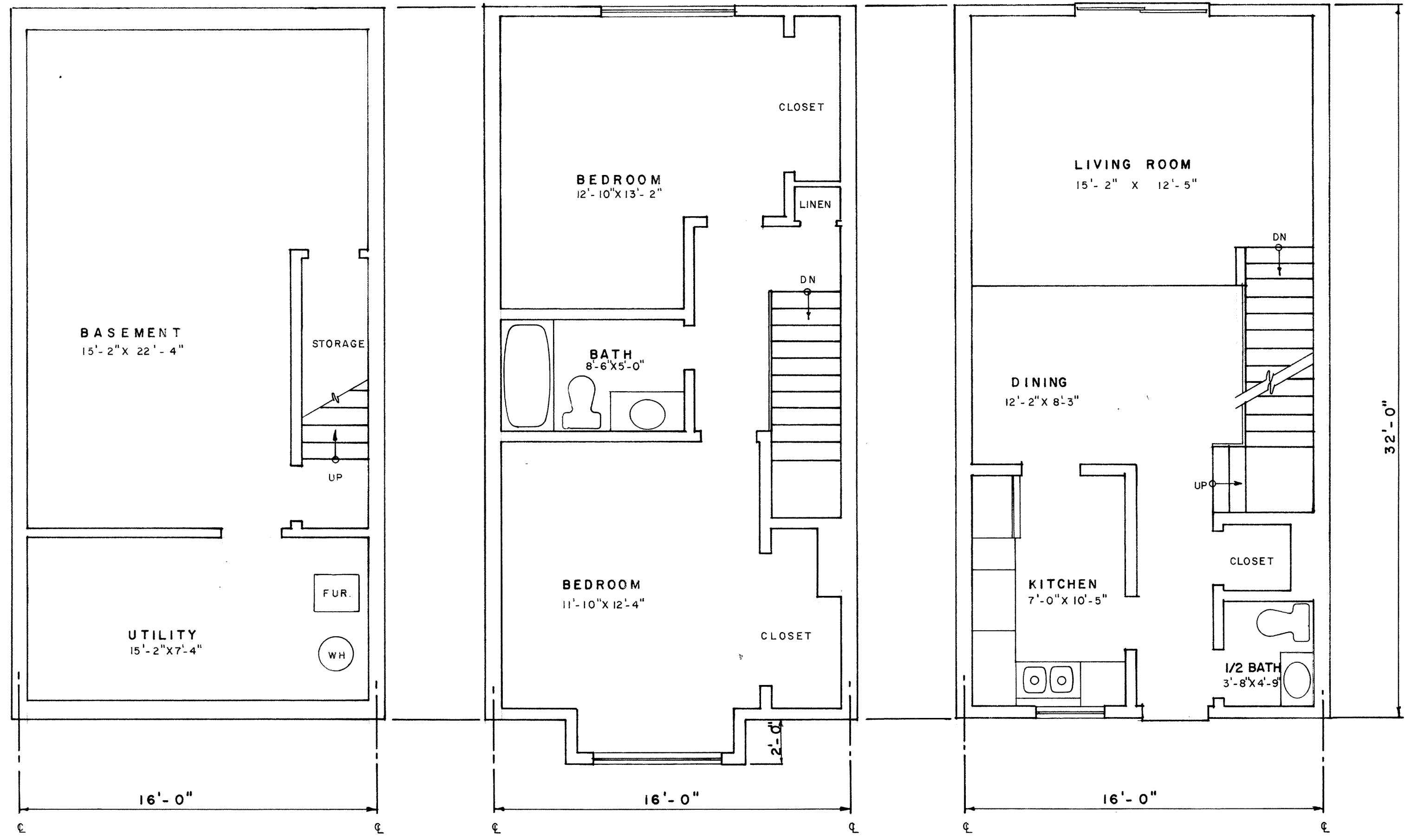
The Stonehenge Condominium is situated in the Northeast Quarter (¼) of Section Twenty-three (23), Township Three (3) South, Range Eight (8) East, American Township, Allen County, Ohio.

We hereby certify that the within drawings designated as Exhibit A and consisting of pages numbered consecutively from 1 to 4 correctly and accurately show the buildings as constructed, and the unit dimensions, dimensions of common areas and dimensions of limited common areas and facilities so far as is graphically possible, and that there are no encroachments on any abutting premises.

Dated at Lima, Ohio, this 22nd day of July, 1975.

Theodore A. Metzger
 Theodore A. Metzger
 Registered Surveyor No. 5514

Robert F. Grimes
 Robert F. Grimes
 Licensed Professional Engineer No. 28816



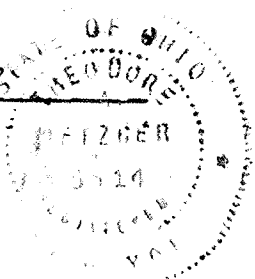
CERTIFIED STATEMENT
OF
REGISTERED SURVEYOR
AND
LICENSED PROFESSIONAL ENGINEER

The Stonehenge Condominium is situated in the Northeast Quarter (1/4) of Section Twenty-three (23), Township Three (3) South, Range Eight (8) East, American Township, Allen County, Ohio.

We hereby certify that the within drawings designated as Exhibit A and consisting of pages numbered consecutively from 1 to 4 correctly and accurately show the buildings as constructed, and the unit dimensions, dimensions of common areas and dimensions of limited common areas and facilities so far as is graphically possible, and that there are no encroachments on any abutting premises.

Dated at Lima, Ohio, this 22nd day of July, 1975.

Theodore A. Metzger
Theodore A. Metzger
Registered Surveyor No. 5514



Robert F. Grimes
Robert F. Grimes
Licensed Professional Engineer No. 28816



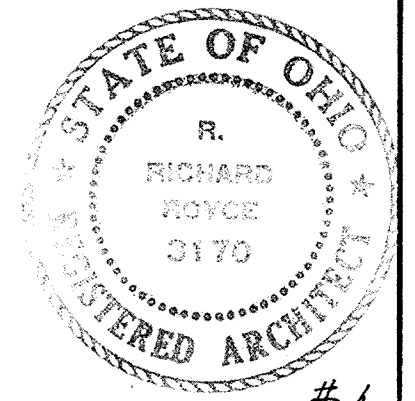
R. RICHARD ROYCE, ARCHITECT
STONEHENGE CONDOMINIUM, SECTION #1

TWO BEDROOM TOWNHOUSE
TYPICAL UNITS NO. 4C, 4D,
4E AND 4F

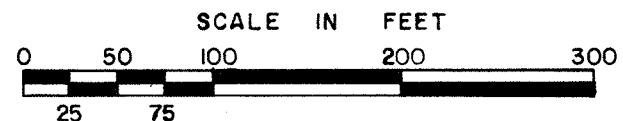
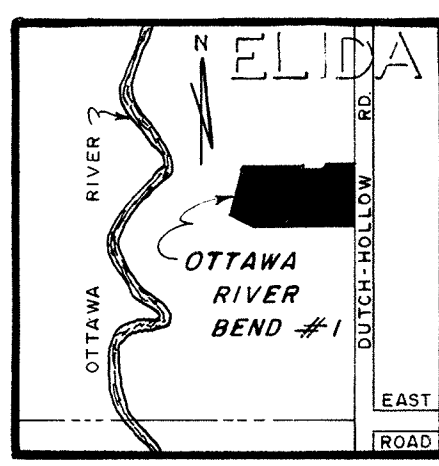
324774
RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 1:42 O'CLOCK P.M.

JUL 23 1975

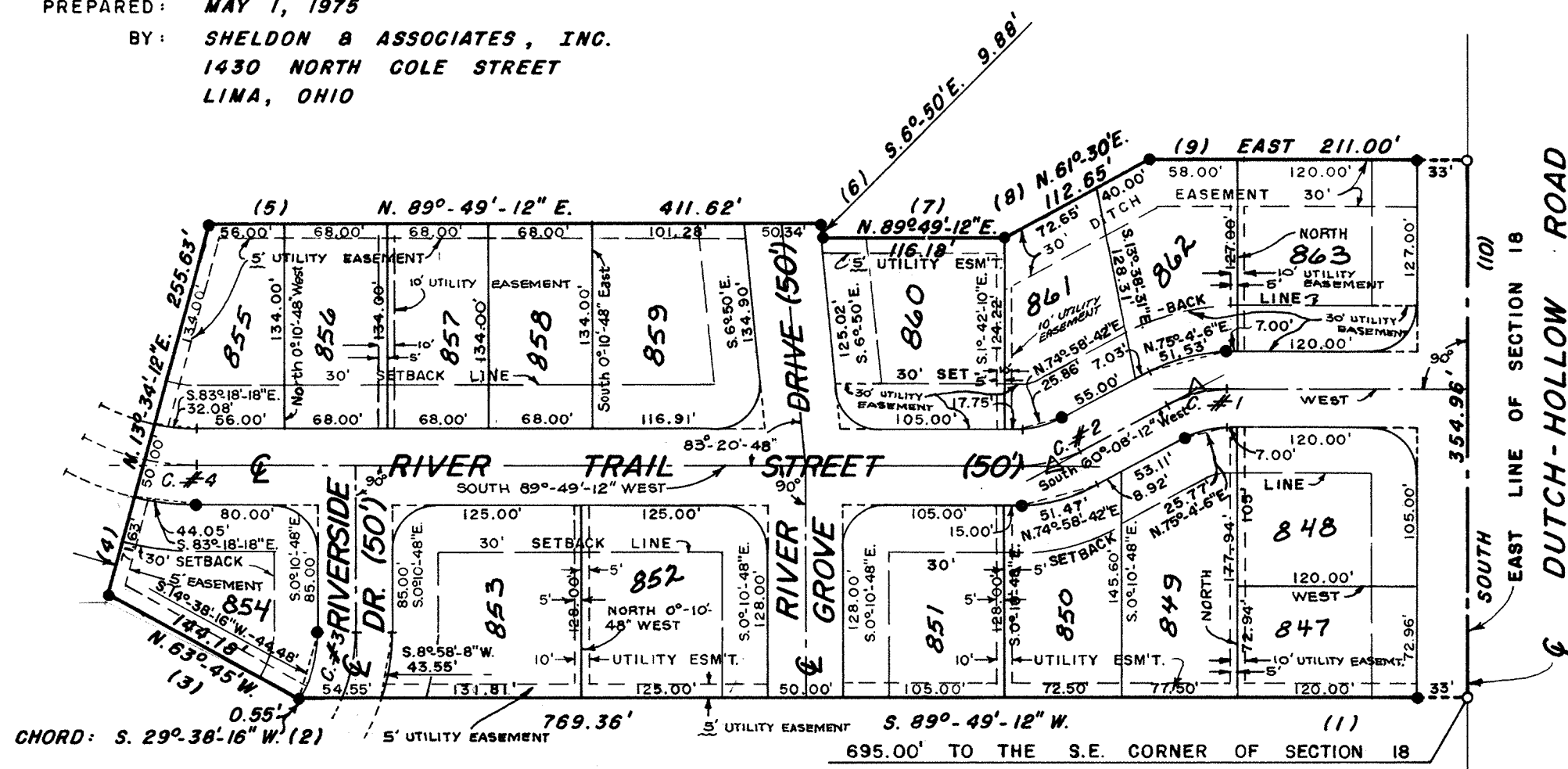
RECORDED Jul 23 1975
PLAT VOL. 13 PAGE 160
Bernice Montague
REGISTRAR
Fee # 3320



OTTAWA RIVER BEND #1 in the S.E. 1/4 of Section 18, T3S-R6E, American Township, Allen County, Ohio



PREPARED: MAY 1, 1975
BY: SHELDON & ASSOCIATES, INC.
1430 NORTH COLE STREET
LIMA, OHIO



CERTIFICATION BY SURVEYOR

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN MAY, 1975, AND THAT ALL MARKERS ARE OR WILL BE IN PLACE BY SIX (6) MONTHS FROM THE DATE OF RECORDING OF THE PLAT.

- COMMENCING FOR REFERENCE AT THE SOUTHEAST CORNER OF SECTION 18, THIS POINT ALSO BEING ON THE CENTERLINE OF DUTCH-HOLLOW ROAD -
- THENCE NORTH ALONG THE CENTERLINE OF DUTCH-HOLLOW ROAD & THE EAST LINE OF SECTION 18, 695.00' TO THE PLACE OF BEGINNING FOR THE PARCEL TO BE CONVEYED BY THIS INSTRUMENT -
- (1) THENCE FROM THIS PLACE OF BEGINNING, SOUTH 89°-49'-12" WEST, 769.36 FEET TO A CONCRETE MONUMENT SET ON THE WESTERLY RIGHT-OF-WAY LINE OF RIVERSIDE DRIVE, PASSING A CONCRETE MONUMENT SET ON THE WESTERLY RIGHT-OF-WAY LINE OF DUTCH-HOLLOW ROAD -
 - (2) THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 86.96 FEET, THE CHORD OF WHICH IS: SOUTH 29°-38'-16" WEST, 0.55 FEET -
 - (3) THENCE NORTH 63°-45' WEST, 144.18 FEET TO A CONCRETE MONUMENT SET -
 - (4) THENCE NORTH 13°-34'-12" EAST, 255.63 FEET TO A CONCRETE MONUMENT SET -
 - (5) THENCE NORTH 89°-49'-12" EAST, 411.62 FEET TO A CONCRETE MONUMENT SET -
 - (6) THENCE SOUTH 6°-50' EAST, 9.88 FEET TO A CONCRETE MONUMENT SET -
 - (7) THENCE NORTH 89°-49'-12" EAST, 116.18 FEET TO A CONCRETE MONUMENT SET -
 - (8) THENCE NORTH 61°-30' EAST, 112.65 FEET TO A CONCRETE MONUMENT SET -
 - (9) THENCE EAST, 211.00 FEET TO THE CENTERLINE OF DUTCH-HOLLOW ROAD & THE EAST LINE OF SECTION 18, PASSING A CONCRETE MONUMENT SET ON THE WESTERLY RIGHT-OF-WAY LINE OF DUTCH-HOLLOW ROAD -
 - (10) THENCE SOUTH ALONG THE CENTERLINE OF DUTCH-HOLLOW ROAD & THE EAST LINE OF SECTION 18, 354.95 FEET TO THE PLACE OF BEGINNING.

CURVE # 1	CURVE # 2	CURVE # 3	CURVE # 4
Δ = 29°-51'-48"	Δ = 29°-41'-0"	Δ = 30°-00'-00"	Δ = 27°-30'-00"
R = 75.00'	R = 75.47'	R = 111.96	R = 159.00'
T = 20.00'	T = 20.00'	T = 30.00'	T = 38.91'
L _c = 39.09'	L _c = 39.10'	L _c = 58.62'	L _c = 76.32'

Norman R. Redick
Norman R. Redick, P.E., L.S.
Reg. Surveyor #5942

NOTE: ALL STREET CORNER INTERSECTIONS TO HAVE 30.00' RADII.
FOR RESTRICTIONS SEE SHEET 2 OF 2.

CONTAINING IN ALL 6.40 ACRES OF LAND, MORE OR LESS.
SUBJECT TO ALL LEGAL HIGHWAYS & EASEMENTS OF RECORD.
NOTE: ALL BEARINGS REFER TO THE CENTERLINE OF DUTCH-HOLLOW ROAD & THE EAST LINE OF SECTION 18 AS BEING SOUTH.

OWNERS DEDICATION AND ACKNOWLEDGEMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN HEREON COMPRISING A TOTAL OF 1.51 ACRES, TO THE PUBLIC USE FOREVER. EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, OR OTHER UTILITY LINES OR SERVICES, AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

WITNESS *[Signature]*
[Signature]
OWNERS *David W. Wood*
[Signature]

STATE OF OHIO
S. S.

BE IT REMEMBERED THAT ON THIS 15th DAY OF May 1975 PERSONALLY CAME THE SAID OWNERS, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Norman R. Redick
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO
MY COMMISSION EXPIRES MAY 26, 1977

APPROVAL BY THE PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE LIMA-ALLEN COUNTY REGIONAL PLANNING COMMISSION ON May 22, 1975. THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THIS APPROVAL.

CERTIFIED *[Signature]*
DIRECTOR LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

LIMA-ALLEN COUNTY GENERAL HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE LIMA-ALLEN COUNTY GENERAL HEALTH DISTRICT

[Signature]
DIRECTOR, LIMA-ALLEN COUNTY
GENERAL HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS TRANSFERRED ON August 5, 1975

[Signature]
ALLEN COUNTY AUDITOR

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON August 5, 1975, AND THAT IT WAS RECORDED ON Aug 5, 1975 IN VOL. 13, PAGE 167. PLAT RECORDS OF ALLEN COUNTY, OHIO FEE 24.90

[Signature]
ALLEN COUNTY RECORDER

ACCEPTANCE BY COUNTY ENGINEER

DEDICATION OF THE LAND SHOWN ON THIS PLAT FOR STREETS, ROADS, OR OTHER PUBLIC PURPOSES IS HEREBY ACCEPTED AS OF _____, 19____.

ALLEN COUNTY ENGINEER

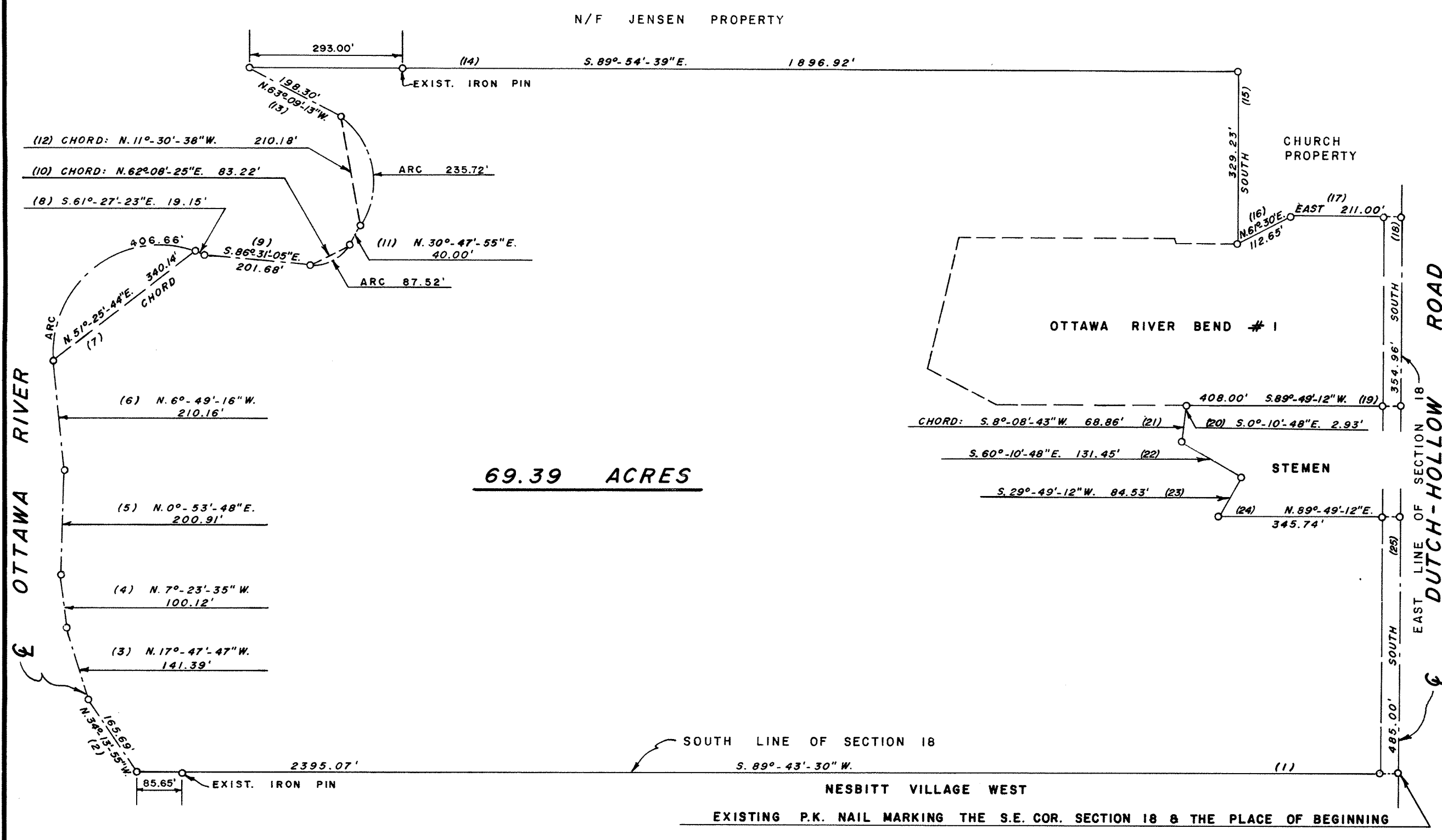
Approved For Transfer
Allen County Tax Map
Office: GRR Date 8/5/1975



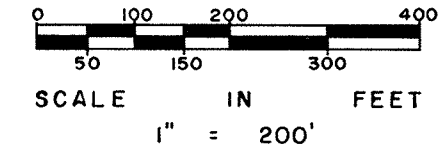
RESTRICTIONS OTTAWA RIVER BEND # 1

1. Said lots shall be used for residence purposes only, and shall not be used for any trade, business or industrial purposes, except for home workshops and home greenhouses incidental to the residential use.
2. No residential building shall be erected, altered, placed or permitted to remain on any lot which shall have a ground floor area of the main structure, exclusive of open porches, verandas, porte cocheres, and garage of less than 1000 square feet.
3. No old buildings or structures shall be moved onto any of the building plots in said subdivision and no structure of a temporary character, trailer, basement, tent, shack, garage or other outbuilding shall be used on any lot at any time as a residence, either temporarily or permanently. All construction of any kind shall be of new material.
4. No wall, fence or hedge shall be planted or erected on any building site which shall exceed six feet in height from ground level.
5. No animals, livestock or poultry shall be kept or maintained on any part of this subdivision except that ordinary household pets may be kept, provided they are not kept, bred or maintained for any commercial purpose, and do not constitute an annoyance or nuisance.
6. No nuisance, advertising signs, billboards and/or other advertising devices except such as pertain to the sale of land upon which said sign is located shall be permitted on said lots, nor shall said lots be used in any way which may endanger the health or unreasonably distract the quiet of any other adjacent lots.
7. No intoxicating beverages or habit-producing drugs shall be manufactured or sold nor shall commercial gambling be permitted in said subdivision.
8. Nothing shall be permitted on said lots which may be or become detrimental to a good residential neighborhood.
9. Enforcement of the within conditions or restrictions shall be by proceedings at law in equity against any person or persons violating or attempting to violate the same, either to restrain violation or to recover damage.
10. Invalidation of any of these covenants by judgement or court order shall in no wise affect any of the other provisions which shall remain in full force and effect.
11. The foregoing restrictions, covenants and conditions shall run with the land and shall be binding on all future owners of all building sites, and all persons claiming under them until January 1, 1994, after which time said covenants, conditions, and three-fourths majority of the building sites may, in writing, change, modify, alter, amend or annul any of the other restrictions, reservations or conditions at any time.

PLAT OF A SURVEY 146
 OF
 DEDICATORS LAND
 FOR
OTTAWA RIVER BEND #1
 IN THE S.E. 1/4 OF SECTION 18,
 T3S-R6E, AMERICAN TOWNSHIP,
 ALLEN COUNTY, OHIO

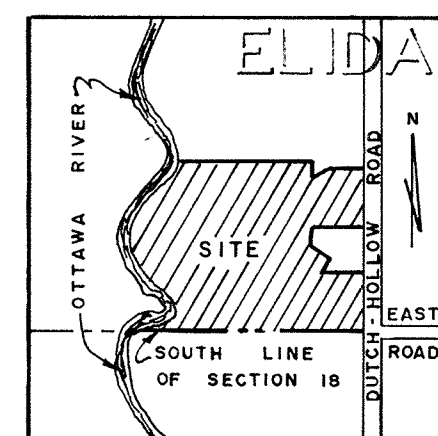


69.39 ACRES



DATE DWN. : 7/7/75
 DWN. BY : DRF

PREPARED BY: **SHELDON & ASSOC., INC.**
 1430 NORTH COLE STREET
 LIMA, OHIO



CERTIFICATION

I hereby certify that in March 1974, I surveyed the following described land in the southeast 1/4 of Section 18, Township 3 South, Range 6 East, American Township, Allen County, Ohio and that this plat was prepared in accordance with Senate Bill #347 effective September 30, 1974.

DESCRIPTION

Commencing for reference at an existing P.K. nail marking the southeast corner of Section 18, the centerline of Dutch-Hollow Road and the place of beginning for the parcel to be conveyed by this instrument -

(1) Thence from this place of beginning south 89°-43'-30" west, along the south line of Section 18, 2395.07 feet to the centerline of the Ottawa River -

Thence along the centerline of the Ottawa River with the following courses -

(2) north 34°-13'-55" west, 165.69 feet -

(3) north 17°-47'-47" west, 141.39 feet -

(4) north 7°-23'-35" west, 100.12 feet -

(5) north 0°-53'-48" east, 200.91 feet -

(6) north 6°-49'-16" west, 210.16 feet -

(7) Along a curve to the right with a radius of 200.00 feet and an arc length of 406.66 feet the chord of which is north 51°-25'-44" east, 340.14 feet -

(8) south 61°-27'-23" east, 19.15 feet -

(9) south 86°-31'-05" east, 201.68 feet -

(10) Along a curve to the left with a radius of 80.00 feet and an arc length of 87.52 feet the chord of which is north 62°-08'-25" east, 83.22 feet -

(11) north 30°-47'-55" east, 40.00 feet -

(12) Along a curve to the left with a radius of 143.75 feet and an arc length of 235.72 feet the chord of which is north 11°-30'-38" west, 210.18 feet -

(13) north 63°-09'-13" west, 198.30 feet -

(14) Thence south 89°-54'-39" east, 1896.92 feet -

(15) Thence south, 329.23 feet -

(16) Thence north 61°-30' east, 112.65 feet -

(17) Thence east, 211.00 feet to the east line of Section 18 and the centerline of Dutch-Hollow Road -

(18) Thence south, along the east line of Section 18 and the centerline of Dutch-Hollow Road, 354.96 feet -

(19) Thence south 89°-49'-12" west 408.00 feet -

(20) Thence south 0°-10'-48" east, 2.93 feet -

(21) Thence along a curve to the right with a radius of 213.00 feet the chord of which is south 8°-08'-43" west, 68.86 feet -

(22) Thence south 60°-10'-48" east, 131.45 feet -

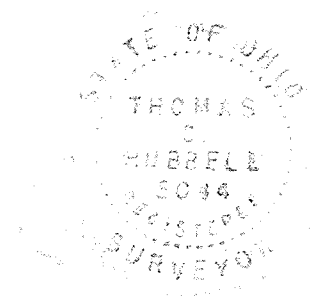
(23) Thence south 29°-49'-12" west, 84.53 feet -

(24) Thence north 89°-49'-12" east, 345.74 feet to the east line of Section 18 and the centerline of Dutch-Hollow Road -

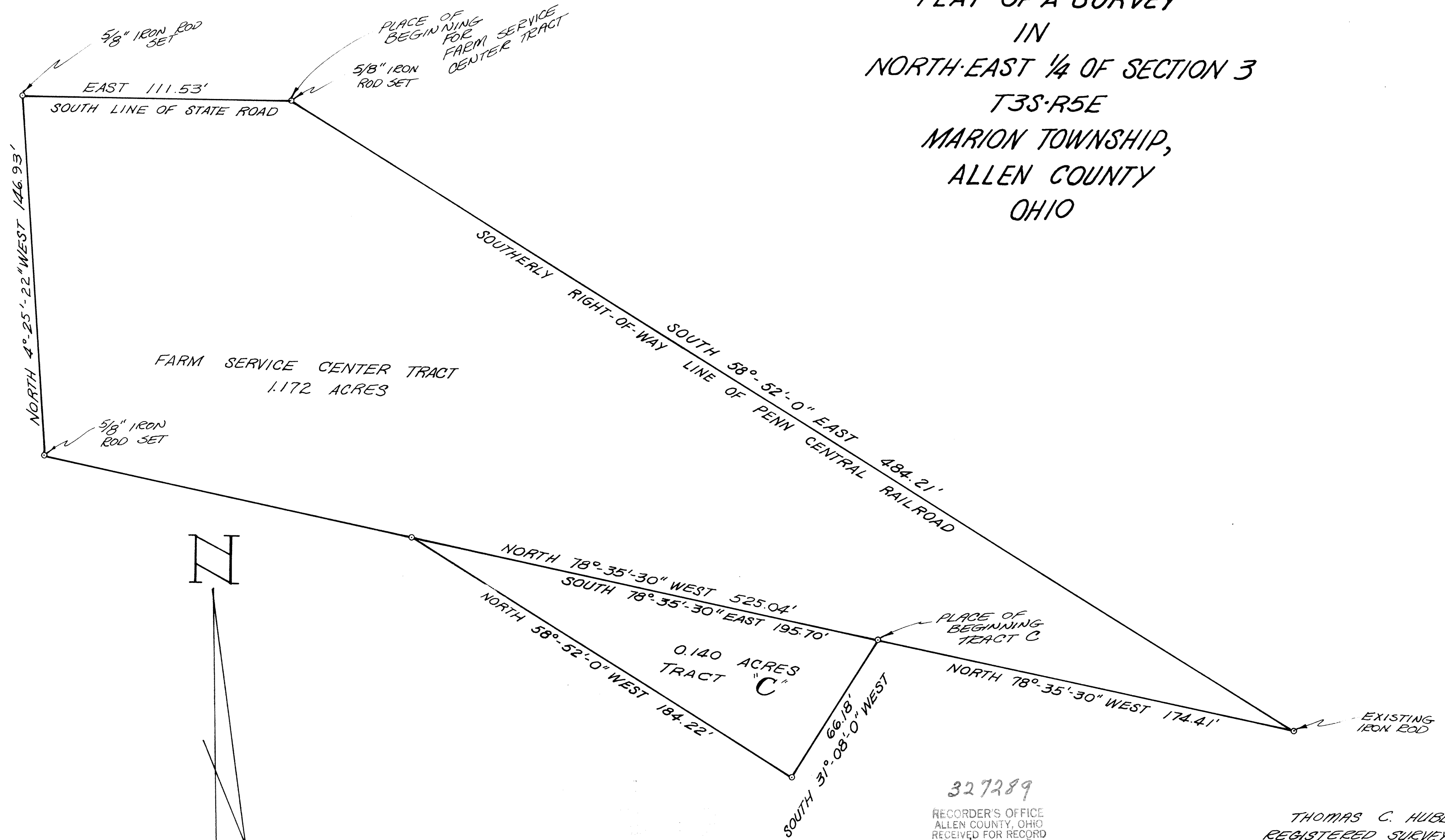
(25) Thence south, along the east line of Section 18 and centerline of Dutch-Hollow Road, 485.00 feet to the place of beginning. Containing in all 69.39 acres.

Note: All bearings refer to the east line of Section 18 and the centerline of Dutch-Hollow Road as being south.

Thomas C. Hubbell
 Thomas C. Hubbell
 Reg. Surveyor #5044



PLAT OF A SURVEY
 IN
 NORTH-EAST 1/4 OF SECTION 3
 T3S-R5E
 MARION TOWNSHIP,
 ALLEN COUNTY
 OHIO



327289
 RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 2:14 O'CLOCK P.M.

THOMAS C. HUBBELL
 REGISTERED SURVEYOR #5042

AUG 5 1975
 RECORDED
 VOL. PAGE
 RECORDER
 July 8, 1975

REVISED WEST LINE
 7/21/75 S.E.B.

SHELDON & ASSOC. INC.

LIMA, OHIO

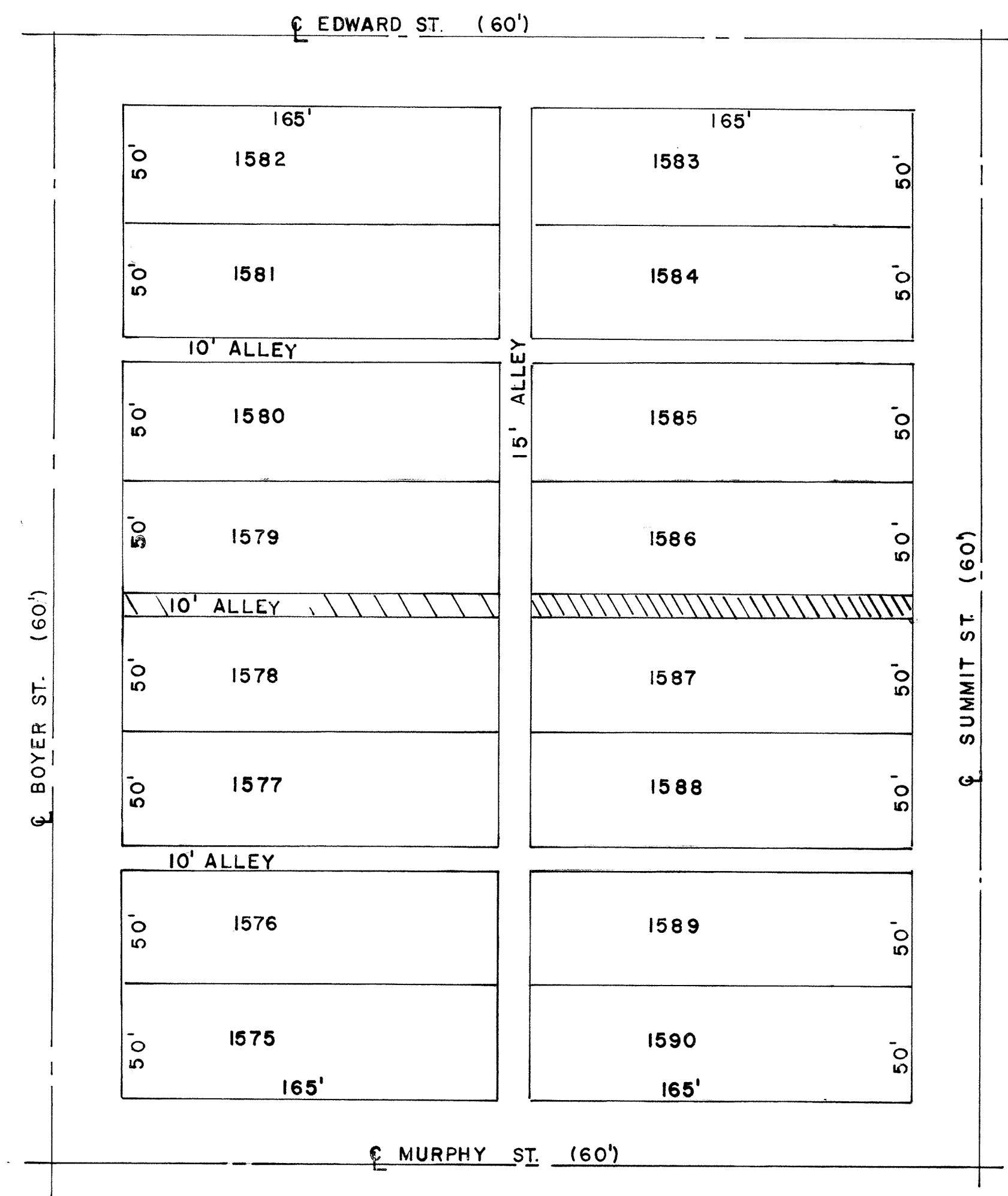
DATE	JULY 3, 75
DRAWN	THC
CHECKED	
APPROVED	
JOB NO.	6233
SCALE	1" = 30'

ALLEY VACATION

CITY OF LIMA

ALLEN COUNTY, OHIO

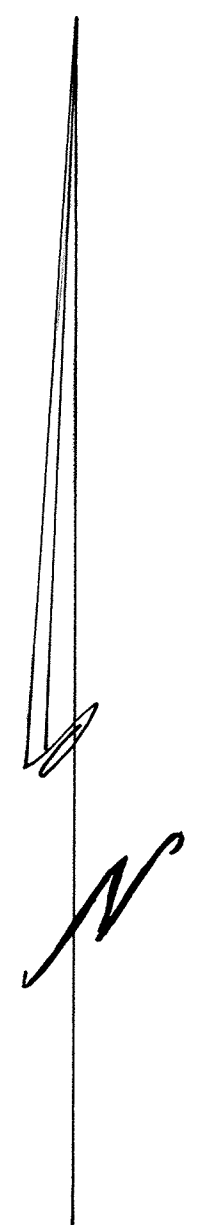
168



DESCRIPTION

A PORTION OF AN EAST-WEST 10' ALLEY LOCATED BETWEEN LOTS NO. 1586 AND 1587 IN PARMENTER ADDN. TO THE CITY OF LIMA, ALLEN COUNTY, OHIO AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE N.E. CORNER OF LOT NO. 1587 IN SAID ADDN. THENCE NORTH ALONG THE WEST RIGHT OF WAY LINE OF SUMMIT ST. A DISTANCE OF 10' TO THE S.E. CORNER OF LOT NO. 1586; THENCE WEST ALONG THE SOUTH LINE OF LOT NO. 1586 A DISTANCE OF 165' TO A POINT IN THE NORTH-SOUTH 15' ALLEY AND THE S.W. CORNER OF LOT NO. 1586; THENCE SOUTH ALONG THE EAST LINE OF SAID ALLEY A DISTANCE OF 10'; THENCE EAST ALONG THE NORTH LINE OF LOT NO. 1587 A DISTANCE OF 165' TO THE POINT OF BEGINNING.

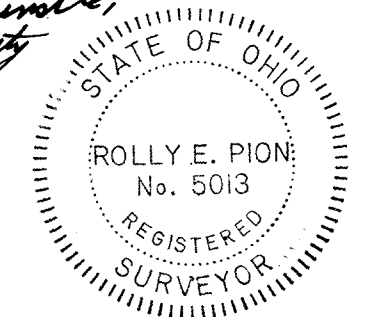


PORTION OF ALLEY VACATED
 PORTION OF ALLEY TO BE VACATED

SCALE 1" = 50'

*For alley vacation
see Deed Vol. 567 Page 466.*

Rolly E. Pion
 ROLLY E. PION
 SURVEYOR NO. 5013



MAY, 1975

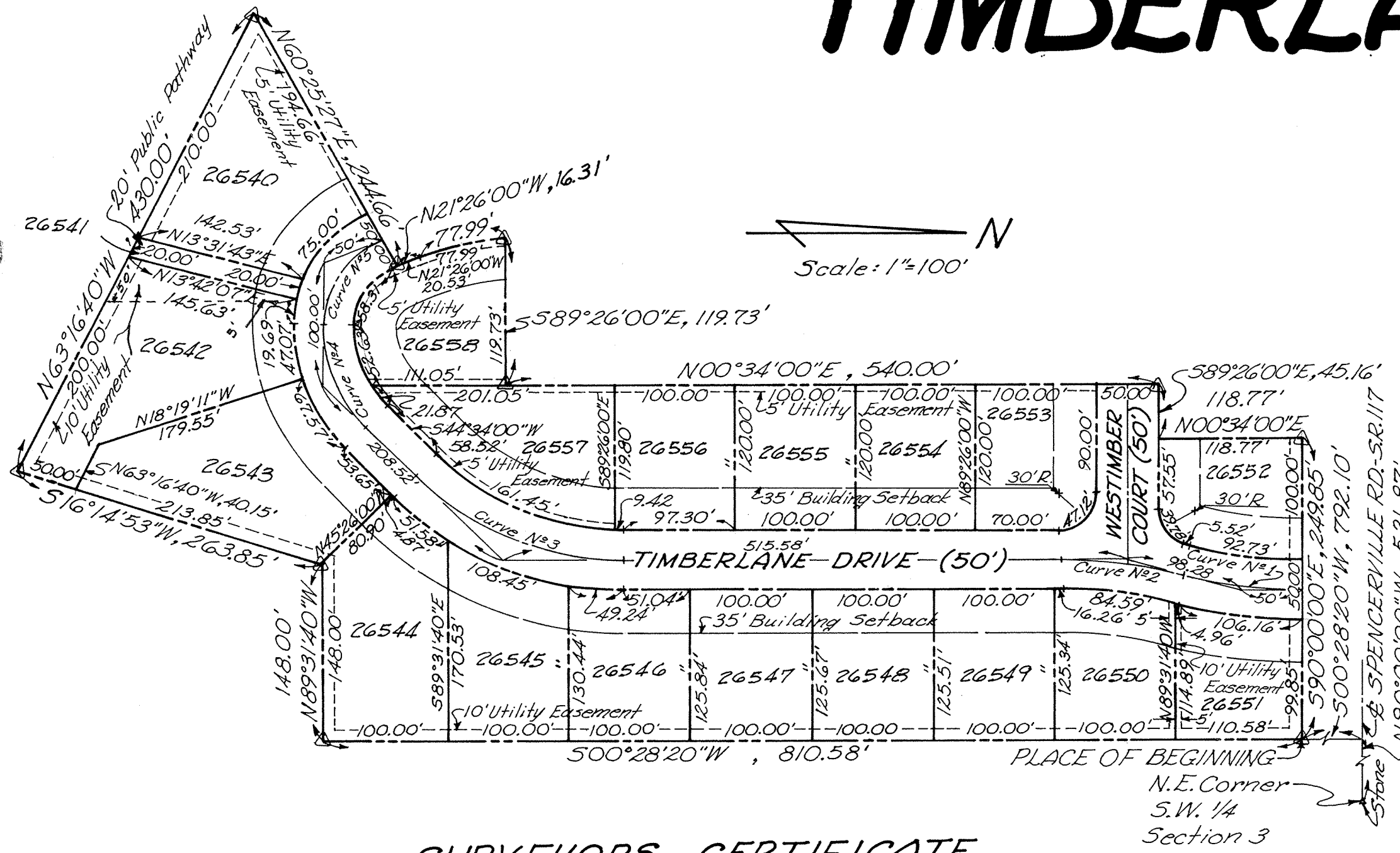
327864

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 1:46 O'CLOCK P.M.

AUG 20 1975

RECORDED *Aug 20* 19 *75*
 Vol. *137* PAGE *168*
Bessie Montague
 RECORDER
 Fee \$830 by *B. Kintle*
 Deputy

TIMBERLANE N^o 2



DEDICATION

Timberlane Limited, A Partnership, being the sole owner of the above described premises, hereby dedicates the streets and utility easements as shown to the public for their use forever. Signed this 25 day of Sept. 1975.

OWNER

TIMBERLANE, LIMITED, a Ltd. Partnership Assn.
J. Ramon Laibe
 J. Ramon Laibe (Chairman)

WITNESS

Thomas E. Kuck
Dorothy Turney

ACKNOWLEDGEMENT

County of Allen, State of Ohio

Before me, a Notary Public, in and for said County and State, did personally appear the above signed Owners, who acknowledged this Document to be their free act and deed, in testimony thereof, I affix my hand and seal this 25 day of SEPT. 1975.

My Commission Expires July 23 1980

Notary Public

SURVEYORS CERTIFICATE

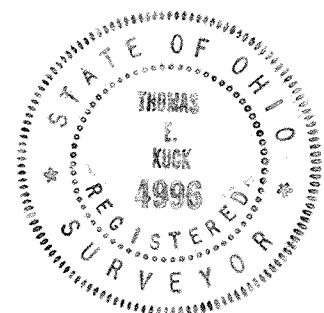
I hereby certify that in September 1975, I surveyed the following described, and that Iron Pipes were placed at all lot corners. Monuments (Δ) have been placed as shown.

Being a part of the Southwest 1/4 of Section 3, T4S, R6E, Shawnee Township, Allen County, Ohio and more particularly described as follows: Starting at the North-east corner of the Southwest 1/4 of said Section 3; thence N90°00'00"W with the north line of the Southwest 1/4 of said Section 3, also the centerline of (Spencerville Road - S.R. 117) 521.87 feet; thence 500°28'20"W with the East line of Timberlane N^o1 792.10 feet to the PLACE OF BEGINNING; thence continuing 500°28'20"W, 810.58 feet; thence N89°31'40"W, 148.00 feet; thence S16°14'53"W, 263.85 feet; thence N63°16'40"W, 430.00 feet; thence N60°25'27"E, 244.66 feet; thence N21°26'00"W, 16.31 feet; thence Northwesterly with an arc to the right, having an arc length of 77.99 feet and a radius of 232.23 feet; thence S89°26'00"E, 119.73 feet; thence N00°34'00"E, 540.00 feet; thence S89°26'00"E, 45.16 feet; thence N00°34'00"E, 118.77 feet; thence S90°00'00"E, 249.85 feet to the PLACE OF BEGINNING, containing 7.338 Acres more or less.

Thomas E. Kuck
 Thomas E. Kuck
 Reg. Surveyor #4996

RESTRICTIONS for Timberlane N^o2 are the same as recorded for Timberlane Subdivision N^o1.

Approved for transfer
 Allen County Tax Map
 Office 9/24/75



APPROVAL OF CITY PLANNING COMMISSION

Being the duly elected Mayor of the City of Lima, Ohio, and Chairman of the Planning Commission, I hereby accept this Plat for the City.

Mayor and Chairman of the Planning Commission

Filed for Transfer this 26th day of September 1975 at 8:05 o'clock A.M. in the office of the Allen County Auditor.

Richard L. Ditto
 Allen County Auditor

No 329281
 Filed for record this 26th day of Sept. 1975 at 8:28 o'clock A.M. in the office of the Allen County Recorder and recorded in Plat Book 13 Page 170.

Fee \$16.00
Bernice Montague
 Allen County Recorder

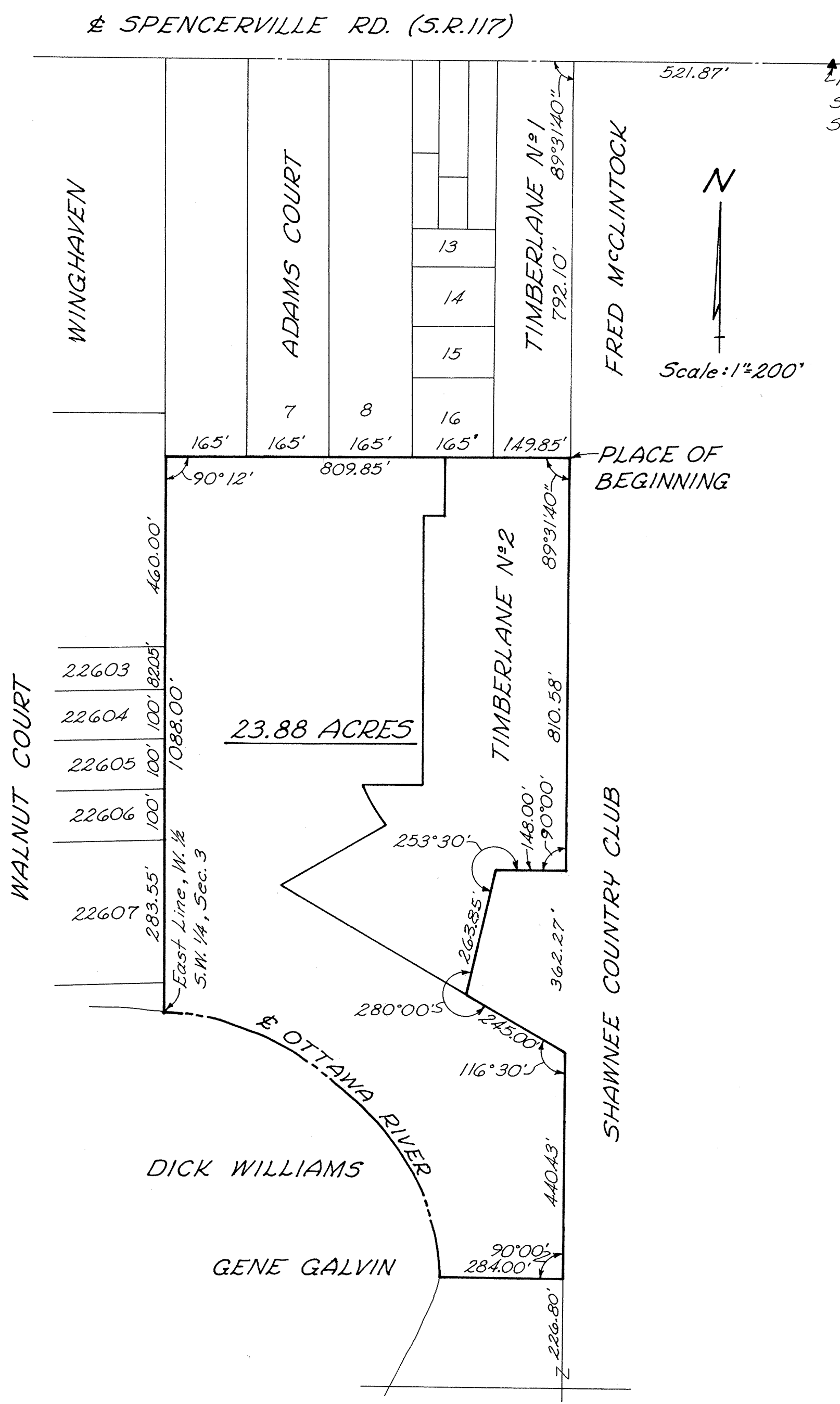
CURVE DATA

Curve N ^o	T	Δ	R	L
1	50.00'	14°49'37"	384.27'	99.44'
2	48.28'	14°49'37"	371.05'	96.02'
3	100.00'	44°00'00"	247.51'	190.07'
4	50.00'	46°00'00"	117.79'	94.57'
5	50.00'	68°00'00"	74.13'	87.98'

PLAT OF A SURVEY
 OF
 DEDICATORS LAND
 FOR
 TIMBERLANE #2
 IN THE SW 1/4 SECTION #3,
 T4S - R6E, SHAWNEE TOWNSHIP,
 ALLEN COUNTY, OHIO
DESCRIPTION

Being a part of the Southwest 1/4 of Section 3 T4S, R6E, Shawnee Township, Allen County, Ohio and more particularly described as follows:

Starting at the Northeast corner of the Southwest 1/4 of said Section 3; thence West with the North line of the Southwest 1/4 of said Section 3, also the centerline of Spencerville Road (S.R. 117), 521.87 feet; thence with a deflection of 89°31'40" to the left and South, 792.10 feet, this being the PLACE OF BEGINNING; thence continuing South, 810.58 feet; thence West with an interior angle of 90°00'00", 148.00 feet; thence Southwesterly with an interior angle of 253°30'00", 263.85 feet; thence Southeasterly with an interior angle of 280°00'00", 245.00 feet; thence South with an interior angle of 116°30'00", 440.43 feet; thence West with an interior angle of 90°00'00", 284.00 feet to the centerline of the Ottawa River; thence Northwesterly with the centerline of the Ottawa River to the East line of the West 1/2 of the Southwest 1/4 of said Section 3; thence North with the East Line of the West 1/2 of the Southwest 1/4 of said Section 3, 1088.00 feet; thence East with an interior angle of 90°12'00", 809.85 feet to the PLACE OF BEGINNING, containing 23.88 Acres more or less.

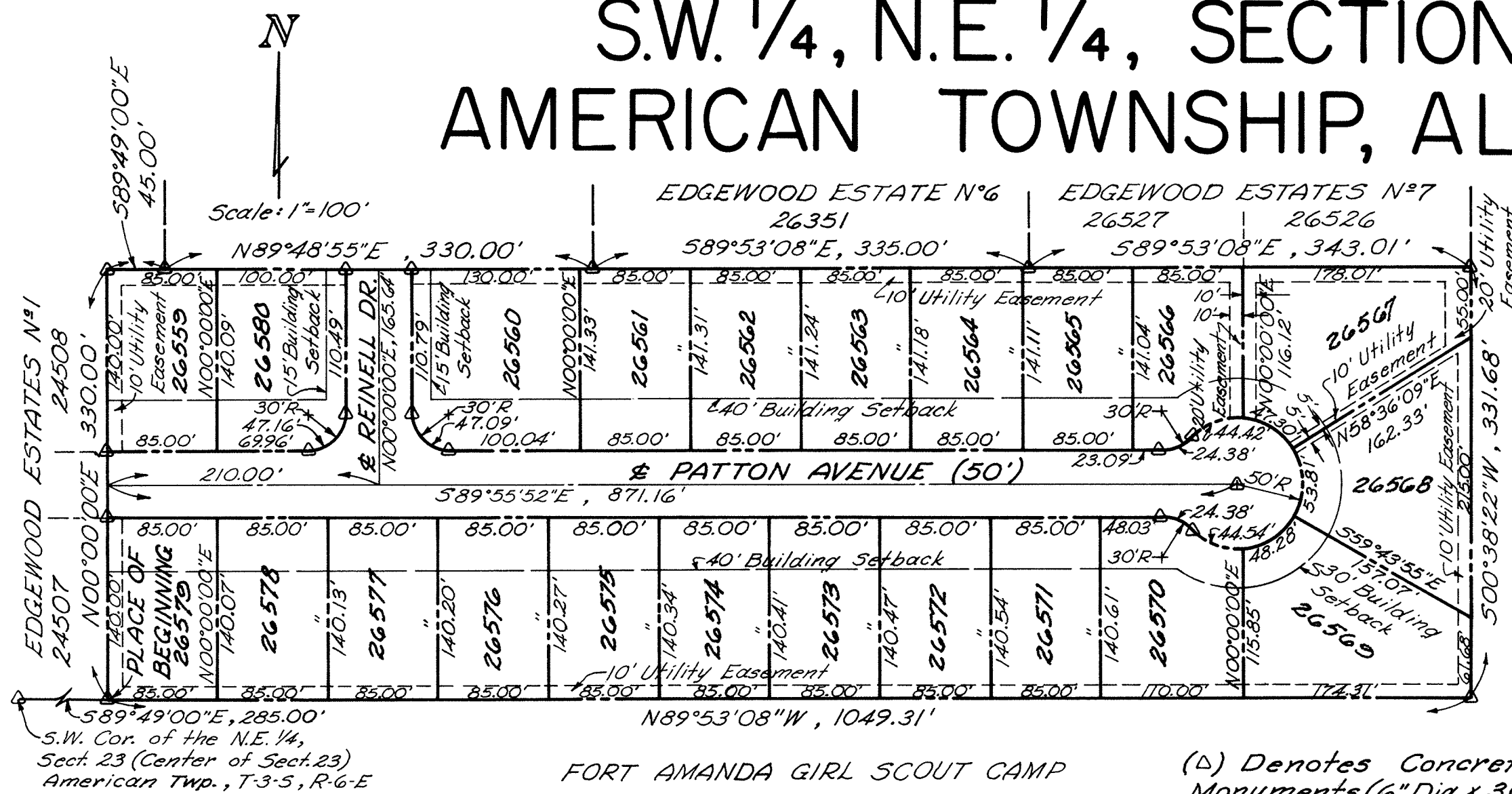


**TIMBERLANE
 BOUNDARY SURVEY**

THOMAS E. KUCK
 REG. SURVEYOR N°4996
 LIMA - OHIO

EDGEWOOD ESTATES No 8

S.W. 1/4, N.E. 1/4, SECTION 23, T3S, R6E AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO



589°49'00"E, 285.00'
S.W. Cor. of the N.E. 1/4,
Sect. 23 (Center of Sect. 23)
American Twp., T-3-S, R-6-E

FORT AMANDA GIRL SCOUT CAMP

(Δ) Denotes Concrete
Monuments (6" Dia. x 30"
and 3/8" Re-bar)

DEDICATION

Harry H. Wagner, Sr., being the owner of the land contained in the hereon plat, hereby adopts said plat and dedicates the land contained within the streets to the use and benefit of the public forever. Utility easements are established as shown on the plat.

In Witness Whereof, Harry H. Wagner, Sr., and Marjorie C. Wagner, his wife, have hereunto signed their names this 10th day of Oct., 1975.

Witnesses:

Steve P. Morrow
Harry H. Wagner Sr.
Marjorie C. Wagner
Harry H. Wagner Sr.
Marjorie C. Wagner

ACKNOWLEDGMENT

State of Ohio
Allen County ss:

Before me a Notary Public in and for said state and county, personally appeared Harry H. Wagner, Sr. and Marjorie C. Wagner, who acknowledged that they did sign the hereon plat of Edgewood Estates No. 8 and that the signing was their free act and deed.

In Witness whereof, I have hereunto set my hand and seal this 10th day of October 1975.
My Commission Expires: April 15, 1980

Shirley A. Hill
Notary Public, Allen County, Ohio

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, and on behalf of said City and said Commission approve and accept this plat this day of

Harry H. Wagner Sr.
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

COUNTY AUDITOR'S CERTIFICATE

This Plat filed for transfer this 23 day of October, 1975. Fee: \$ 3.50

Richard L. Ditts
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 33029P
Filed for record in the Allen County, Ohio Recorder's Office this 23 day of October, 1975, at 8:55 o'clock A.M. and recorded in the Allen County Plat Book 15 on Page 112. Fee: \$ 16.60

Bernice Montague
Recorder of Allen County, Ohio
By Sally Kenneth Deputy

COUNTY ENGINEER'S CERTIFICATE

Having checked the construction of the streets in this subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans thereof, and that they are in good repair, and this endorsement shall constitute acceptance of the streets for public use.

County Engineer of Allen County, Ohio

Approved for Transfer Allen County
Tax Map Office A.R.R. Date 10/23/1975

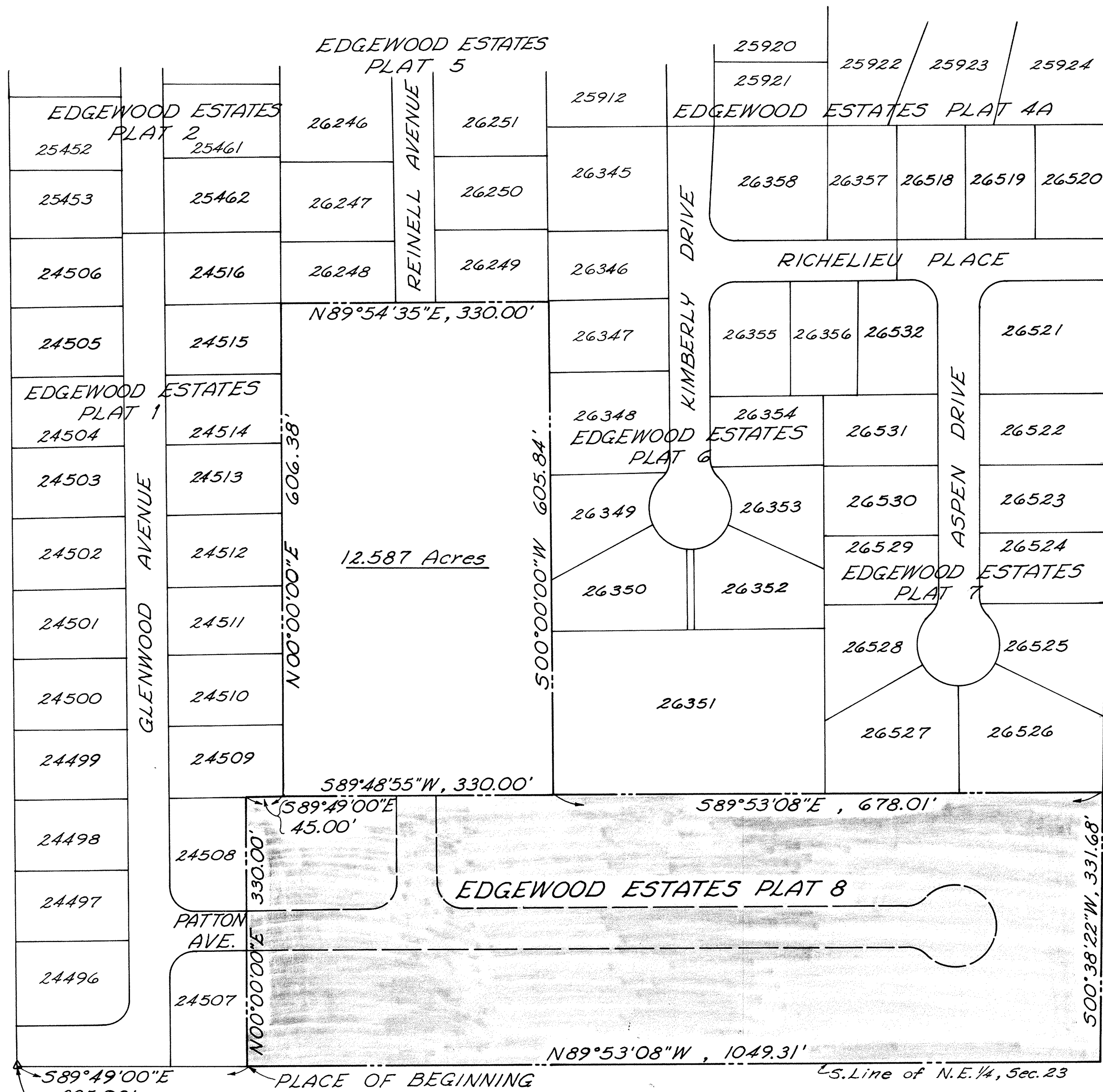
I hereby certify that this plat is based on a true and accurate survey made by me or under my supervision in April, 1975

Sheldon A. Metzger
Registered Surveyor No. 5514



SURVEY OF DEDICATORS LAND FOR EDGEWOOD ESTATES N^o 8

173



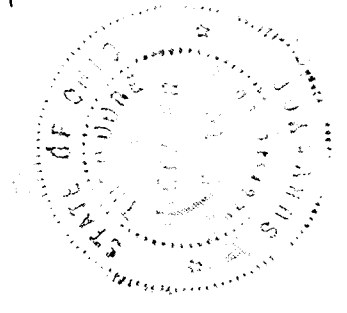
DESCRIPTION OF THE DEDICATOR'S LAND
FOR EDGEWOOD ESTATES NO. 8

Being a parcel of land situate in the southwest quarter of the northeast quarter of Section 23, American Township, Allen County, Ohio, and more particularly described as follows:

Commencing at the southwest corner of the northeast quarter of said Section 23 (center of Section 23); thence S-89° 49' 00"-E with the south line of the northeast quarter, 285.00 feet to the southeast corner of Edgewood Estates Plat No. 1 and the PLACE OF BEGINNING; thence N-00° 00' 00"-E with the east line of Edgewood Estates Plat 1, 330.00 feet; thence S-89° 49' 00"-E with a south line of Edgewood Estates Plat No. 1, 45.00 feet; thence N-00° 00' 00"-E with the east line of Edgewood Estates Plat No. 1, 606.38 feet to the southwest corner of Edgewood Estates Plat No. 5; thence N-89° 54' 35"-E with the south line of Edgewood Estates Plat No. 5, 330.00 feet to the west line of Edgewood Estates Plat No. 6; thence S-00° 00' 00"-W with said west line, 605.84 feet to the southwest corner of Edgewood Estates Plat No. 6; thence S-89° 53' 08"-E with the south line of Edgewood Estates Plat No. 6 and Edgewood Estates Plat No. 7, 678.01 feet to the southeast corner of Edgewood Estates Plat No. 7; thence S-00° 38' 22"-W, 331.68 feet to the south line of the northeast quarter; thence N-89° 53' 08" W, with the south line of the northeast quarter, 1049.31 feet to the PLACE OF BEGINNING, containing 12.587 Acres more or less and subject to all legal highways and other easements of record.

I hereby certify that this plat represents a true and accurate survey made by me or under my supervision in April 1975.

Theodore A. Metzger
Registered Surveyor No. 5514



S.W. Corner of the
N.E. 1/4, Section 23
(Center of Sect. 23)
American Twp.
T-3-S, R-6-E

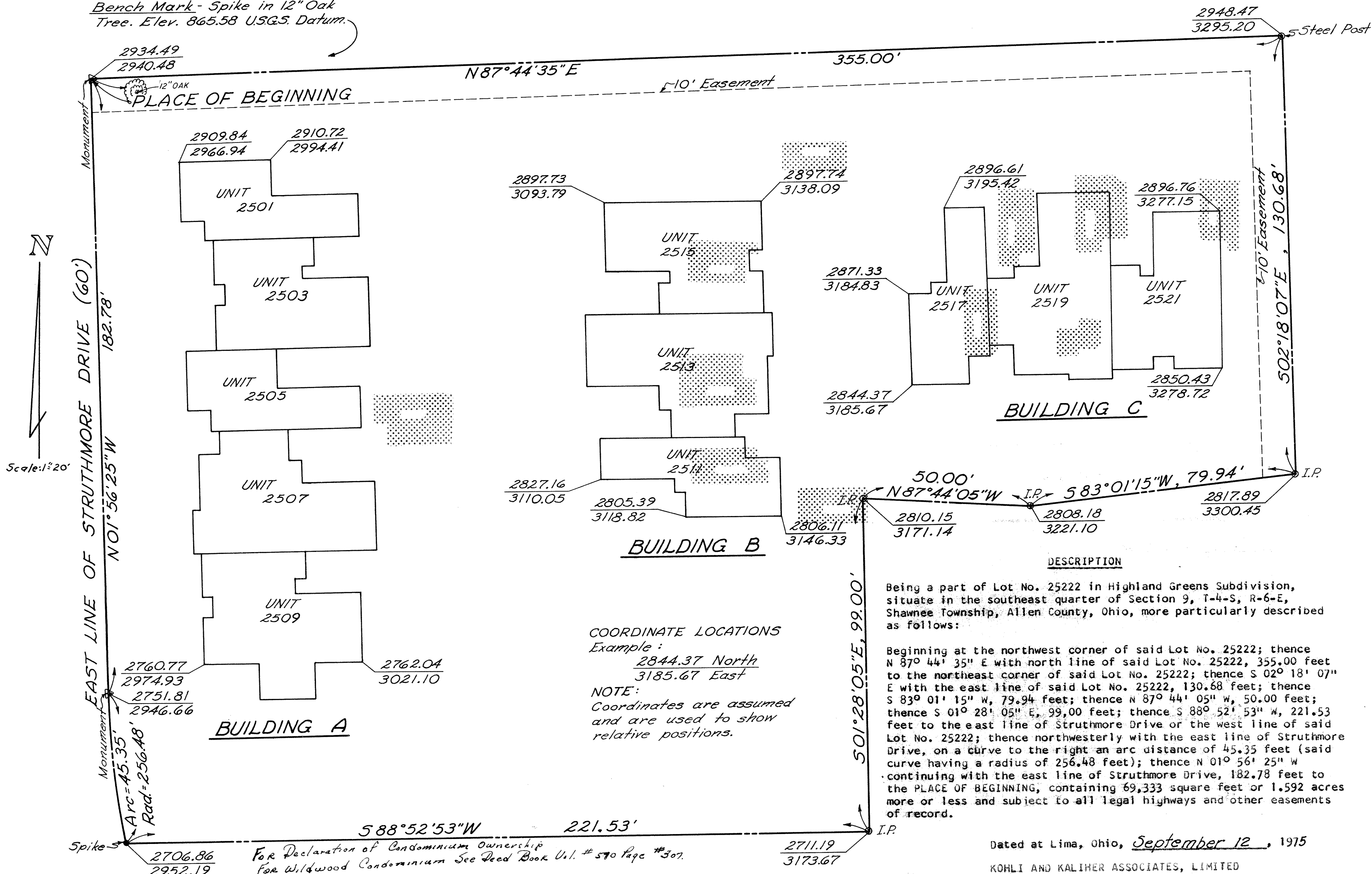
WILDWOOD CONDOMINIUM

SHEET 1 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio
PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION

174

Bench Mark - Spike in 12" Oak Tree. Elev. 865.58 U.S.G.S. Datum.



COORDINATE LOCATIONS
Example:
2844.37 North
3185.67 East
NOTE:
Coordinates are assumed
and are used to show
relative positions.

DESCRIPTION
Being a part of Lot No. 25222 in Highland Greens Subdivision, situate in the southeast quarter of Section 9, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio, more particularly described as follows:
Beginning at the northwest corner of said Lot No. 25222; thence N 87° 44' 35" E with north line of said Lot No. 25222, 355.00 feet to the northeast corner of said Lot No. 25222; thence S 02° 18' 07" E with the east line of said Lot No. 25222, 130.68 feet; thence S 83° 01' 15" W, 79.94 feet; thence N 87° 44' 05" W, 50.00 feet; thence S 01° 28' 05" E, 99.00 feet; thence S 88° 52' 53" W, 221.53 feet to the east line of Struthmore Drive or the west line of said Lot No. 25222; thence northwesterly with the east line of Struthmore Drive, on a curve to the right an arc distance of 45.35 feet (said curve having a radius of 256.48 feet); thence N 01° 56' 25" W continuing with the east line of Struthmore Drive, 182.78 feet to the PLACE OF BEGINNING, containing 69,333 square feet or 1.592 acres more or less and subject to all legal highways and other easements of record.

For Declaration of Condominium Ownership
For Wildwood Condominium See Deed Book Vol. # 570 Page # 307.

We certify that the within drawings consisting of pages numbered 1 to 13, correctly represent the buildings as constructed, and that there are no encroachments on any abutting premises.

Approved for Transfer
Allen County Tax Map
Office by Ralph E. Plummer
10/30/75

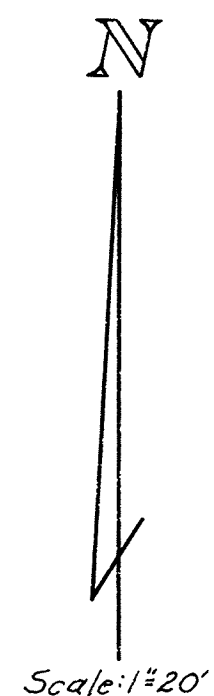
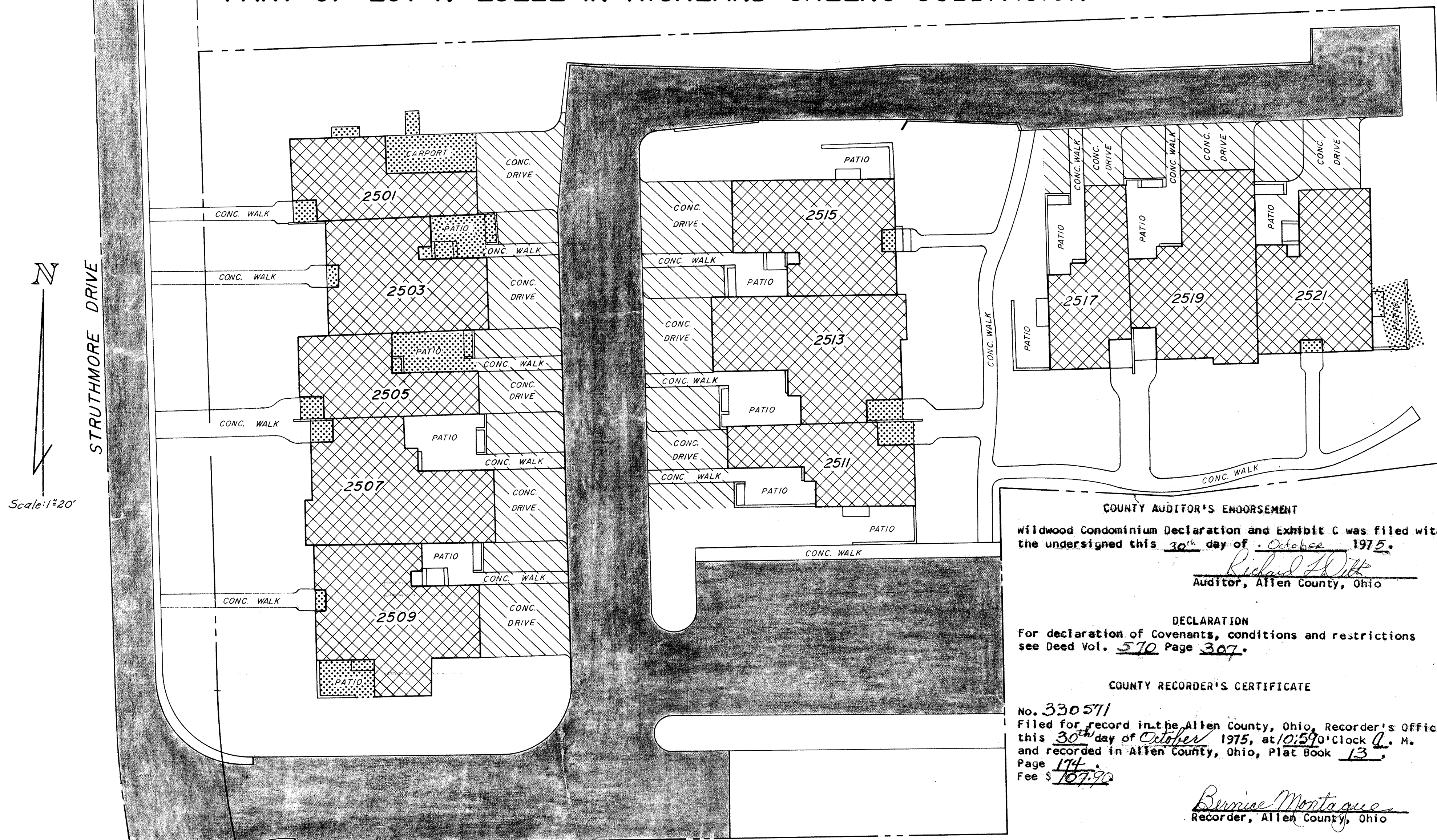
Dated at Lima, Ohio, September 12, 1975
KOHLI AND KALIHAR ASSOCIATES, LIMITED
By Robert F. Gurnes
Registered Engineer No. 28816
By Theodore A. Metzger
Registered Surveyor No. 5514

WILDWOOD CONDOMINIUM

SHEET 2 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION



STRUTHMORE DRIVE

COUNTY AUDITOR'S ENDORSEMENT
 wildwood Condominium Declaration and Exhibit C was filed with
 the undersigned this 30th day of October 1975.
Richard A. Witt
 Auditor, Allen County, Ohio

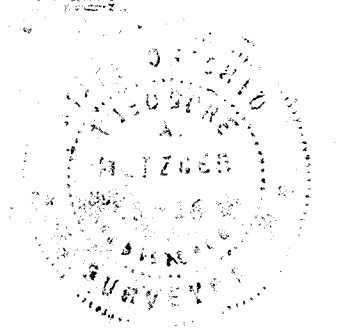
DECLARATION
 For declaration of Covenants, conditions and restrictions
 see Deed Vol. 570 Page 307.

COUNTY RECORDER'S CERTIFICATE
 No. 330571
 Filed for record in the Allen County, Ohio, Recorder's Office
 this 30th day of October 1975, at 10:59 o'clock A. M.
 and recorded in Allen County, Ohio, Plat Book 13,
 Page 174.
 Fee \$ 107.90

Bernice Montague
 Recorder, Allen County, Ohio

Dated at Lima, Ohio, _____, 1974.
 KOHLI AND KALHER ASSOCIATES, LIMITED
 By *Robert F. Krimes*
 Registered Engineer No. 28816
 By *Theodore A. Metzger*
 Registered Surveyor No. 5514

- DESIGNATES COMMON AREA
- DESIGNATES UNIT AREA
- DESIGNATES BLACKTOP PAVEMENT (COMMON AREA)
- DESIGNATES LIMITED COMMON AREA (MAINTAINED BY ASSOCIATION)
- DESIGNATES LIMITED COMMON AREA (MAINTAINED BY UNIT OWNER)



WILDWOOD CONDOMINIUM

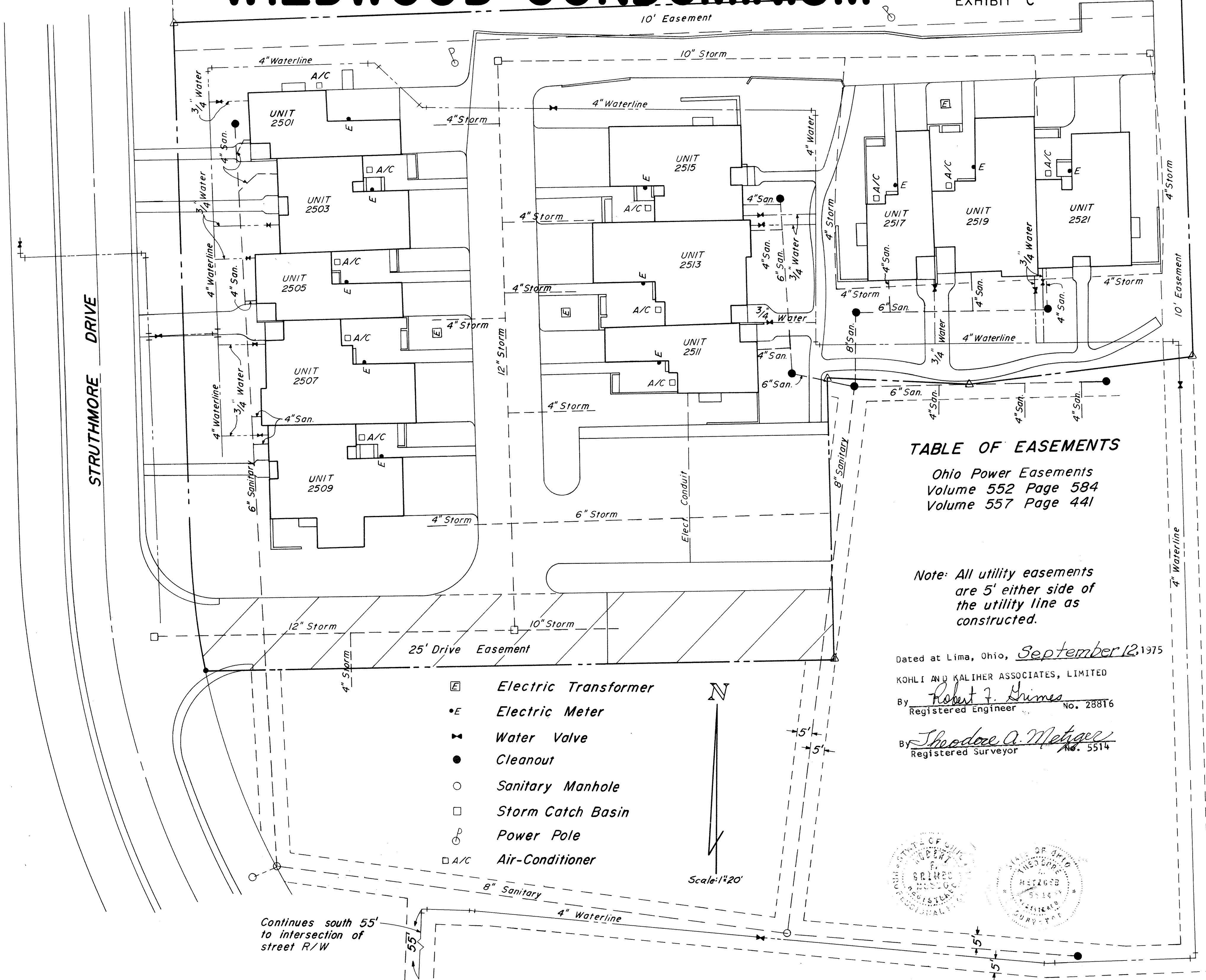


TABLE OF EASEMENTS

Ohio Power Easements
 Volume 552 Page 584
 Volume 557 Page 441

Note: All utility easements
 are 5' either side of
 the utility line as
 constructed.

Dated at Lima, Ohio, September 12, 1975

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Robert F. Grimes
 Registered Engineer No. 28816

By Theodore A. Metzger
 Registered Surveyor No. 5514

- ⊞ Electric Transformer
- E Electric Meter
- ⊞ Water Valve
- Cleanout
- Sanitary Manhole
- Storm Catch Basin
- ⊞ Power Pole
- A/C Air-Conditioner



Scale: 1"=20'

Continues south 55'
 to intersection of
 street R/W

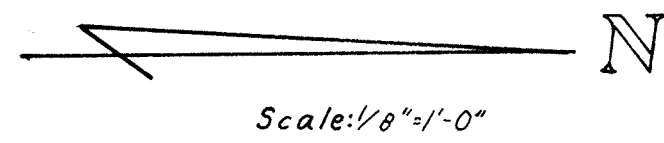


WILDWOOD CONDOMINIUM

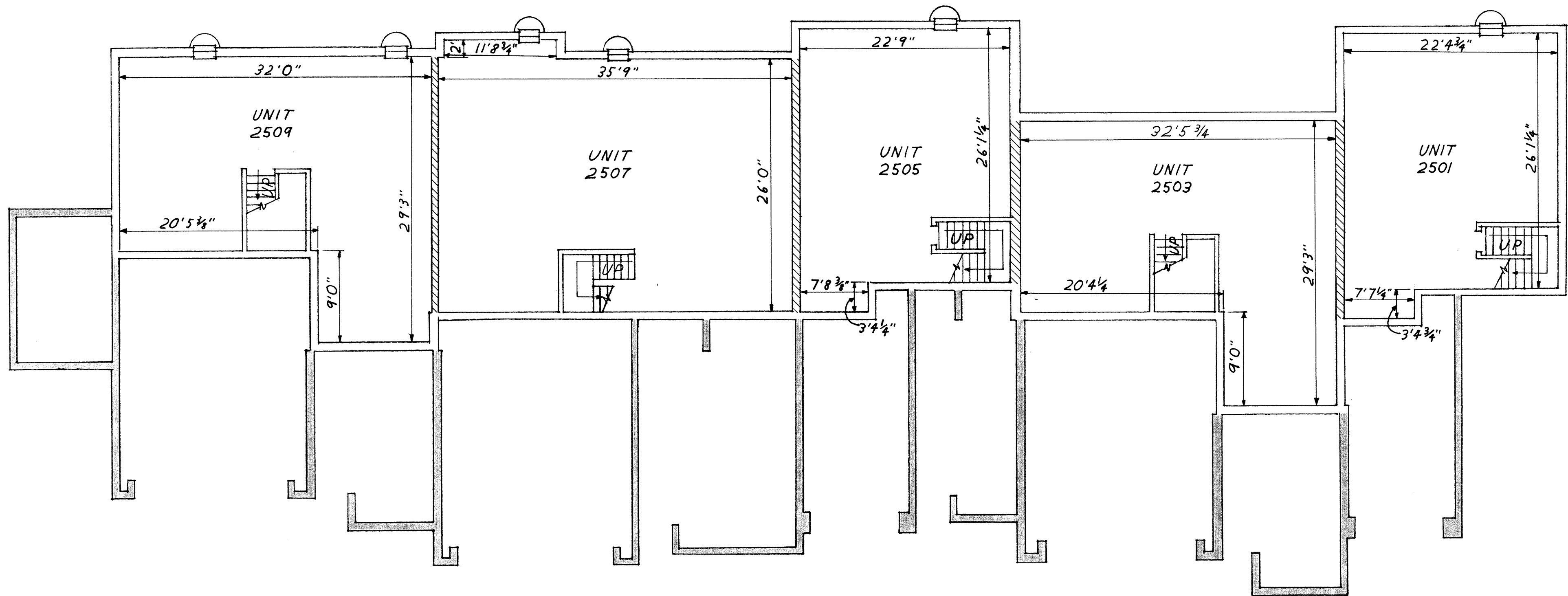
SHEET 4 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION



UNIT N ^o	2509	2507	2505	2503	2501
FLOOR EI.	857.67	857.58	857.66	857.60	857.66
CEILING EI.	866.12	866.03	866.16	866.07	866.10

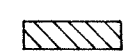


Dated at Lima, Ohio, September 12, 1975.

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Robert J. Gimes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514

 Designates Unit Partition

 Designates footers for garage and patio

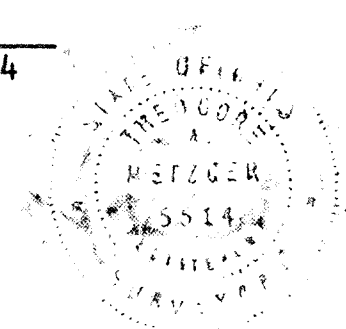
BASEMENT PLAN BUILDING A

Footers: Concrete poured in place,
10" deep 1'10" wide.

Exterior Basement Walls: Concrete
poured in place, 8" wide.

Interior Basement Unit Partition
Walls: 8" Concrete Block.

Basement Floor: 4" Concrete Slab
with 6"x6", #10/#10 W.W.M.
over Vapor Barrier on
4" Gravel.

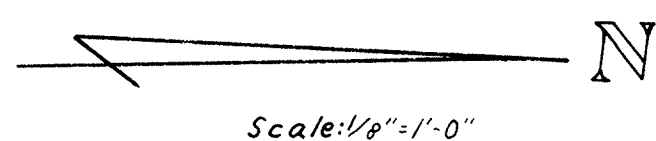


WILDWOOD CONDOMINIUM

SHEET 5 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

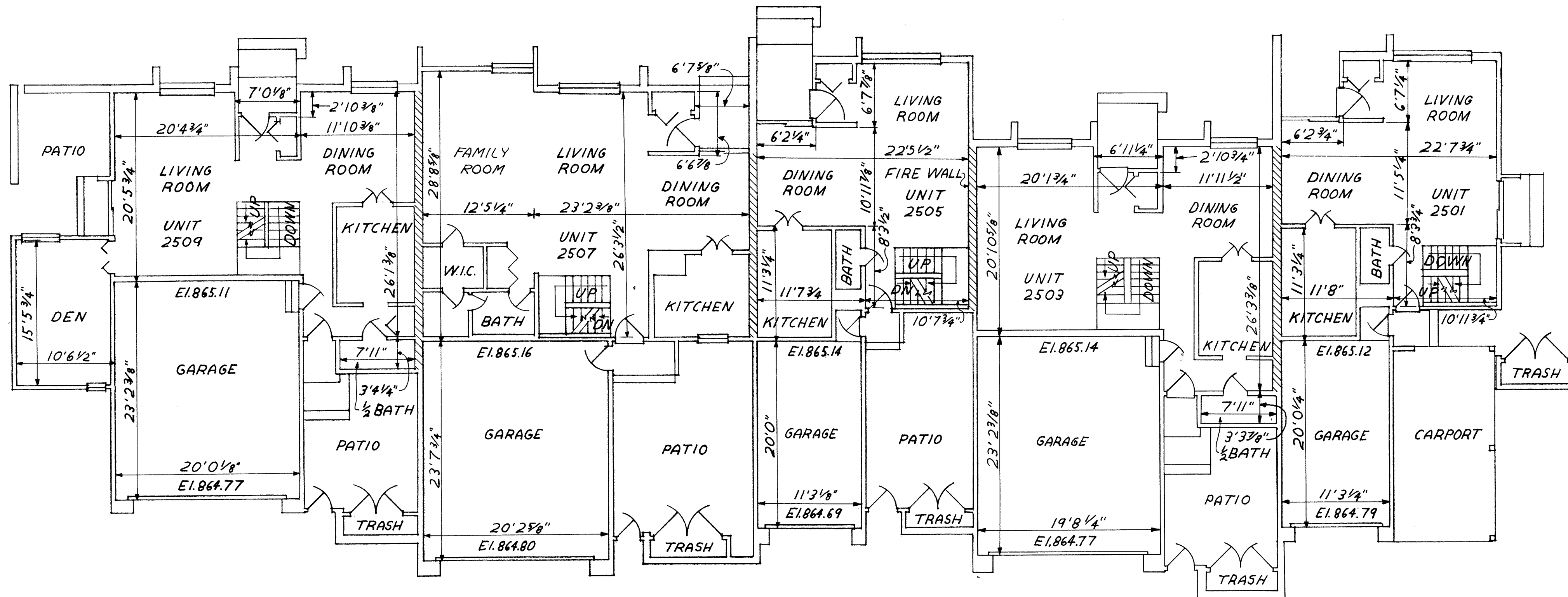
PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION



Scale: 1/8" = 1'-0"

UNIT N ^o	2509	2507	2505	2503	2501
FLOOR EL.*	866.12	866.08	866.11	866.07	866.10
CEILING EL.	874.17	874.13	874.16	874.12	874.15

*except for garage floors



Dated at Lima, Ohio, September 12, 1975.

KOHLI AND KALHER ASSOCIATES, LIMITED

By Robert F. Grimes
Registered Engineer No. 28816

By Thaddeus A. Metzger
Registered Surveyor No. 5514

Designates Unit Partition

W.I.C. means Walk-in-Closet

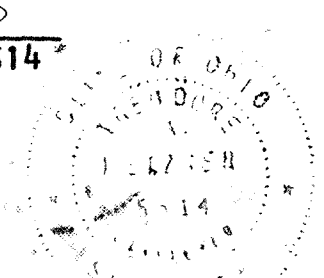
EXTERIOR WALLS: Typical 2"x4" studs, 1/2" O.C., 1/2" sheathing.
Outside finish: 5/8" cedar siding or brick.
Inside finish: 1/2" drywall.

INTERIOR WALLS: 2"x4" studs and drywall.

UNIT PARTITION WALLS: Two rows 2"x4" studs separated by 1" dead air space and 1/2" sound board with 5/8" drywall both sides

FIRE WALL: 8" concrete block with furring strips and 5/8" drywall.

FIRST FLOOR PLAN BUILDING A

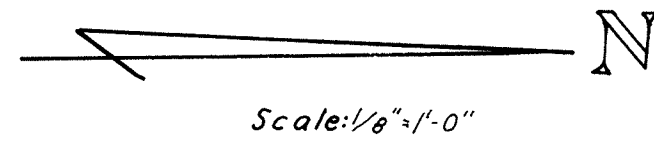


WILDWOOD CONDOMINIUM

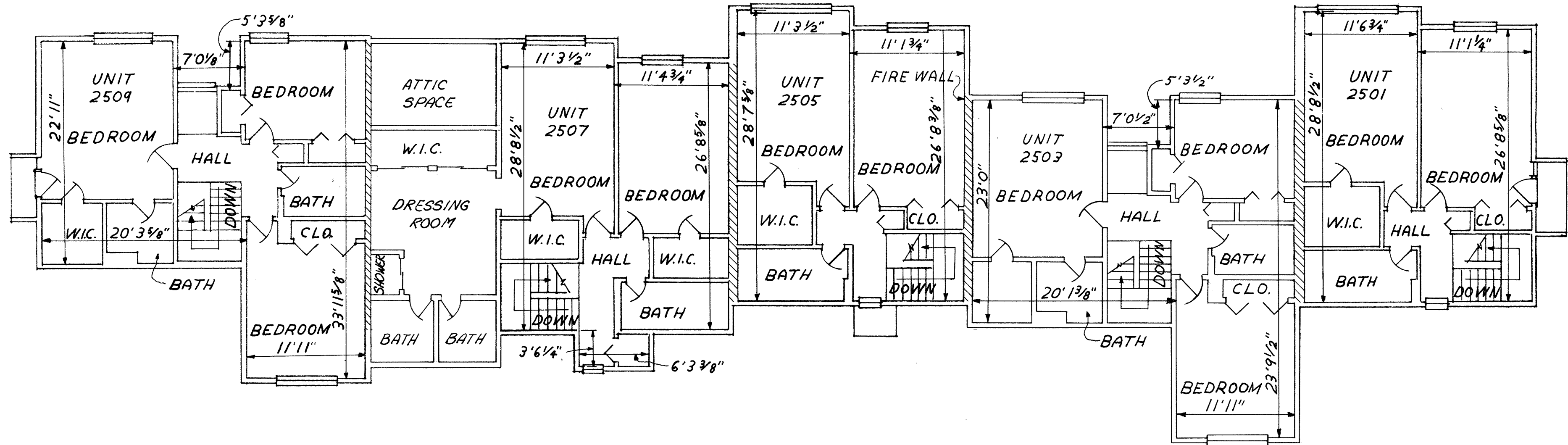
SHEET 6 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION



UNIT N ^o	2509	2507	2505	2503	2501
FLOOR EI.	875.02	874.98	875.01	874.97	875.00
CEILING EI.	883.08	883.04	883.07	883.03	883.06



Designates Unit Partition

W.I.C. means Walk-in-Closet

Dated at Lima, Ohio, September 12, 1975.

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Robert F. Grimes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514

ROOFING: Asphalt roof shingles on roofing paper,
1/2" sheathing, prefab roof trusses.

EXTERIOR WALLS: Typical 2"x4" studs, 16" O.C.,
1/2" sheathing.
Outside finish: 5/8" cedar siding.
Inside finish: 1/2" drywall.

INTERIOR WALLS: 2"x4" studs and 1/2" drywall.

UNIT PARTITION WALLS: Two rows 2"x4" studs
separated by 1" dead air space and
1/2" sound board with 5/8" drywall both side.

FIRE WALL: 8" concrete block with furring strips
and 5/8" drywall.

SECOND FLOOR PLAN BUILDING A

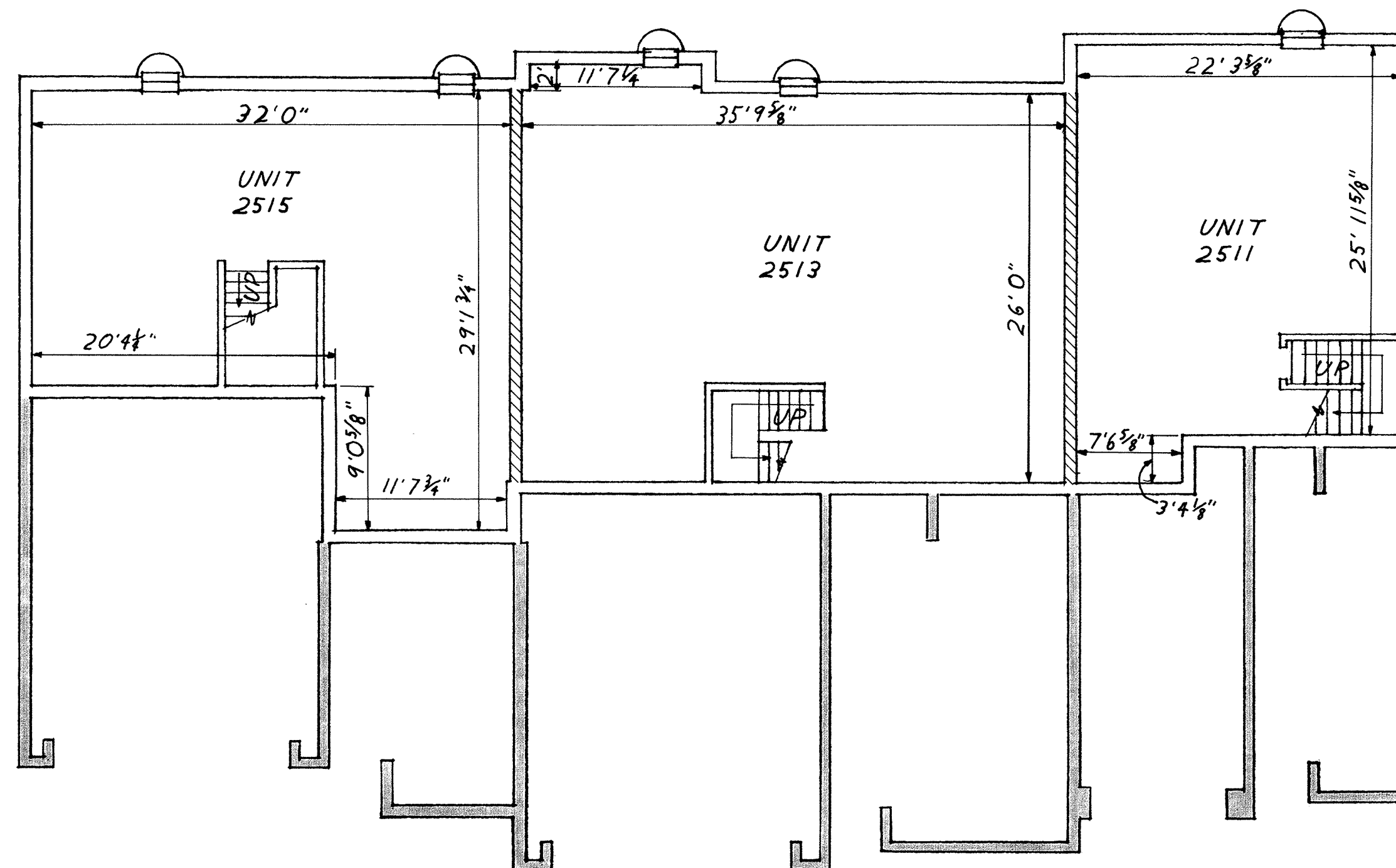
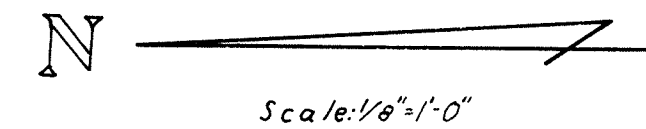


WILDWOOD CONDOMINIUM

SHEET 7 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio
PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION

UNIT N ^o	2515	2513	2511
FLOOR EI.	858.01	857.99	858.01
CEILING EI.	866.41	866.42	866.37



Footers: Concrete poured in place, 10" deep 1'10" wide

Exterior Basement Walls: Concrete poured in place, 8" wide.

Interior Basement Unit Partition Walls 8" Concrete Block.

Basement Floor: 4" Concrete Slab with 6"x6", #10/#10 W.W.M. over Vapor Barrier on 4" Gravel.

Designates Unit Partition

Designates footers for garage and patio

BASEMENT PLAN BUILDING B

Dated at Lima, Ohio, September 12, 1975
KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Robert F. Grimes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514



WILDWOOD CONDOMINIUM

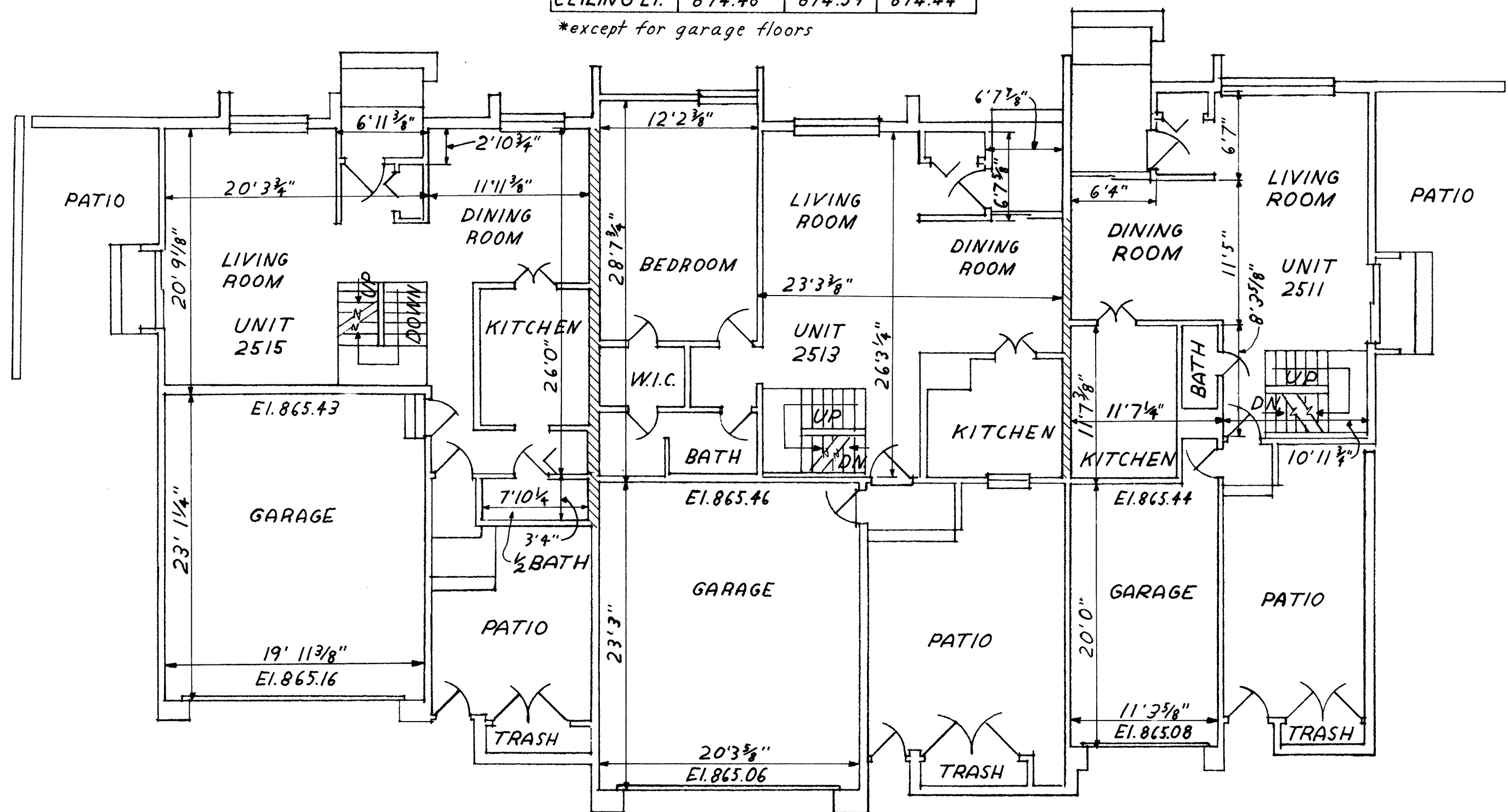
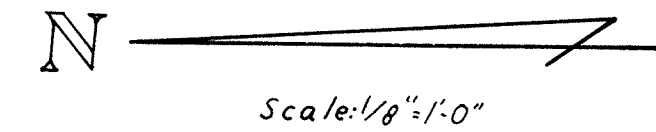
SHEET 8 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION

UNIT N ^o	2515	2513	2511
FLOOR EI.*	866.43	866.39	866.43
CEILING EI.	874.46	874.39	874.44

*except for garage floors



Designates Unit Partition

W.I.C. means Walk-in-Closet

EXTERIOR WALLS: Typical 2"x4" studs, 16" O.C., 1/2" sheathing.
Outside finish: 5/8" cedar siding or brick.
Inside finish: 1/2" drywall.

INTERIOR WALLS: 2"x4" studs and 1/2" drywall.

UNIT PARTITION WALLS: Two rows 2"x4" studs separated by 1" dead air space and 1/2" sound board with 5/8" drywall both sides.

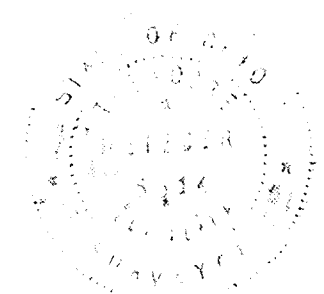
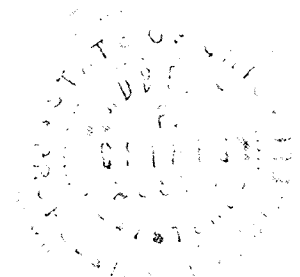
Dated at Lima, Ohio September 12, 1975.

KOHLI AND KALIHER ASSOCIATES, LIMITED

By Robert J. Grimes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514

FIRST FLOOR PLAN BUILDING B

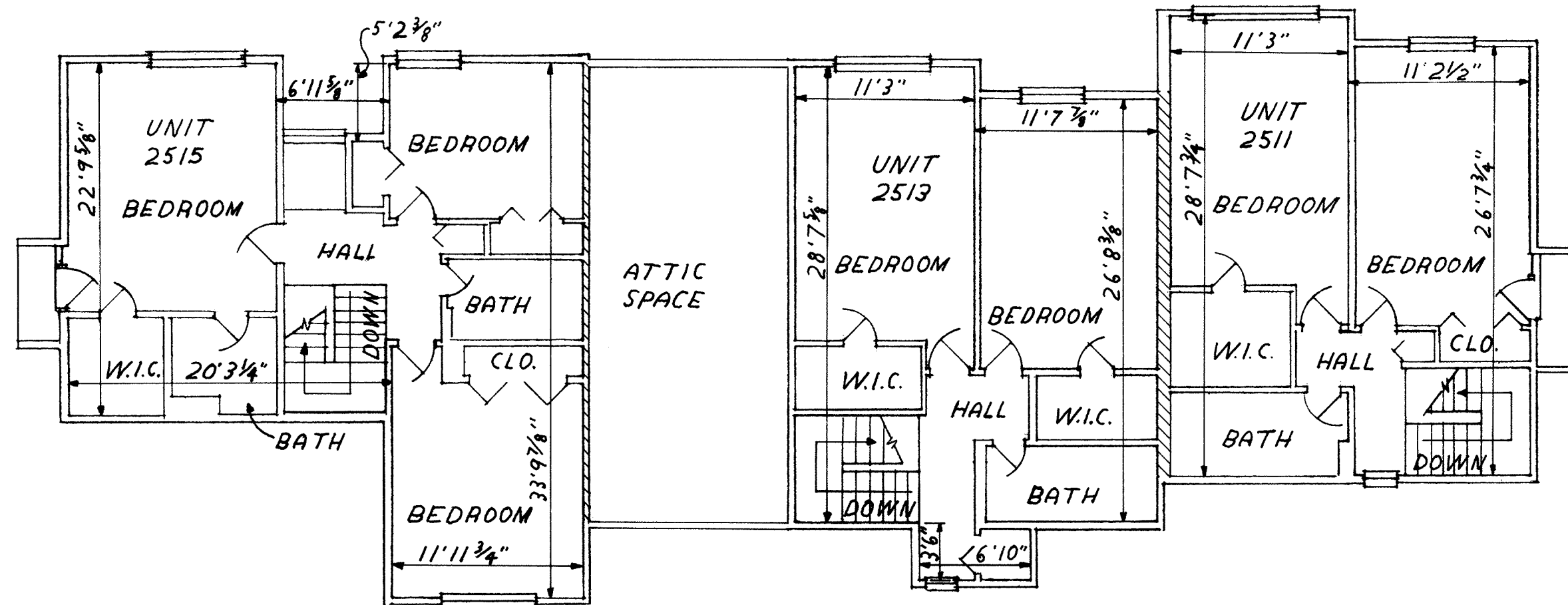
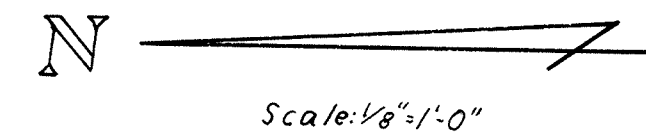


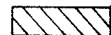
WILDWOOD CONDOMINIUM

SHEET 9 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio
PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION

UNIT N ^o	2515	2513	2511
FLOOR EI.	875.34	875.30	875.34
CEILING EI.	883.40	883.36	883.40



 Designates Unit Partition
W.I.C. means Walk-in-Closet

ROOFING: Asphalt roof shingles on roofing paper,
1/2" sheathing, prefab roof trusses.

EXTERIOR WALLS: Typical 2"x4" studs, 16" O.C.,
1/2" sheathing.
Outside finish: 5/8" cedar siding.
Inside finish: 1/2" drywall.

INTERIOR WALLS: 2"x4" studs and 1/2" drywall.

UNIT PARTITION WALLS: Two rows 2"x4" studs
separated by 1" dead air space and
1/2" sound board with 5/8" drywall both sides.

Dated at Lima, Ohio September 12, 1975.

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Robert J. Grimes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514

SECOND FLOOR PLAN BUILDING B



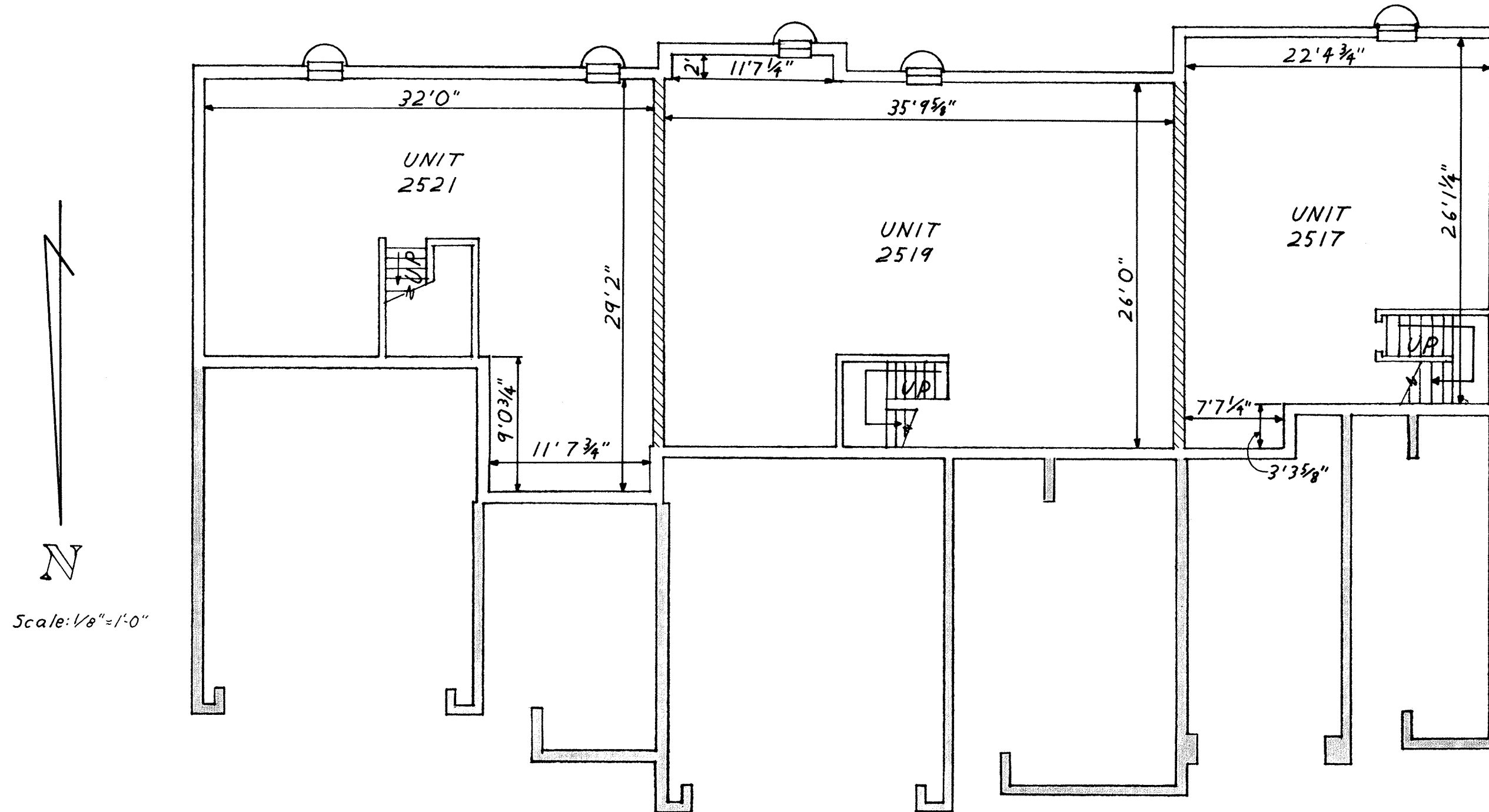
WILDWOOD CONDOMINIUM

SHEET 10 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION

UNIT N ^o	2521	2519	2517
FLOOR EI.	857.06	857.05	857.12
CEILING EI.	865.48	865.45	865.54



Footers: Concrete poured in place, 10" deep 1'10" wide.

Exterior Basement Walls: Concrete poured in place, 8" wide.

Interior Basement Unit Partition Walls: 8" Concrete Block.

Basement Floor: 4" Concrete Slab with 6"x6", #10/#10 W.W.M. over Vapor Barrier on 4" Gravel.

Designates Unit Partition

Designates footers for garage and patio

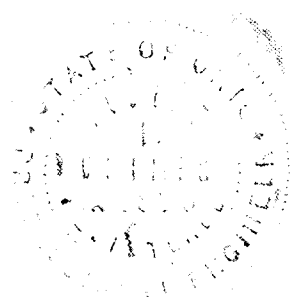
BASEMENT PLAN BUILDING C

Dated at Lima, Ohio September 12, 1975

KOHLI AND KALHER ASSOCIATES, LIMITED

By Robert F. Gurnes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514



WILDWOOD CONDOMINIUM

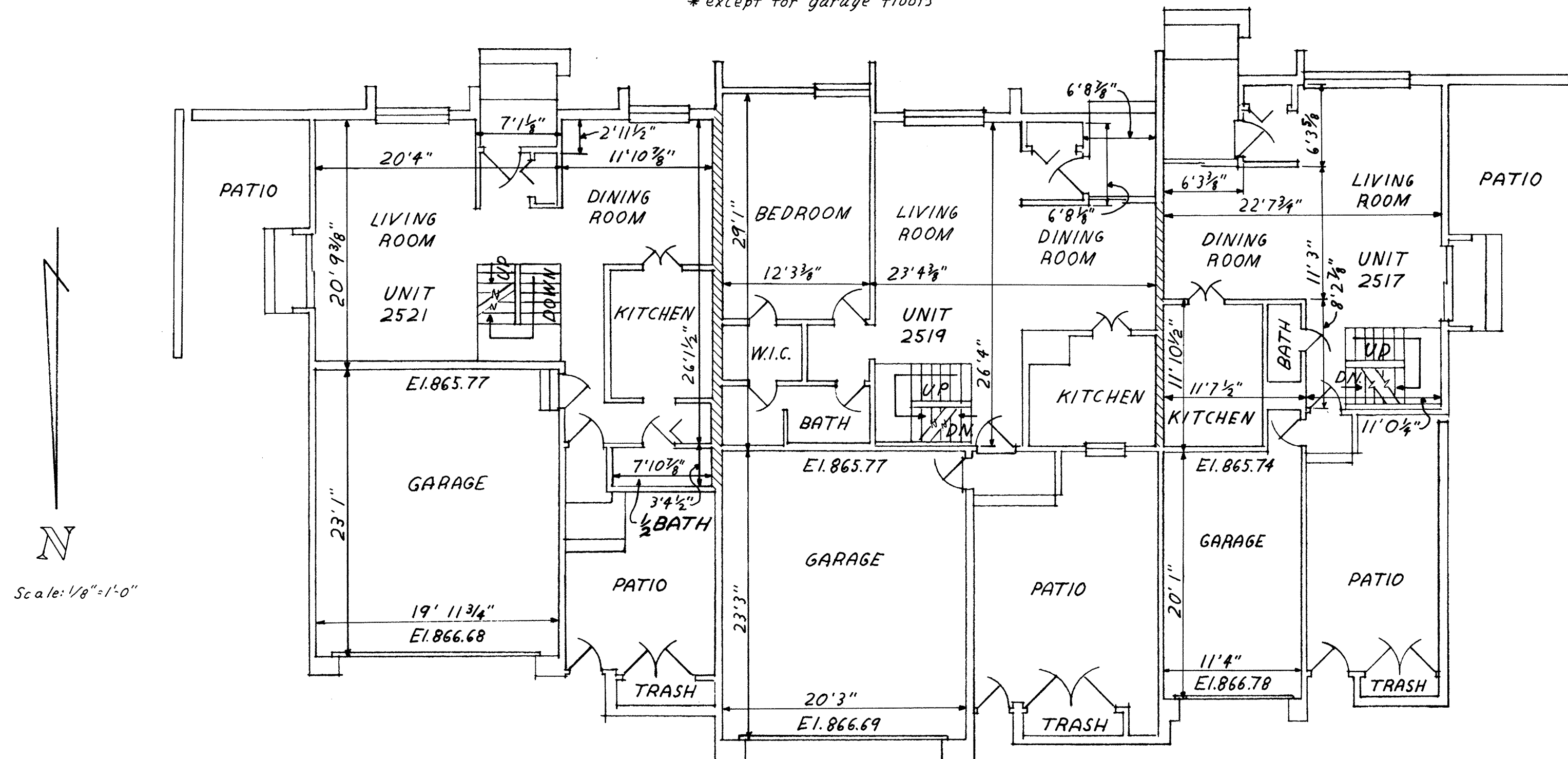
SHEET 11 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION

UNIT N ^o	2521	2519	2517
FLOOR E.I.*	865.46	865.48	865.48
CEILING E.I.	873.52	873.54	873.48

* except for garage floors



▨ Designates Unit Partition
W.I.C. means Walk-in-closet

EXTERIOR WALLS: Typical 2"x4" studs, 16" O.C., 1/2" sheathing.
Outside finish: 5/8" cedar siding or brick.
Inside finish: 1/2" drywall.

INTERIOR WALLS: 2"x4" studs and drywall.

UNIT PARTITION WALLS: Two rows 2"x4" studs separated by 1" dead air space and 1/2" sound board with 5/8" drywall both sides.

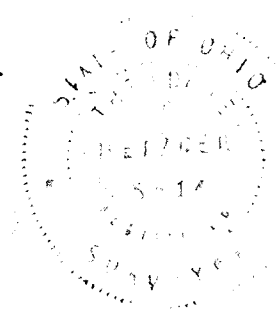
Dated at Lima, Ohio, September 12, 1975.

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Robert F. Grimes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514

FIRST FLOOR PLAN BUILDING C



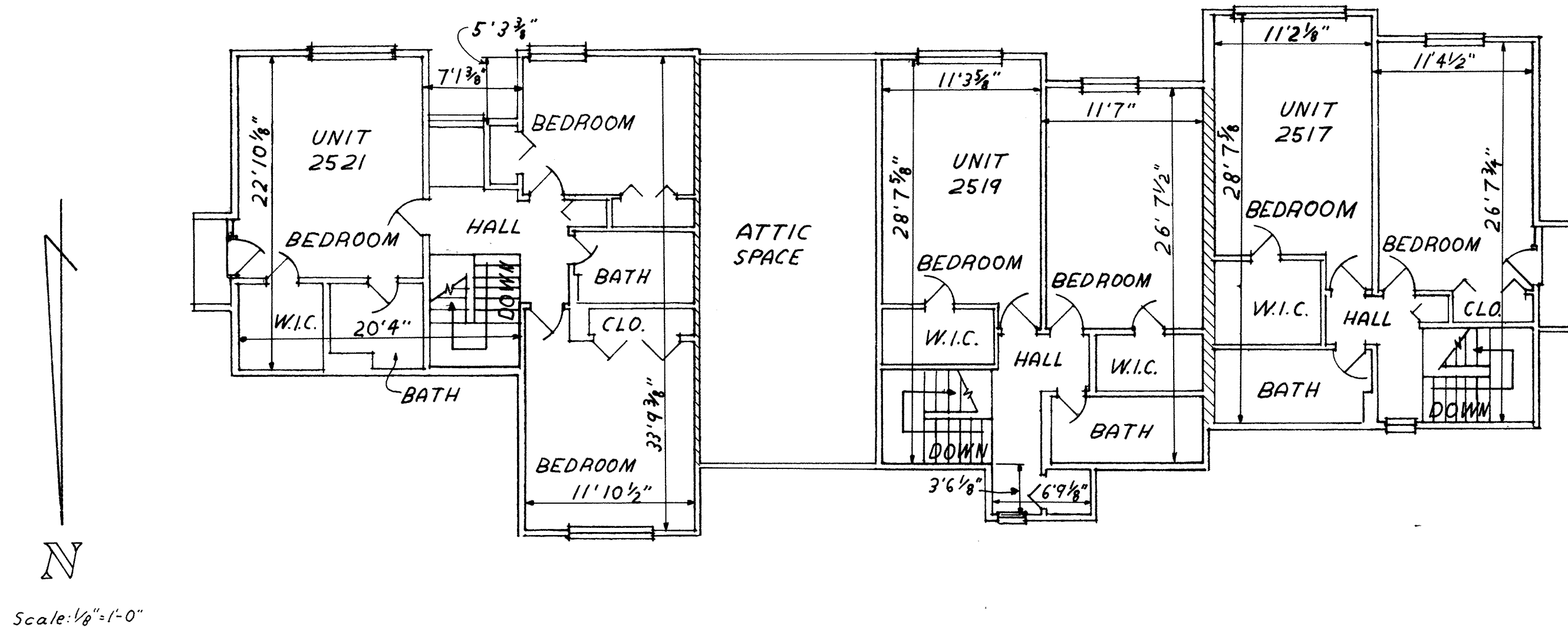
WILDWOOD CONDOMINIUM

SHEET 12 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION

UNIT N ^o	2521	2519	2517
FLOOR EI.	874.34	874.38	874.37
CEILING EI.	882.35	882.39	882.39

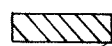


ROOFING: Asphalt roof shingles on roofing paper, 1/2" sheathing, prefab roof trusses.

EXTERIOR WALLS: Typical 2"x4" studs, 16" O.C., 1/2" sheathing.
Outside finish: 5/8" cedar siding.
Inside finish: 1/2" drywall.

INTERIOR WALLS: 2"x4" studs and 1/2" drywall.

UNIT PARTITION WALLS: Two rows 2"x4" studs separated by 1" dead air space and 1/2" sound board with 5/8" drywall both sides.

 Designates Unit Partition
W.I.C. means Walk-in-Closet

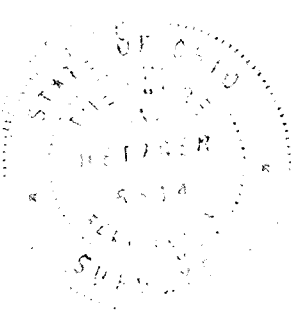
Dated at Lima, Ohio, September 12, 1975.

KOHLI AND KALIHAR ASSOCIATES, LIMITED

By Robert J. Ghimes
Registered Engineer No. 28816

By Theodore A. Metzger
Registered Surveyor No. 5514

SECOND FLOOR PLAN BUILDING C



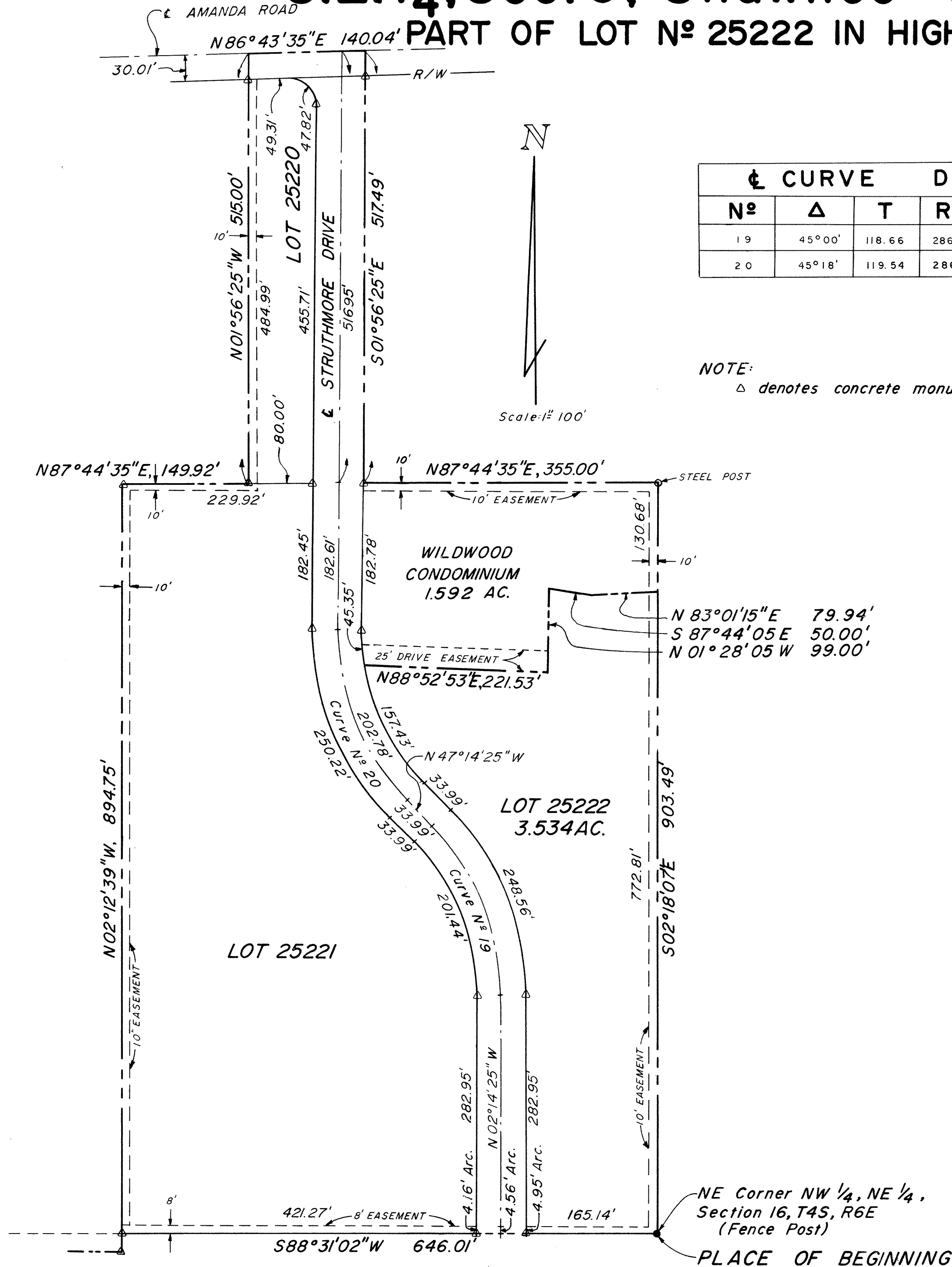
SURVEY OF DEDICATOR'S LAND FOR WILDWOOD CONDOMINIUM

186

SHEET 13 OF 13
EXHIBIT C

S.E. 1/4, Sec. 9, Shawnee Twp., Allen County, Ohio

PART OF LOT N^o 25222 IN HIGHLAND GREENS SUBDIVISION



CURVE DATA					
N ^o	Δ	T	R	L	D
19	45°00'	118.66	286.48	225.00	20°00'
20	45°18'	119.54	286.48	226.50	20°00'

NOTE:
Δ denotes concrete monuments

WILDWOOD CONDOMINIUMS

REMAINING PART OF LOT NO. 25222

Being part of Lot No. 25222 in Highland Greens Subdivision, situate in the southeast quarter of Section 9, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio, more particularly described as follows:

Beginning at the southeast corner of said Lot No. 25222; thence S 88° 31' 02" W with the south line of said Lot No. 25222, 165.14 feet to the southwest corner of said Lot No. 25222 also the east line of Struthmore Drive; thence northwesterly with the east line of Struthmore Drive on a curve to the left an arc distance of 4.95 feet (said curve having a radius of 316.50 feet); thence N 02° 14' 25" W continuing with the east line of Struthmore Drive 282.95 feet; thence northwesterly continuing with the east line of Struthmore Drive on a curve to the left an arc distance of 248.56 feet (said curve having a radius of 316.48 feet); thence N 47° 14' 25" W continuing with the east line of Struthmore Drive, 33.99 feet; thence northwesterly continuing with the east line of Struthmore Drive on a curve to the right an arc distance of 157.43 feet (said curve having a radius of 256.48 feet); thence N 88° 52' 53" E, 221.53 feet; thence N 01° 28' 05" W, 99.00 feet; thence S 87° 44' 05" E, 50.00 feet; thence N 83° 01' 15" E, 79.94 feet, to the east line of said Lot No. 25222; thence S 02° 18' 07" E with said east line, 772.81 feet to the PLACE OF BEGINNING, containing 153,958 square feet or 3.534 acres more or less and subject to all legal highways and other easements of record.

Theodore A. Metzger
Registered Surveyor N^o 5514



DEDICATION OF PUBLIC RIGHT-OF-WAY

PART OF LOT NO. 194 IN J.H. EATON'S 1ST ADD. TO THE VILLAGE OF BLUFFTON, ALLEN CO., OHIO

187

SURVEYOR'S CERTIFICATE

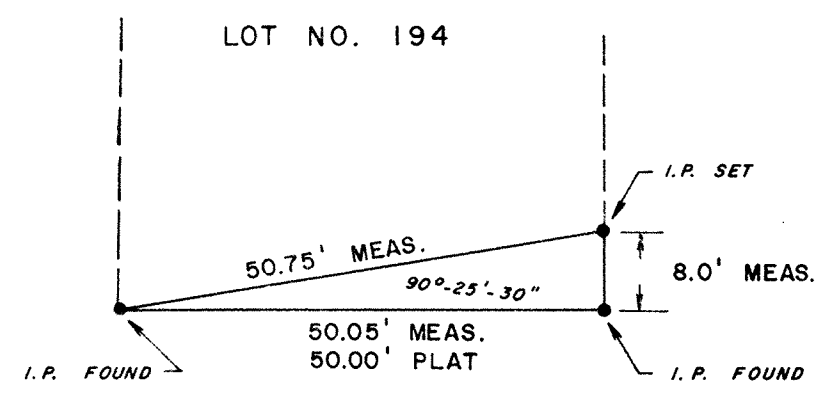
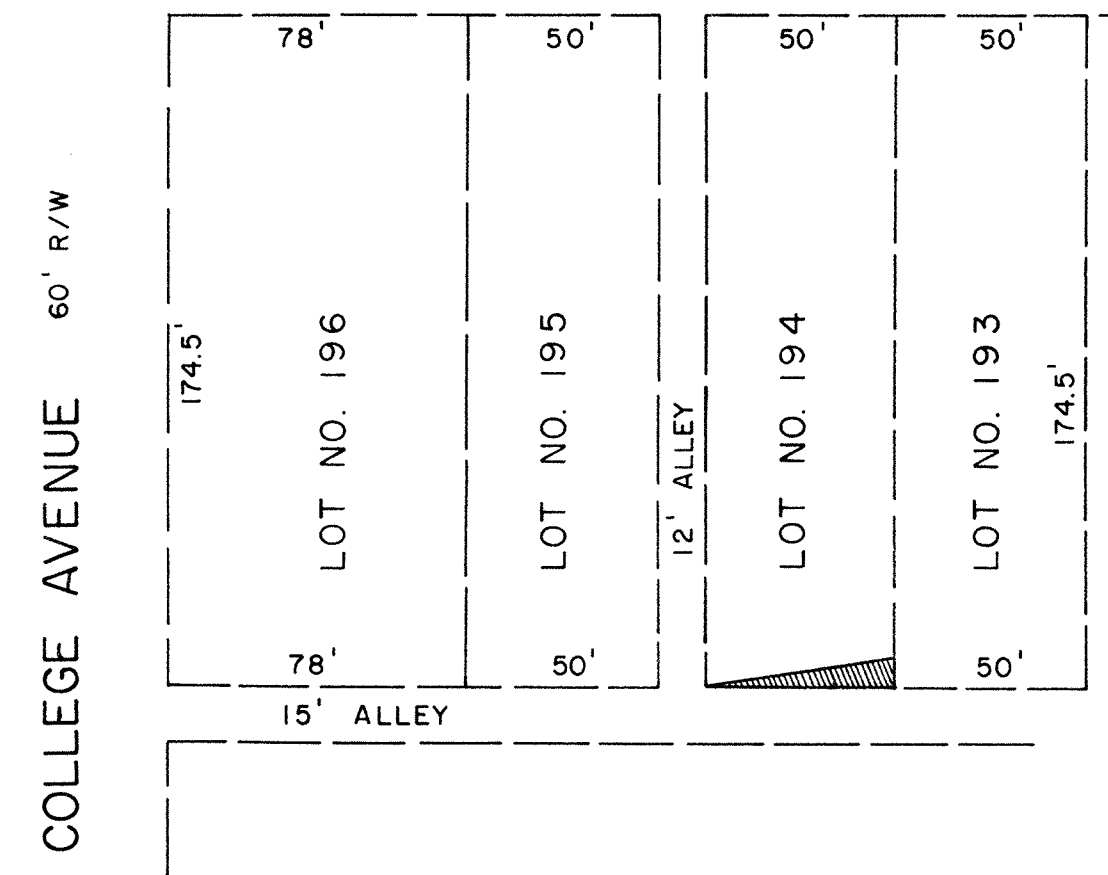
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE BY ME AND THE SAME IS CORRECT AND ACCURATE BEING A TRIANGULAR PIECE OFF THE SOUTHEAST END OF LOT NO. ONE HUNDRED NINETY-FOUR (194) IN J.H. EATON'S FIRST ADDITION TO THE VILLAGE OF BLUFFTON, OHIO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING FOR THE SAME AT AN IRON PIN FOUND AT THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LOT LINE, A DISTANCE OF FIFTY AND 5/100 (50.05) FEET TO AN IRON PIN FOUND, THENCE NORTHWESTERLY ON THE LOT LINE BETWEEN LOTS 194 AND 193 IN J.H. EATON'S FIRST ADDITION TO THE VILLAGE OF BLUFFTON, A DISTANCE OF EIGHT (8) FEET TO AN IRON PIN SET, THENCE SOUTHWESTERLY, A DISTANCE OF FIFTY AND 75/100 (50.75) FEET TO THE PLACE OF BEGINING.

CONTAINING APPROXIMATELY TWO HUNDRED (200) SQUARE FEET, SUBJECT TO ALL EASEMENTS OF RECORD.

John E. Stultz
REGISTERED SURVEYOR NO. 5990

MAIN STREET 60' R/W



DEDICATION

THE VILLAGE OF BLUFFTON, OHIO OWNER OF THE LAND CONTAINED IN THE HEREON PLAT, HEREBY DEDICATES THE DESCRIBED LAND TO THE USE AND BENEFIT OF THE PUBLIC FOR STREET PURPOSES FOREVER.

IN WITNESS THEREOF, THE UNDERSIGNED, MAYOR OF THE VILLAGE OF BLUFFTON, OHIO, HEREBY, ON BEHALF OF SAID VILLAGE HAS HEREUNTO SIGNED HIS NAME THIS 4th DAY OF NOVEMBER, 1975

WITNESSES: *Harold Balmert*
Samuel Miller

R. Wayne Matter
MAYOR OF THE VILLAGE OF BLUFFTON, OHIO

ACKNOWLEDGEMENT

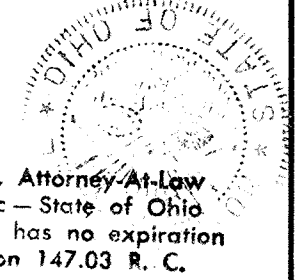
STATE OF OHIO
ALLEN COUNTY, S.S.

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, APPEARED THE HONORABLE R. WAYNE MATTER, MAYOR OF THE VILLAGE OF BLUFFTON, OHIO, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING DEDICATION AND THAT SAME WAS HIS FREE ACT AND DEED.

IN WITNESS WHEREOF, I HAVE HEREINTO SET MY HAND AND SEAL THIS 4th DAY OF NOVEMBER, 1975

MY COMMISSION EXPIRES _____

S. W. Diller
NOTARY PUBLIC, ALLEN COUNTY, OHIO



APPROVAL OF VILLAGE PLANNING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE VILLAGE OF BLUFFTON, OHIO, AND CHAIRMAN OF THE VILLAGE PLANNING COMMISSION, HEREBY, ON BEHALF OF SAID VILLAGE AND SAID COMMISSION, APPROVE AND ACCEPT THIS PLAT, THIS 4th DAY OF NOVEMBER, 1975

R. Wayne Matter
MAYOR OF THE VILLAGE OF BLUFFTON, OHIO
CHAIRMAN OF THE VILLAGE PLANNING COMMISSION

COUNTY RECORDER'S CERTIFICATE

NO. 330895

FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 7th DAY OF NOVEMBER, 1975
AT 12:02 O'CLOCK, P. M.
FEE 8:30

PLAT BOOK NO. 13, PAGE 187

Bernice Montague
RECORDER OF ALLEN COUNTY, OHIO d.s.

COUNTY AUDITOR'S CERTIFICATE

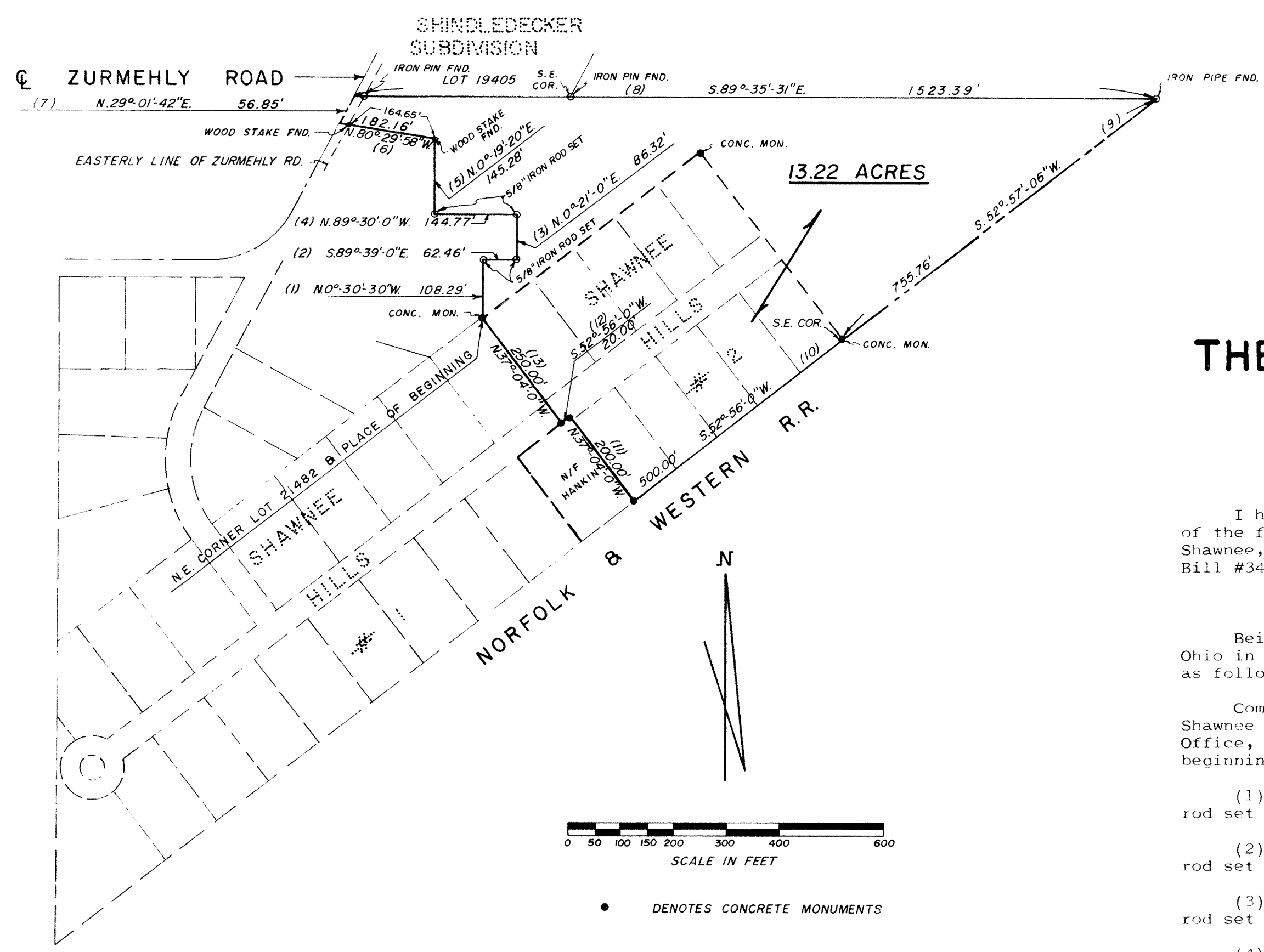
THIS PLAT FILED FOR TRANSFER THIS 7th DAY OF November, 1975

Richard L. Ditts
AUDITOR OF ALLEN COUNTY, OHIO

For Ordinance see Deed Vol. 570 page 581.

REVISIONS			DEDICATION OF PUBLIC RIGHT-OF-WAY VILLAGE OF BLUFFTON, OHIO		
NO.	DATE	BY	PART OF LOT NO. 194 IN J.H. EATON'S FIRST ADDITION		
1			DRAWN BY J.E.S.		
2			SCALE 1" = 50'		
3			MATERIAL		
4			CHK'D	DATE	DRAWING NO.
5			TRACED	10-20-75	
			APP'D		

PLAT OF A SURVEY OF DEDICATORS LAND FOR SHAWNEE HILLS No. 2 IN SECTION 15, T4S-R6E, THE VILLAGE OF FORT SHAWNEE, ALLEN COUNTY, OHIO



PREPARED BY: SHELDON & ASSOCIATES INC.
1430 N. COLE,
LIMA, OHIO

CERTIFICATION

I hereby certify that in December, 1975, a survey was made under my supervision of the following described land in Section 15, T4S-R6E, in the Village of Fort Shawnee, Allen County, Ohio and that this plat was prepared in accordance with Senate Bill #347 effective September 30, 1974.

DESCRIPTION

Being a parcel of land situated in the Village of Fort Shawnee, Allen County, Ohio in Section 15, Township 4 South, Range 6 East being more particularly described as follows:

Commencing for reference at the northeast corner of Lot 21482 as platted in Shawnee Hills Subdivision #1, in Plat Book 9, Page 39 in the Allen County Recorders Office, said corner being marked by a concrete monument and being the place of beginning for the parcel to be conveyed by this instrument -

- (1) Thence north 0°-30'-30" west a distance of 108.29 feet to a 5/8 inch iron rod set -
- (2) Thence south 89°-30'-0" east a distance of 62.46 feet to a 5/8 inch iron rod set -
- (3) Thence north 0°-21'-0" east a distance of 86.32 feet to a 5/8 inch iron rod set -
- (4) Thence north 89°-30'-0" west a distance of 144.77 feet to a 5/8 inch iron rod set -
- (5) Thence north 0°-19'-20" east a distance of 145.28 feet to a wood stake found -
- (6) Thence north 80°-29'-58" west a distance of 182.16 feet to the centerline of Zurmehly Road, passing a wood stake found on the easterly line of Zurmehly Road at 164.65 feet -
- (7) Thence north 29°-01'-42" east along the centerline of Zurmehly Road a distance of 56.85 feet -
- (8) Thence south 89°-35'-31" east a distance of 1523.39 feet to an iron pipe found on the northerly right-of-way line of the Norfolk and Western Railroad passing an iron pin found on the Easterly line of Zurmehly Road and an iron pin found marking the southeast corner of Lot 19405 as platted in Shindledecker Subdivision in Plat Book 7, Page 58 in the Allen County Records Office -
- (9) Thence south 52°-57'-06" west along the northerly right-of-way line of the Norfolk & Western Railroad a distance of 755.76 feet to a concrete monument
- (10) Thence south 52°-56'-0" west, along the northerly right-of-way line of the Norfolk & Western Railroad, a distance of 500.00 feet to a concrete monument -
- (11) Thence north 37°-04'-0" west, a distance of 200.00 feet to a concrete monument -
- (12) Thence south 52°-56'-0" west, a distance of 20.00 feet to a concrete monument -
- (13) Thence north 37°-04'-0" west a distance of 250.00 feet to the place of beginning.

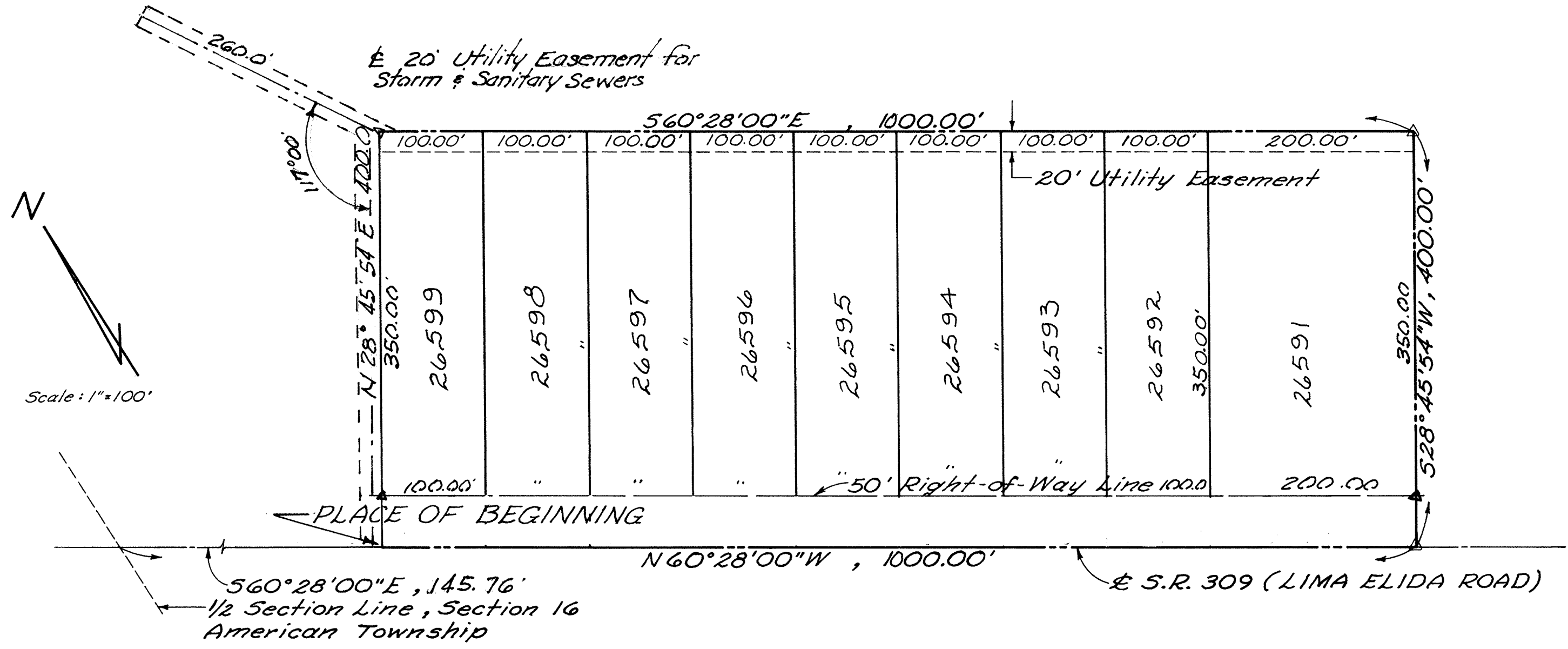
Containing in all 13.22 acres of land more or less.
Subject to all easements and right-of-way of record.



Approved For Transfer
Allen County Tax Map
Office: REA Date: 12/14/75

Thomas C. Hubbell
Thomas C. Hubbell
Reg. Surveyor #5044

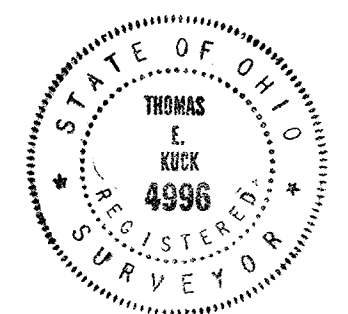
SHENK SUBDIVISION



SURVEYORS CERTIFICATE

I hereby certify that in February, 1975, I surveyed the following described, and that Iron Pipes were placed at all lot corners. Monuments (Δ) are in as shown.

Being a part of the southeast quarter of section 16, T35, R6E, American Township, Allen County, Ohio and more particularly described as follows:
Commencing at the intersection of the centerline of S.R. 309 (Lima Elida Road) and the Half Section Line of said section 16; thence 560°28'00"E with the centerline of S.R. 309 (Lima Elida Road), 145.76 ft. to the PLACE OF BEGINNING; thence N 28°45'54"E, 400.00 ft.; thence 560°28'00"E, 1000.00 ft.; thence 528°45'54"W, 400.00 ft. to the centerline of S.R. 309 (Lima Elida Road); thence N 60°28'00"W, with the centerline of S.R. 309 (Lima Elida Road), 1000.00 ft. to the PLACE OF BEGINNING, containing 9.182 Acres more or less.



Thomas E. Kuck
Thomas E. Kuck
Reg. Surveyor #4996

APPROVAL OF CITY PLANNING COMMISSION

Being the duly elected Mayor of the City of Lima, Ohio and Chairman of the Planning Commission, I hereby accept this plat for the city.

James M. Meyer
Mayor and Chairman of Planning Commission

Filed For transfer this 16th day of January 1976 at 8:21 o'clock A.M. in the office of the Allen County Auditor.

Richard L. Ditto
Allen County Auditor R.L.K.

No. 332955
Filed for record this 16th day of January 1976 at 8:30 o'clock A.M. in the office of the Allen County Recorder and recorded in Plat Book 13, Page 190
Fee \$16.00
Bernice Montague
Allen County Recorder

DEDICATION

Being the sole owners of the above described premises, hereby dedicates the streets and utility easements as shown to the public, for their use forever. Signed this 10 day of Jan. 1976.

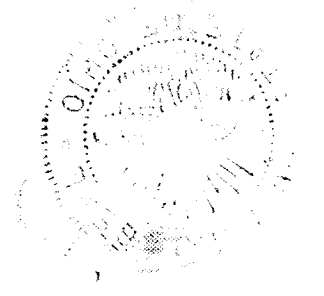
OWNER
Ruth Ann Culp Rodgers
Ruth Ann Culp Rodgers
Lucille Busdiecker
Lucille Busdiecker
RR. #2 Columbus Grove
Ohio 45830

WITNESS
G. Marshall Rodgers
James Laibe

ACKNOWLEDGEMENT

County of Allen, State of Ohio
Before me, a notary public in and for said county and state, did personally appear the above signed owners who acknowledged this document to be their free act and deed, in testimony thereof I affix my hand and seal this 10 day of Jan. 1976.

My commission expires NO EXPIRATION
G. Marshall Rodgers
Notary Public



Approved For Transfer
Allen County Tax Map
Office: RR Date: 1-16-1976

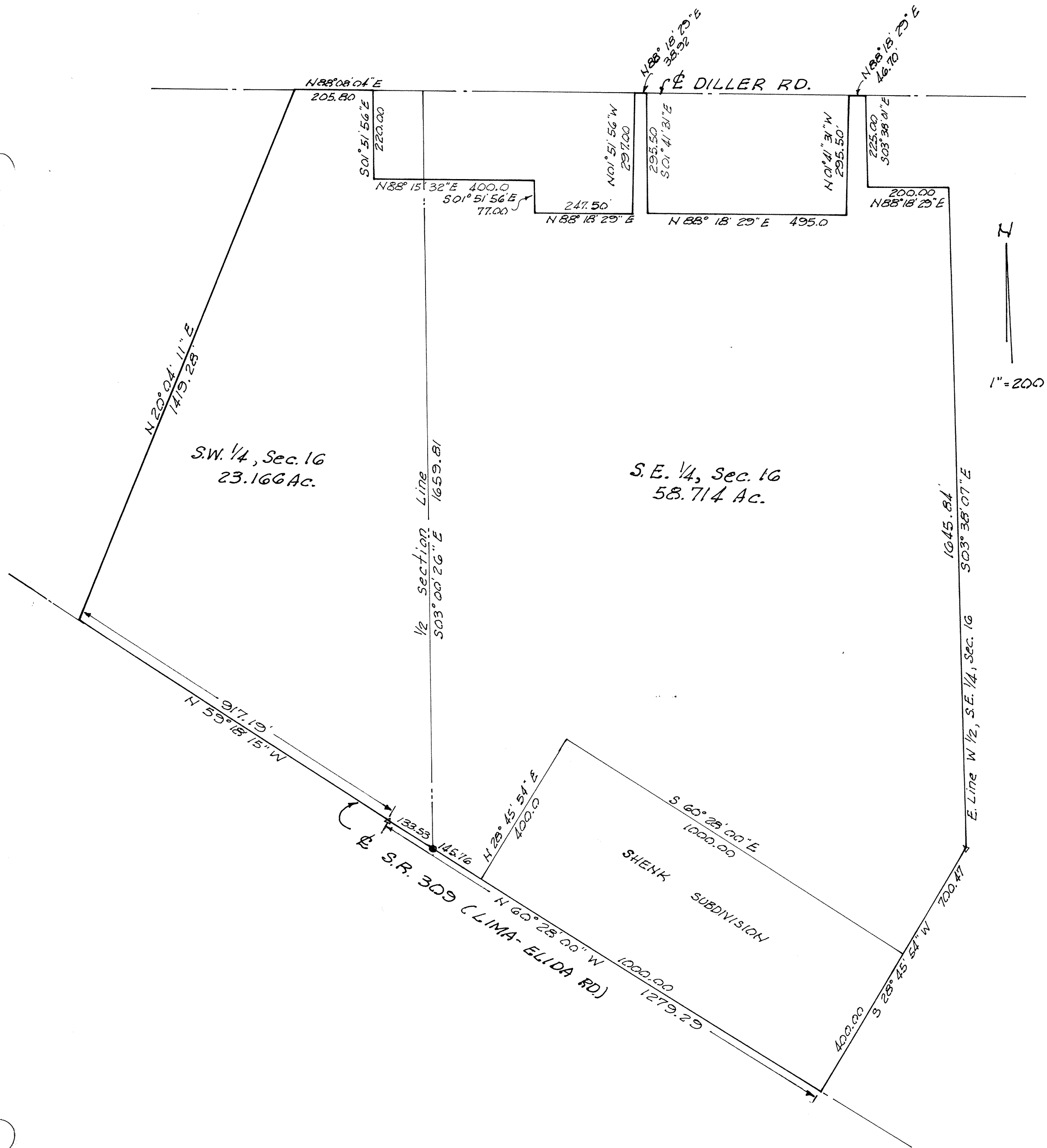
SURVEYORS CERTIFICATE

I hereby certify that in February, 1975, I surveyed the following described, and that Iron Pipes were placed at all property corners.

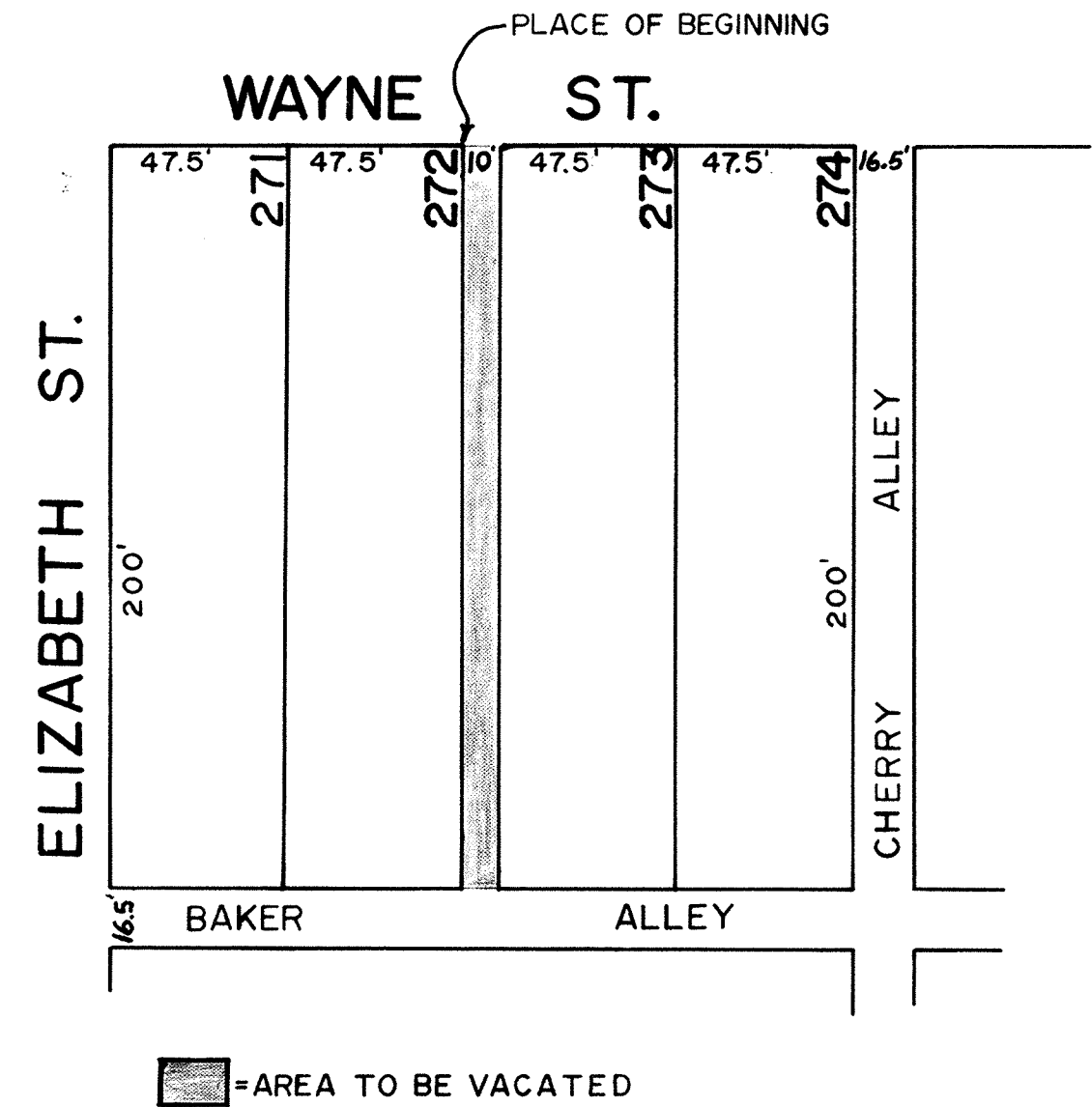
Being a part of the S 1/2 of Sec. 16, T3S, R6E, American Twp., Allen County, Ohio, and more particularly described as follows:

Beginning at the intersection of the centerline of S.R. 309 & the 1/2 Sec. Line of said Sec. 16, thence N 60° 28' W along said centerline, 133.53 ft.; thence N 59° 18' 15" W along said centerline, 917.19 ft.; thence N 20° 04' 11" E, 1419.28 ft. to the centerline of Diller Road; thence N 88° 08' 04" E along the centerline of Diller Road, 205.80 ft.; thence S 01° 51' 56" E, 220.0 ft.; thence N 88° 15' 32" E, 400.0 ft.; thence S 01° 51' 56" E, 77.0 ft.; thence N 88° 18' 29" E, 247.50 ft.; thence N 01° 51' 56" W, 297.0 ft. to the centerline of Diller Road; thence N 88° 18' 29" E, along said centerline, 38.92 ft.; thence S 01° 41' 31" E, 295.50 ft.; thence N 88° 18' 29" E, 495.0 ft.; thence N 01° 41' 31" W, 295.50 ft. to the centerline of Diller Road; thence N 88° 18' 29" E along said centerline, 46.70 ft.; thence S 03° 38' 01" E, 225.0 ft.; thence N 88° 18' 29" E, 200.0 ft. to the East Line of the W 1/2, S E 1/4 of said Sec. 16; thence S 03° 38' 07" E along said East Line, 1645.84 ft.; thence S 28° 45' 54" W, 700.47 ft. to the centerline of said S.R. 309, thence N 60° 28' W, 1145.76 ft. to the place of beginning, containing 81.88 acres more or less

Thomas E. Huck
Reg. Surveyor No 4996



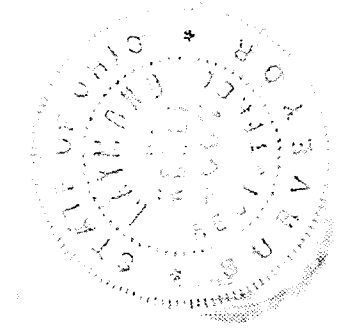
ALLEY VACATION



Vacation of a public alley between Lots 272 and 273 in Rose's Addition, Recorded in Plat Bk. 1, Page 6 of the office of the Allen County Recorder.

Beginning at the NE corner of lot 272; thence south along the east line of lot 272 for a distance of 200' to the SE corner thereof; thence east along the north line of Baker Alley for a distance of 10' to the SW corner of lot 273; thence north along the west line of lot 273 for a distance of 200' to the NW corner of lot 273; thence west along the south line of Wayne Street, a distance of 10' to the NE corner of lot 272 and the PLACE OF BEGINNING.

I hereby certify that I supervised the preparation of the above captioned description from plans of the Allen County Engineer's office and to the best of my knowledge it is true and correct.



Raymond R. Kohli
 Raymond R. Kohli, P. E.
 ALLEN COUNTY ENGINEER

See Deed Vol. 573 Page 166 for Ordinance No. 173-75 to vacate alley

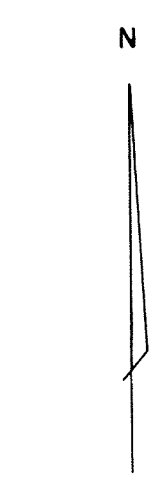
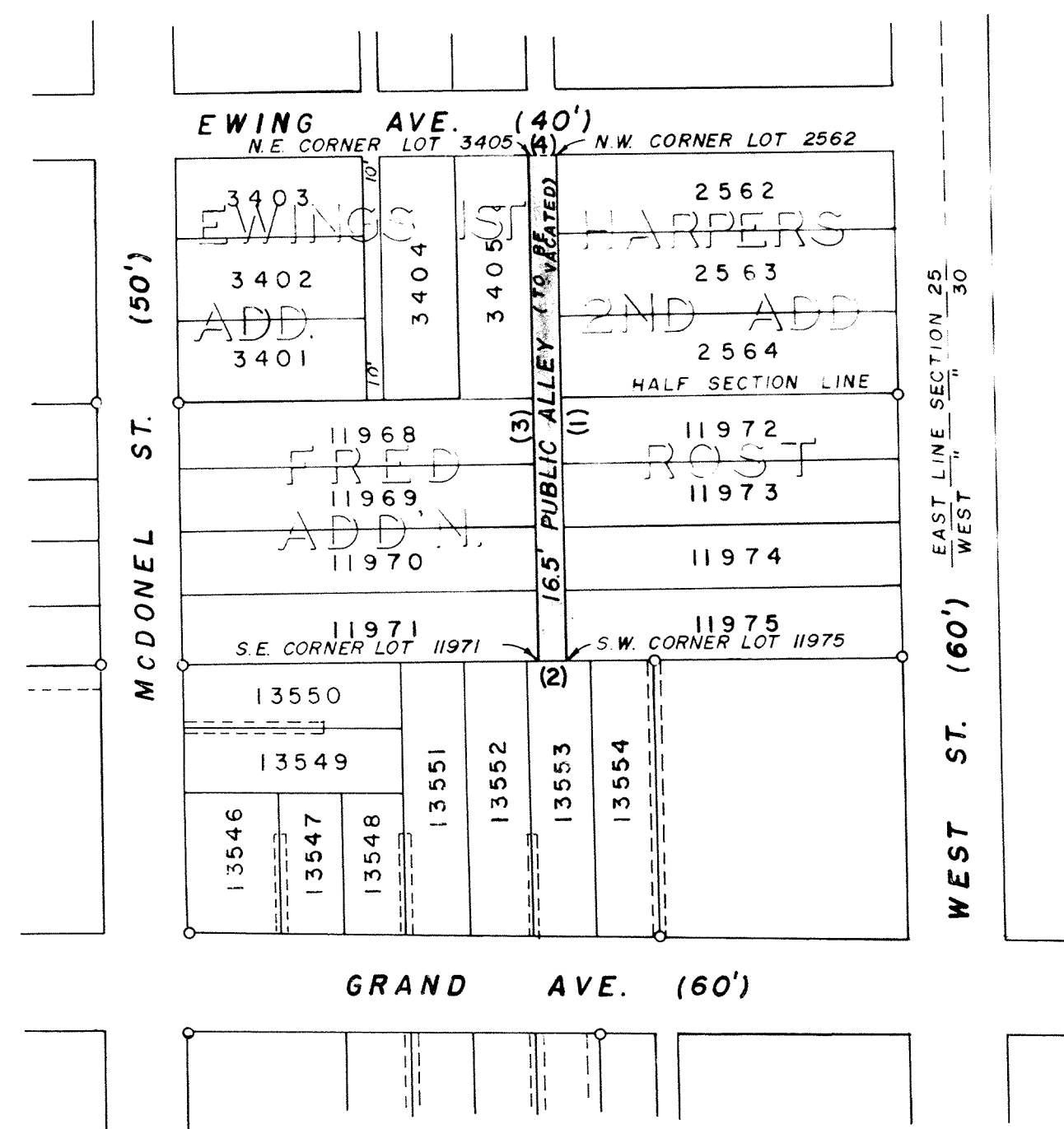
333119

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 1:01 O'CLOCK P.M.

JAN 21 1975

*Recorded Jan 21 1975
 Plat Vol. 13 Page 192
 Corrina Montague
 Fee 8.30 by B. Kinzler, Deputy*

VACATION PLAT
 OF A 16.5' PUBLIC ALLEY
 LYING WEST OF LOTS 2562 THRU 2564 OF HARPER'S 2ND ADD'N.
 BETWEEN LOTS 11968 THRU 11971 AND 11972 THRU 11975 OF
 FRED ROST ADD'N. AND EAST OF LOT 3405 OF EWING'S 1ST ADD'N,
 TO THE CITY OF LIMA,
 ALLEN COUNTY, OHIO



SCALE: 1" = 100'
 MAY 23, 1975
 DWN: JKB.

DESCRIPTION

Being a 16.5 foot Public Alley, lying west of Lots 2562 thru 2564 of Harper's 2nd Addition, between Lots 11968 thru 11971 and 11972 thru 11975 of Fred Rost Addition and East of Lot 3405 of Ewing's 1st Addition, to the City of Lima, Allen County, Ohio and being more particularly described as follows:

Commencing for reference at the northwest corner of Lot 2562 as platted in Harpers 2nd Addition to the City of Lima, this point being the place of beginning for the parcel to be conveyed by this instrument -

- (1) Thence southerly along the west line of Lots 2562, 2563 and 2564 in Harpers 2nd Addition and along the west line of Lots 11972, 11973, 11974 and 11975 in Fred Rost Addition to the City of Lima, to the southwest corner of Lot 11975 -
- (2) Thence westerly to the southeast corner of Lot 11971 of Fred Rost Addition -
- (3) Thence northerly along the east line of Lots 11971, 11970, 11969 and 11968 in the Fred Rost Addition and along the east line of Lot 3405 in Ewings 1st Addition, to the City of Lima to the northeast corner of Lot 3405 -
- (4) Thence easterly to the northwest corner of Lot 2562 and the place of beginning.

333123

*For Ordinance To
 Vacate Alley See Deed Vol. 573 - Page 168.*

Sheldon & Associates, Inc.
 1430 North Cole Street
 Lima, Ohio

Thomas C. Hubbell
 Thomas C. Hubbell
 Reg. Surveyor #5044

RECORDED'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 1:54 P.M. 1975

JAN 21 1976
 RECORDED Jan 21 1976
 Plat VOL 173 PAGE 193
Bernice Montague
 Recorder
 by C. Kinale, Deputy

INDIAN BROOK ESTATES N^o5

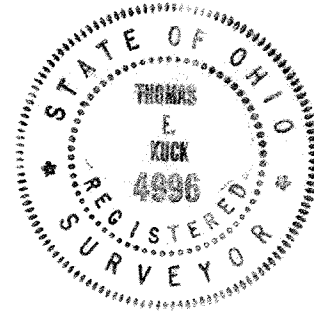
DESCRIPTION

Being a part of the North 1/2 of section 5, T4S, R6E, Shawnee Township, and a part of the South 1/2 of section 32, T3S, R6E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at the Northeast corner of Lot N^o 25803 in Indian Brook Estates N^o 3 Addition, to the City of Lima, Ohio; thence 589°35'00"E along the north line of section 5, T4S, R6E, Shawnee Township, 30.00 feet to the PLACE OF BEGINNING; thence continuing 589°35'00"E along said North line, 774.67 feet; thence N01°10'20"E, 592.44 feet; thence 588°49'40"E, 400.00 feet; thence 501°10'20"W, 410.00 feet; thence 519°49'40"E, 202.27 feet; thence 589°35'00"E, 224.35 feet; thence 507°14'27"E, 161.70 feet; thence 552°51'02"E, 83.60 feet; thence 534°46'44"E, 205.16 feet; thence 579°40'00"W, 460.00 feet; thence N86°15'00"W, 415.00 feet; thence N75°15'00"W, 125.00 feet; thence N89°15'00"W, 550.00 feet; thence N80°55'00"W, 180.00 feet; thence N09°05'00"E, 170.00 feet; thence N89°35'00"W, 20.00 feet; thence N00°25'00"E, 50.00 feet; thence 589°35'00"E, 30.00 feet; thence N00°54'20"E, to said North line of Shawnee Township, 172.89 feet to the PLACE OF BEGINNING, containing 21.183 acres more or less.

(Δ) Denotes Concrete Monument. Iron Pipes are located at all lot corners.

(C.5.59 Ac. in American Twp; 15.593 Ac. in Shawnee Twp.)

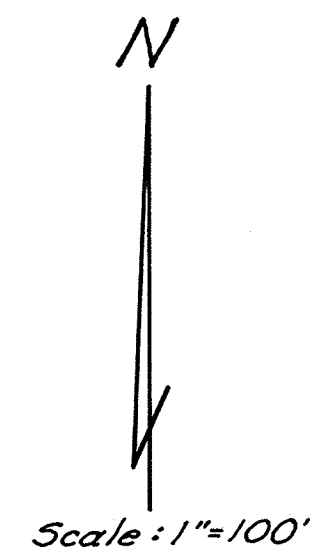


Thomas E. Kuck
 Thomas E. Kuck
 Reg. Surveyor #4996

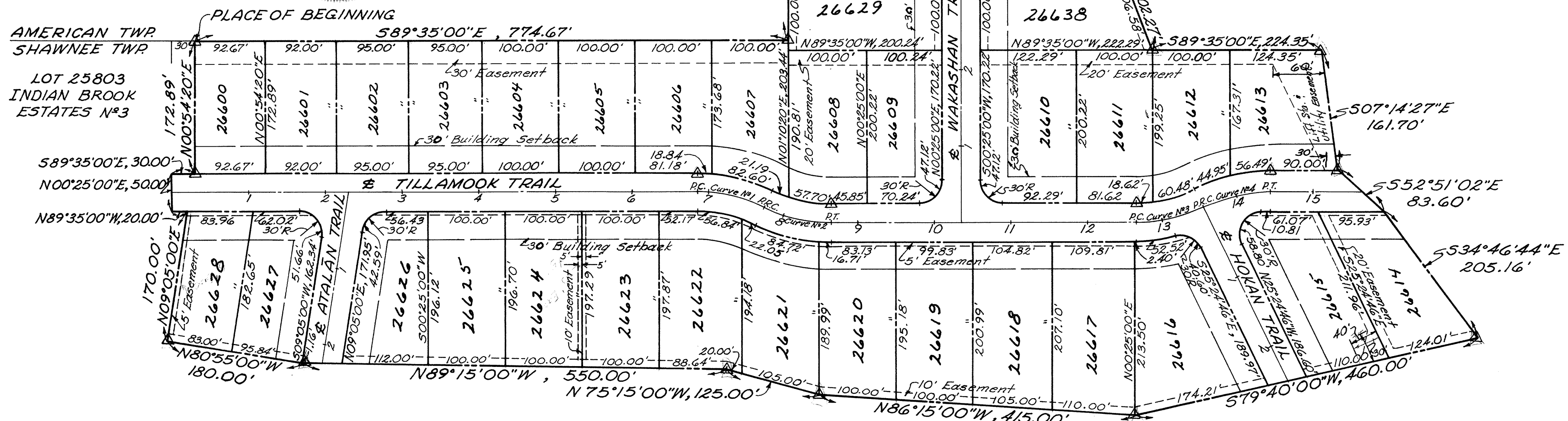
For Affidavit as to change of lot Dimensions (Lot 26331-32)
 And Street Right-of-Way width See Deed Book #574 Page #463.

For Amendment To Easement
 See Deed Vol #692 page #256
 Lots 26600 thru 26638-26636-26637

For Amendment to Deed Restrictions
 See Deed Vol 874, Pg 30



Curve N ^o	R	T	L	Δ	D
1	200.0'	45.86'	90.17'	25°50'	28.65°
2	200.0'	45.86'	90.17'	25°50'	28.65°
3	200.0'	45.86'	90.17'	25°50'	28.65°
4	200.0'	45.86'	90.17'	25°50'	28.65°
5	571.5'	50.00'	99.75'	10°00'	10.025°



DEDICATION

Indianbrook West Company, a corporation, being the sole owners of the above described premises, hereby dedicates the streets and utility easements as shown to the public, for their use forever. Signed this 29th day of January 1975.

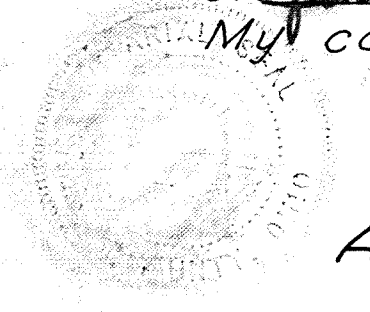
OWNER
Clair E. Butturff
Clair E. Butturff
(President & Treasurer)
Rosemary Butturff
Rosemary Butturff
(Vice-President & Secretary)

WITNESS
Margaret A. Wolfe
Harry S. Johnson

ACKNOWLEDGEMENT

County of Allen, State of Ohio
Before me, a notary public in and for said county and state, did personally appear the above signed owners who acknowledged this document to be their free act and deed, in testimony thereof I affix my hand and seal this 29th day of January 1975.

My commission expires Sept 13, 1977 Margaret A. Wolfe
Notary Public



APPROVAL OF CITY PLANNING COMMISSION

Being the duly elected Mayor of the City of Lima, Ohio and Chairman of the Planning Commission, I hereby accept this plat for the city.

Kathy Mouch
Mayor and Chairman of the Planning Commission

Filed for transfer this 29th day of January 1975 at 4:13 o'clock P.M. in the office of the Allen County Auditor.

Richard L. Ditto by M. Bechtel
Allen County Auditor

No. 333359
Filed for record this 29th day of January 1975 at 4:18 o'clock P.M. in the office of the Allen County Recorder and recorded in Plat Book 13 Page 194.
Fee \$ 33.20

Bernice Montague
Allen County Recorder

As a part of a general plan for the development of the real estate shown on the foregoing plat, as a residential area, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, easements, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property and each and every parcel thereof, and shall apply to and be binding upon the purchasers and their successors in interest; and the restrictions, covenants, reservations, easements, liens and charges applicable to each tract, lot, or parcel, shall inure to the benefit of and be enforceable by the purchaser or purchasers of every other tract, lot, or parcel, and their successors in interest.

The tract, lots, and parcels of real estate shown and described on this plat are and shall be held, transferred, sold, and conveyed subject to the following conditions, restrictions, covenants, reservations, easements, liens, and charges:

- 1.-The words (lots) or (building site) shall be construed to mean and shall refer to one or more lots shown on the foregoing plat.
2. Said building sites shall be used and occupied solely and exclusively for private residential purposes by a single family, including family servants.
- 3.-No buildings or structures other than one family residences not to exceed two and one-half stories in height, together with customary outbuildings such as private garages, home workshops and home greenhouses, incidental to the residential use of such building sites shall be erected, maintained or permitted upon any building site. Any out-buildings must conform in style & architecture to the appearance of the house.
- 4.-All buildings shall be constructed of new material and no buildings or other structures whatsoever erected elsewhere shall be permitted to be moved upon any building site without the written permission of the Architectural Committee, hereinafter referred to.
- 5.-No buildings or structures of any kind shall be located on any building site nearer than 35 feet from the front property line; or nearer than 10 feet from the side property line (except on corner lots where no structure shall be located nearer than 30 feet from the street side property line.) The restrictions as to the distance at which buildings shall be placed from the front, side, and rear lot lines shall apply to include porches, port cocheres, and other similar projections. All residential structures located on building sites must front on a street, excepting that structures on the corner lots may be located diagonally thereon.
- 6.-No one floor residential structure shall be erected on any building site, the habitable floor area of which exclusive of basement, open porches, and garages, with less than 1800 sq. ft., except lots facing on Wakashan Trail, which shall have a minimum of 2000 sq. ft. The same square footage shall be required on tri-level structures and the main floor plus the upper level shall be added to obtain square footage. Residential structures of two stories shall have a habitable floor area exclusive of basements, open porches, and garages on first floor plus second floor a total of 1850 sq. ft.

7.-No building or other structure shall be erected, placed, or altered on any building site unless the building plans, specifications and plot plans showing the location of such building have been approved in writing, as to the conformity and harmony of external design and color, with the existing structures in the subdivision, and as to the location of the building with references to topography and finished ground elevation, by an Architectural Committee composed of three individuals appointed, by Clair E. Butturff, the owner of the real estate shown on the foregoing plat, its successors or assigns. In the event of the death or resignation of any member of the Committee originally appointed, the remaining members or member of the Committee shall have the power to appoint new members to fill the vacancies.

8.-No wall, fence, or hedge, except retaining walls not extending above ground level, shall be planted or erected on any building site between the front property line and the front setback line. No fence will be erected farther forward than the rear wall of the residence and it shall not exceed 3 feet in height above the top of the ground and it must be of the open wire type such as chain link fence.

9.-No animals, livestock, or poultry shall be kept or maintained on any part of said building sites, except ordinary household pets which do not constitute an annoyance or nuisance; nor shall any house or travel trailers, campers or motor homes, or boat or boat trailers, or snowmobiles or snowmobile trailers, or any other such type of equipment be stored or permitted to remain upon any building site except inside of garage.

10.-No signs, advertisements or billboards (except "For Sale" or "For Rent" signs) may be erected or maintained on any building site.

11.-No oil or gas wells shall be drilled nor shall any mining or commercial excavating operation of any kind be conducted on any building site.

12.-No trade or activity of a business nature shall be carried on upon any building site nor shall anything be done thereon which may be or may become an annoyance or nuisance.

13.-Water used for air conditioning, water from downspouts or water from land file drainage shall not be discharged into the sanitary effluent lines. All such water must be discharged into the storm sewer system or splash blocks.

14.-Off street parking must be provided at each home site for at least six (6) automobiles, two of which will be in the garage and the balance of which can be in the driveway.

15.-An easement for utilities purposes is hereby expressly reserved to Indian Brook West Co. the present owner of all building sites, and to its successors and assigns, and to the purchasers of any building sites, their heirs, executors, administrators, and assigns, over and across the rear of all building sites, for the following respective distances from the rear lot lines of all building sites as shown on the plat sheet for Indian Brook Estates N° 5.

16.- No house may be occupied until completed.

17.- Every home must be constructed by a building contractor engaged in the building business.

18.-The foregoing restrictions, covenants, and conditions shall run with the land and shall be binding on all future owners of all building sites, and all persons claiming under them, until January 1, 1990 after which time said covenants, conditions, and restrictions shall be automatically extended for successive periods of ten (10) years each; provided that the owners of three-fourths majority of the building sites may, in writing, change, modify, alter, amend, or annul any of the restrictions, reservations, or conditions at any time.

19.-Should any one or more of the foregoing restrictions, covenants, or conditions, at any time in the future be held illegal, void or unenforceable, such fact shall not in any way impair the validity of any of the other restrictions, covenants, all of which shall remain in full force and effect.

SURVEY OF DEDICATORS PLAT

DESCRIPTION

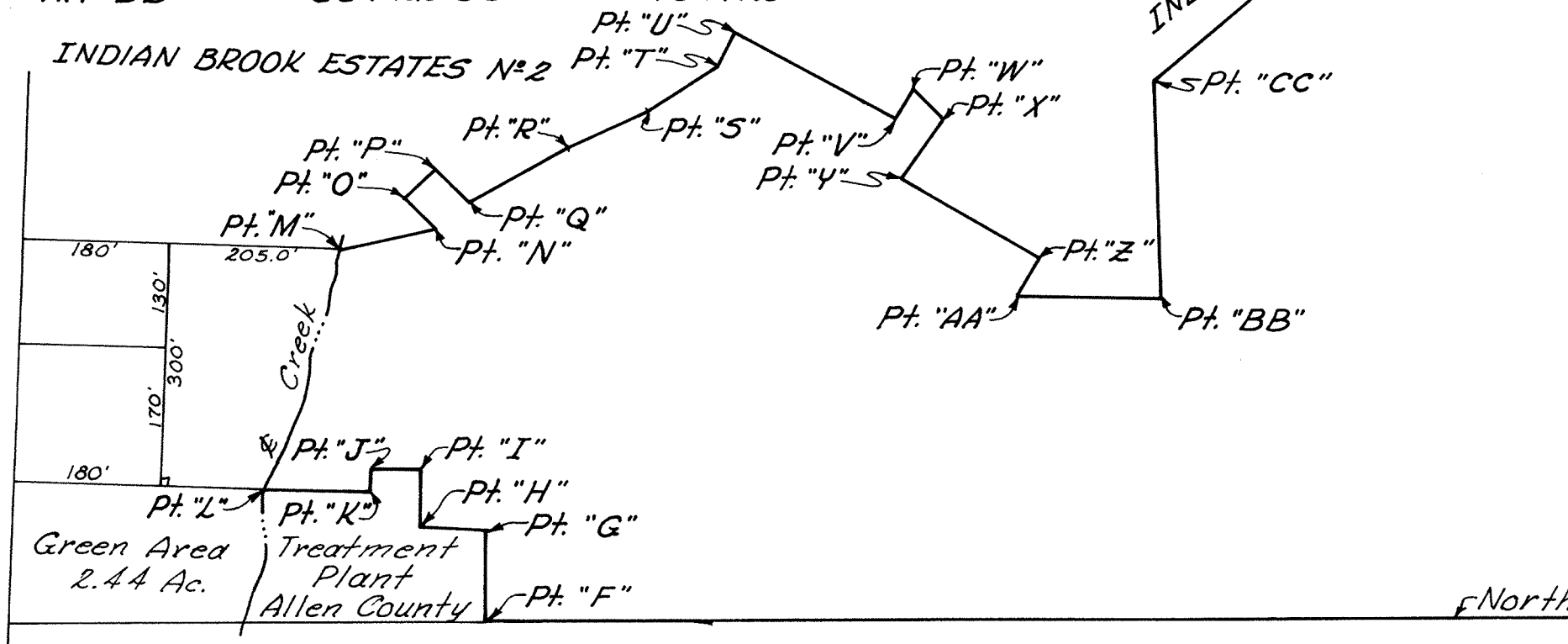
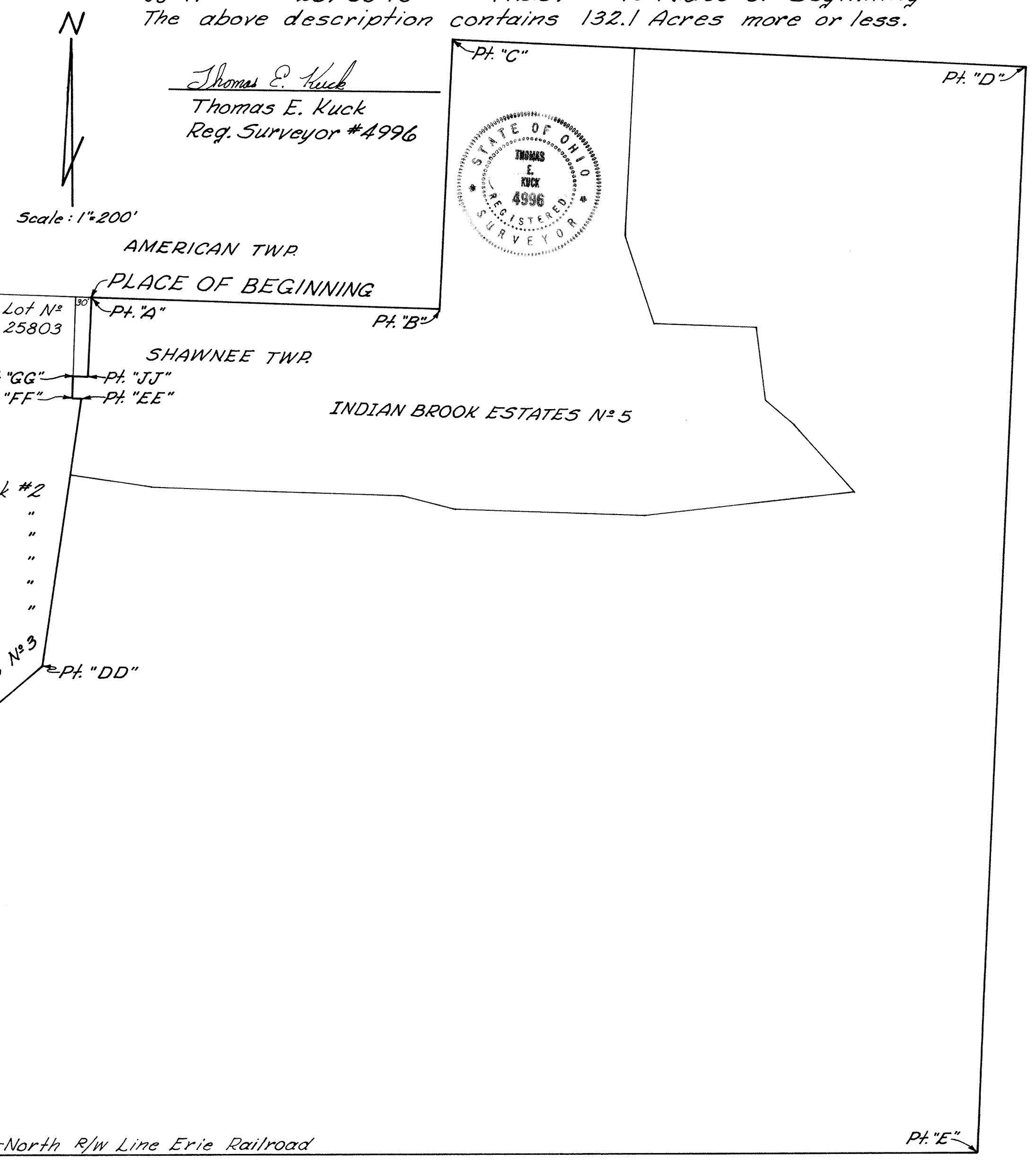
Being a part of the North 1/2 of Section 5, T4S, R6E, Shawnee Township, and a part of the South 1/2 of Section 32, T3S, R6E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at the Northeast Corner of Lot N^o 25803 in Indian Brook Estates N^o 3 Addition to the City of Lima, Ohio; thence S89°35'00"E along the north line of Section 5, T4S, R6E, Shawnee Twp. 30.00 feet to the PLACE OF BEGINNING thence continuing S89°35'00"E along said north line as follows:

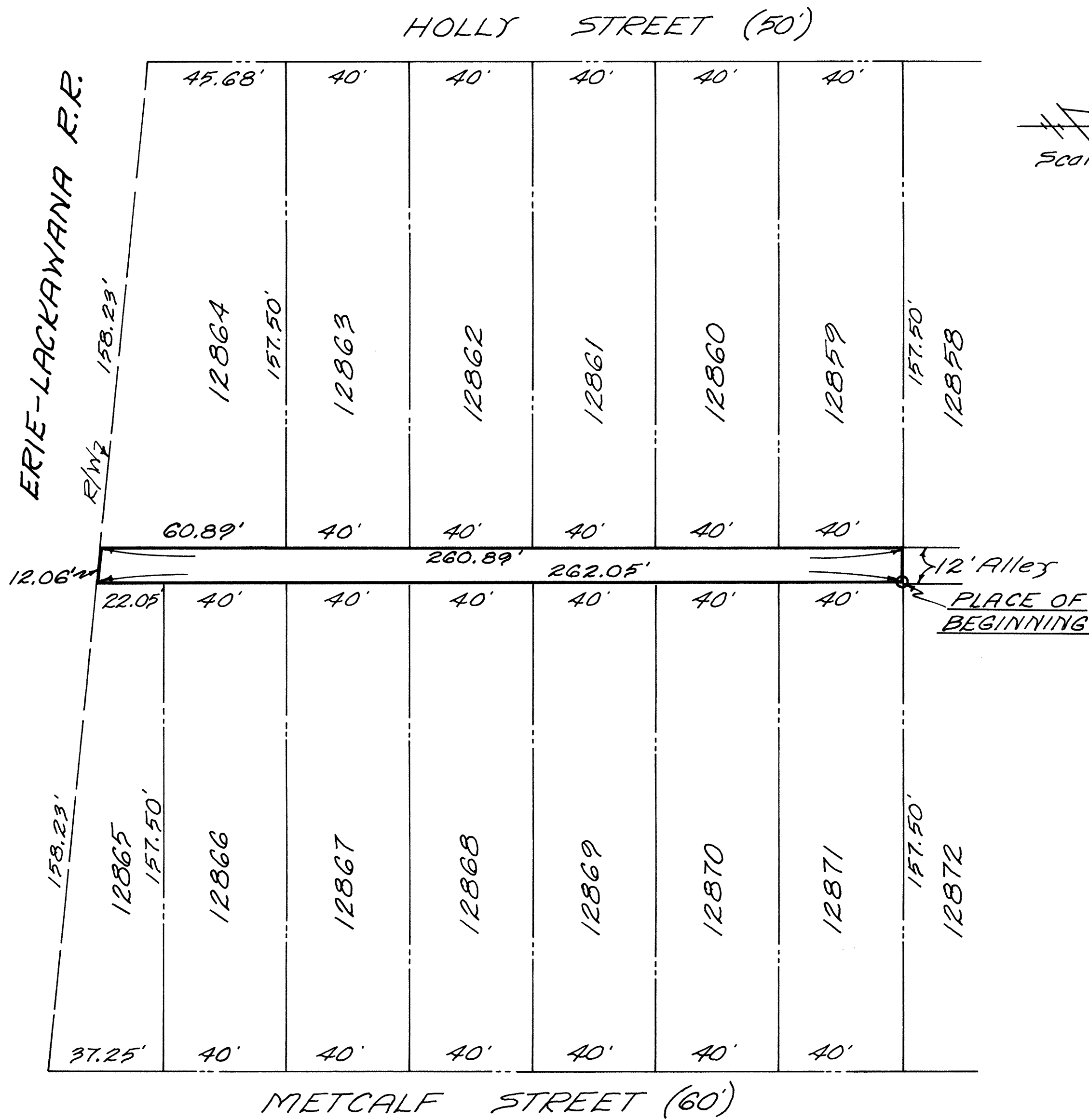
Point	Interior Angle	Distance	Description
JJ-A-B	90°29'20"	172.89'	For Reference
A-B		774.67'	Place of Beginning
B-C	269°14'40"	592.44'	
C-D	90°00'00"	1266.42'	
D-E	89°49'00"	2399.16'	North R/W Line, Erie R.R.
E-F	92°45'20"	3379.69'	Along North R/W Line, Erie R.R.
F-G	90°00'00"	121.60'	
G-H	267°31'00"	80.30'	
H-I	90°00'00"	79.10'	
I-J	270°00'00"	61.30'	
J-K	269°22'00"	32.00'	
K-L	93°25'00"	150.00'	To & Creek
L-M	71°30'00"	320.00'	Along & Creek
M-N	117°38'00"	126.00'	Along South Line Lot 25477
N-O	304°29'00"	56.50'	Along South Boundary Indian Brook #2
O-P	90°00'00"	50.00'	" " " " " "
P-Q	90°00'00"	60.00'	" " " " " "
Q-R	252°30'00"	134.00'	" " " " " "
R-S	179°32'00"	112.72'	" " " " " "
S-T	191°15'00"	106.65'	" " " " " "
T-U	220°29'00"	356.2'	To S.W. Cor. Lot 25829
U-V	75°11'00"	200.00'	Along E. Boundary Indian Brook #3
V-W	263°00'00"	40.50'	" " " " " "
W-X	79°35'00"	50.00'	" " " " " "
X-Y	100°30'00"	85.00'	" " " " " "
Y-Z	267°55'00"	200.00'	" " " " " "
Z-AA	90°00'00"	61.18'	" " " " " "
AA-BB	304°22'00"	184.92'	" " " " " "

Point	Interior Angle	Distance	Description
BB-CC	270°00'00"	270.38'	Along E. Boundary Indian Brook #3
CC-DD	130°23'00"	650.00'	" " " " "
DD-EE	220°54'00"	595.00'	" " " " "
EE-FF	278°40'00"	20.00'	" " " " "
FF-GG	90°00'00"	50.00'	" " " " "
GG-JJ	90°00'00"	30.00'	" " " " "
JJ-A	269°30'40"	172.89'	To Place of Beginning

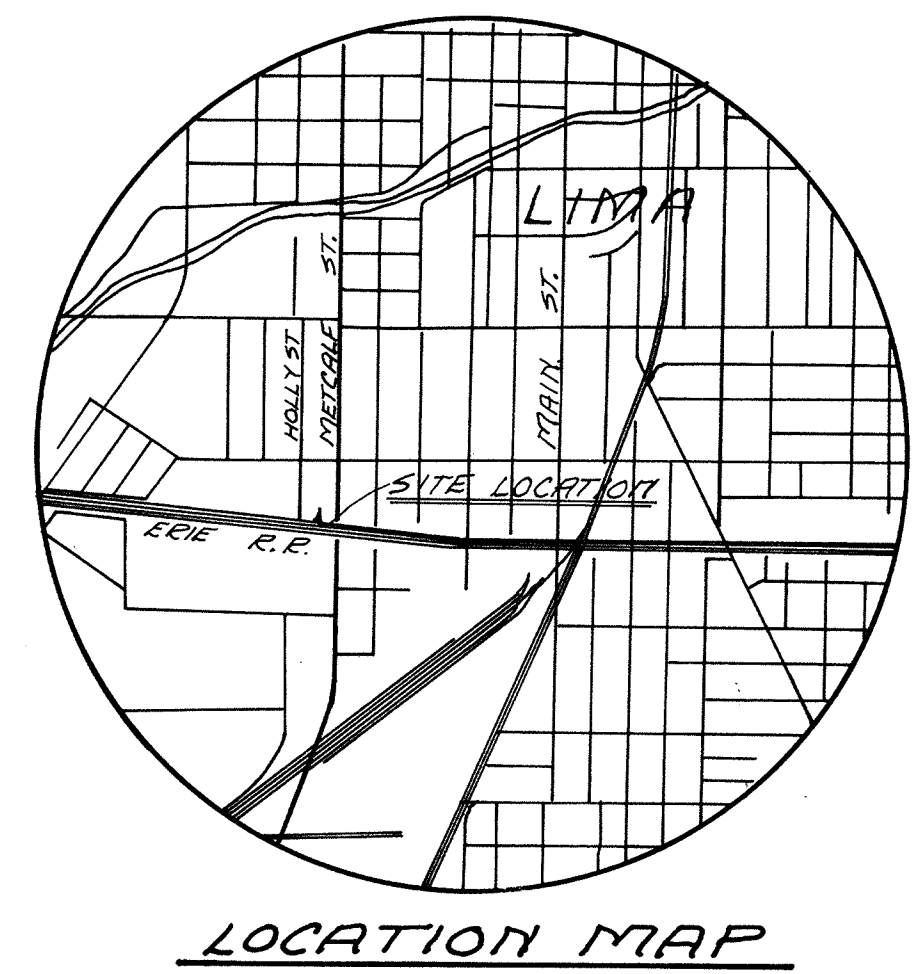
The above description contains 132.1 Acres more or less.



ALLEY VACATION



Scale: 1" = 30'



Beginning at the northwest corner of Lot No. 12871 in the Cleston Addition of the City of Lima, Allen County, Ohio; thence in a southerly direction with the west line of Lots No. 12871 thru 12865 to the southwest corner of Lot No. 12865 and the north right-of-way line of the Erie-Lackawanna Railroad, a distance of 262.05 feet; thence in a northwesterly direction with said right-of-way line 12.06 feet to the southeast corner of Lot No. 12864; thence in a northerly direction with the east line of Lots No. 12864 thru 12859 to the northeast corner of Lot No. 12859, a distance of 260.89 feet; thence easterly 12.00 feet to the PLACE OF BEGINNING.

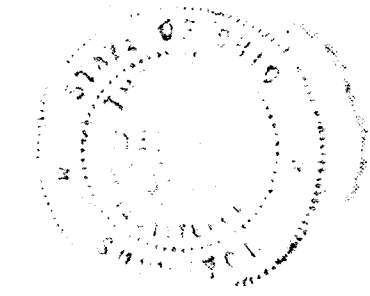
333666

Theodore A. Metzger
Registered Surveyor No. 5514

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 2:00 O'CLOCK P.M.

FEB 10 1976

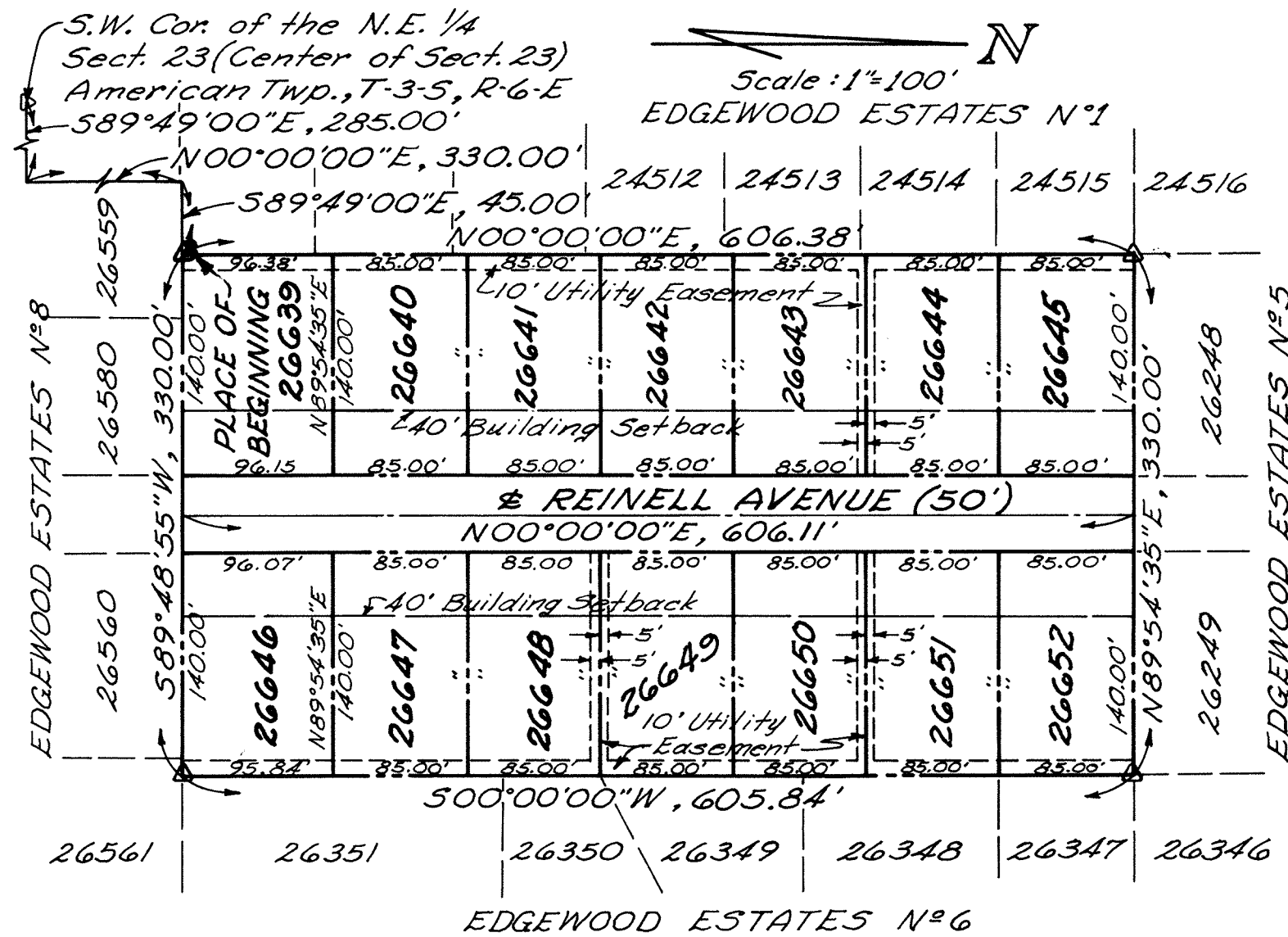
RECORDED Feb 10 1976
Plat Vol 63 PAGE 198
Theodore A. Metzger
Free 8.30 By *Dr. Kinzle, Deputy*



*For Ordinance to Vacate Alley
See Deed Vol. 593 Page 576.*

EDGEWOOD ESTATES No 9

S.W. 1/4, N.E. 1/4, SECTION 23, T3S, R6E AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO



EDGEWOOD ESTATES NO. 9

Being a parcel of land situate in the southwest quarter of the northeast quarter of Section 23, American Township, T-3-S, R-6-E, of the First Principal Meridian, Allen County, Ohio, and more particularly described as follows:

Commencing at the southwest corner of the northeast quarter of said Section 23 (Center of Section 23); thence S 89° 49' 00" E with the south line of the northeast quarter, 235.00 feet to the southwest corner of Edgewood Estates No. 8; thence N 00° 00' 00" E with the west line of Edgewood Estates No. 8, 330.00 feet to the northwest corner of Edgewood Estates No. 8; thence S 89° 49' 00" E with the north line of Edgewood Estates No. 8, 45.00 feet to the southeast corner of Edgewood Estates No. 1, also the PLACE OF BEGINNING; thence N 00° 00' 00" E with the east line of Edgewood Estates No. 1, 606.38 feet to the southeast corner of Edgewood Estates No. 5; thence N 89° 54' 35" E with the south line of Edgewood Estates No. 5, 330.00 feet to the southeast corner of Edgewood Estates No. 5, and the west line of Edgewood Estates No. 6; thence S 00° 00' 00" W, with the west line of Edgewood Estates No. 6, 605.84 feet to the southwest corner of Edgewood Estates No. 6, and the north line of Edgewood Estates No. 8; thence S 89° 48' 55" W with the north line of Edgewood Estates No. 8, 330.00 feet to the PLACE OF BEGINNING, containing 4.592 Acres more or less and subject to all legal highways and other easements of record.

I hereby certify that this plat is based on a true and accurate survey made by me or under my supervision in January, 1976.

Theodore A. Metzger
Registered Surveyor No. 5514



DEDICATION

Harry H. Wagner, Sr., being the owner of the land contained in the hereon plat, hereby adopts said plat and dedicates the land contained within the streets to the use and benefit of the public forever. Utility easements are established as shown on the plat.

In witness Whereof, Harry H. Wagner, Sr., and Marjorie C. Wagner, his wife, have hereunto signed their names this 11th day of FEBRUARY, 1976.

Witnesses:

Theodore A. Metzger
Edmer J. Sueren
Harry H. Wagner, Sr.
Marjorie C. Wagner

ACKNOWLEDGMENT

State of Ohio
Allen County ss:

Before me a Notary Public in and for said state and county, personally appeared Harry H. Wagner, Sr. and Marjorie C. Wagner, who acknowledged that they did sign the hereon plat of Edgewood Estates No. 9 and that the signing was their free act and deed.

In witness Whereof, I have hereunto set my hand and seal this 11th day of FEBRUARY 1976.

My Commission Expires: 1/2/79

Sharon S. O'Neill
Notary Public, Allen County, Ohio

APPROVAL OF THE CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I, the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, and on behalf of said City and said Commission approve and accept this plat this _____ day of _____, 1976.

Robert Moyer
Mayor of the City of Lima, Ohio, and
Chairman of the City Planning Commission

COUNTY AUDITOR'S CERTIFICATE

This Plat filed for transfer this 26th day of February, 1976. Fee: \$ 3⁵⁰

Richard L. Dotto
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 334166
Filed for record in the Allen County, Ohio, Recorder's Office this 26th day of February 1976, at 1:45 o'clock P.M. and recorded in the Allen County Plat Book 13 on Page 199. Fee: \$ 16⁰⁰

Bernice Montague
Recorder of Allen County, Ohio

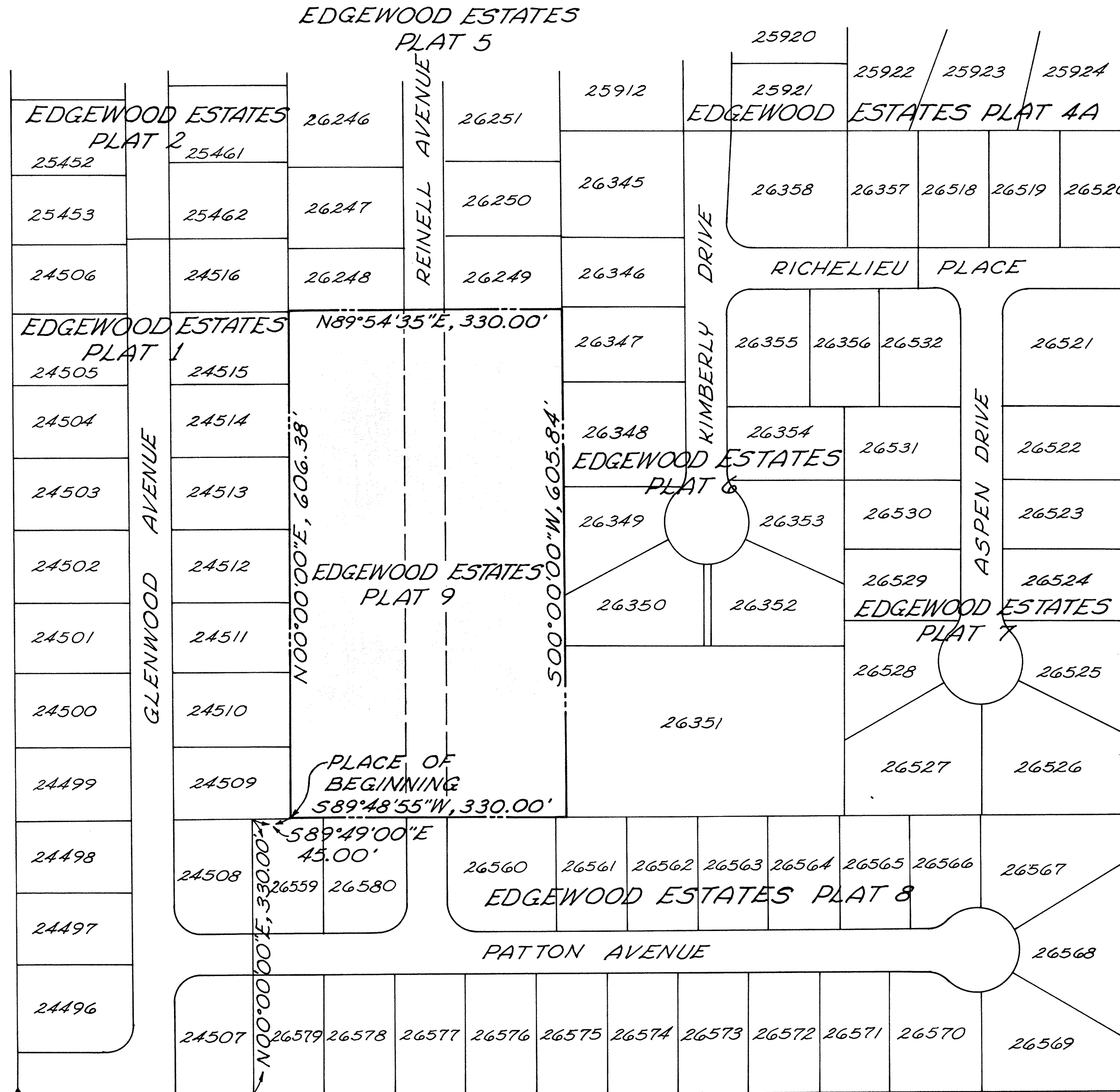
COUNTY ENGINEER'S CERTIFICATE

Having checked the construction of the streets in this subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans thereof, and that they are in good repair, and this endorsement shall constitute acceptance of the streets for public use.

County Engineer of Allen County, Ohio

SURVEY OF DEDICATORS LAND
FOR

EDGEWOOD ESTATES No 9



DESCRIPTION OF THE DEDICATOR'S LAND
FOR EDGEWOOD ESTATES NO. 9

Being a parcel of land situate in the southwest quarter of the northeast quarter of Section 23, American Township, Allen County, Ohio, and more particularly described as follows:

Commencing at the southwest corner of the northeast quarter of said Section 23 (center of Section 23); thence S 89° 49' 00" E with the south line of the northeast quarter, 285.00 feet to the southwest corner of Edgewood Estates Plat No. 8; thence N 00° 00' 00" E with the west line of Edgewood Estates Plat No. 8, 330.00 feet to the northwest corner of Edgewood Estates Plat No. 8; thence S 89° 49' 00" E with the north line of Edgewood Estates No. 8, 45.00 feet to the southeast corner of Edgewood Estates Plat No. 1, also the PLACE OF BEGINNING, thence N 00° 00' 00" E with the east line of Edgewood Estates Plat No. 1, 606.38 feet to the southeast corner of Edgewood Estates Plat No. 5; thence N 89° 54' 35" E with the south line of Edgewood Estates Plat No. 5, 330.00 feet to the southeast corner of Edgewood Estates Plat No. 5, and the west line of Edgewood Estates Plat No. 6; thence S 00° 00' 00" W, with the west line of Edgewood Estates Plat No. 6, 605.84 feet to the southwest corner of Edgewood Estates No. 8; thence S 89° 48' 55" W with the north line of Edgewood Estates Plat No. 8, 330.00 feet to the PLACE OF BEGINNING, containing 4.592 Acres more or less and subject to all legal highways and other easements of record.

I hereby certify that this plat represents a true and accurate survey made by me or under my supervision in January 1976.

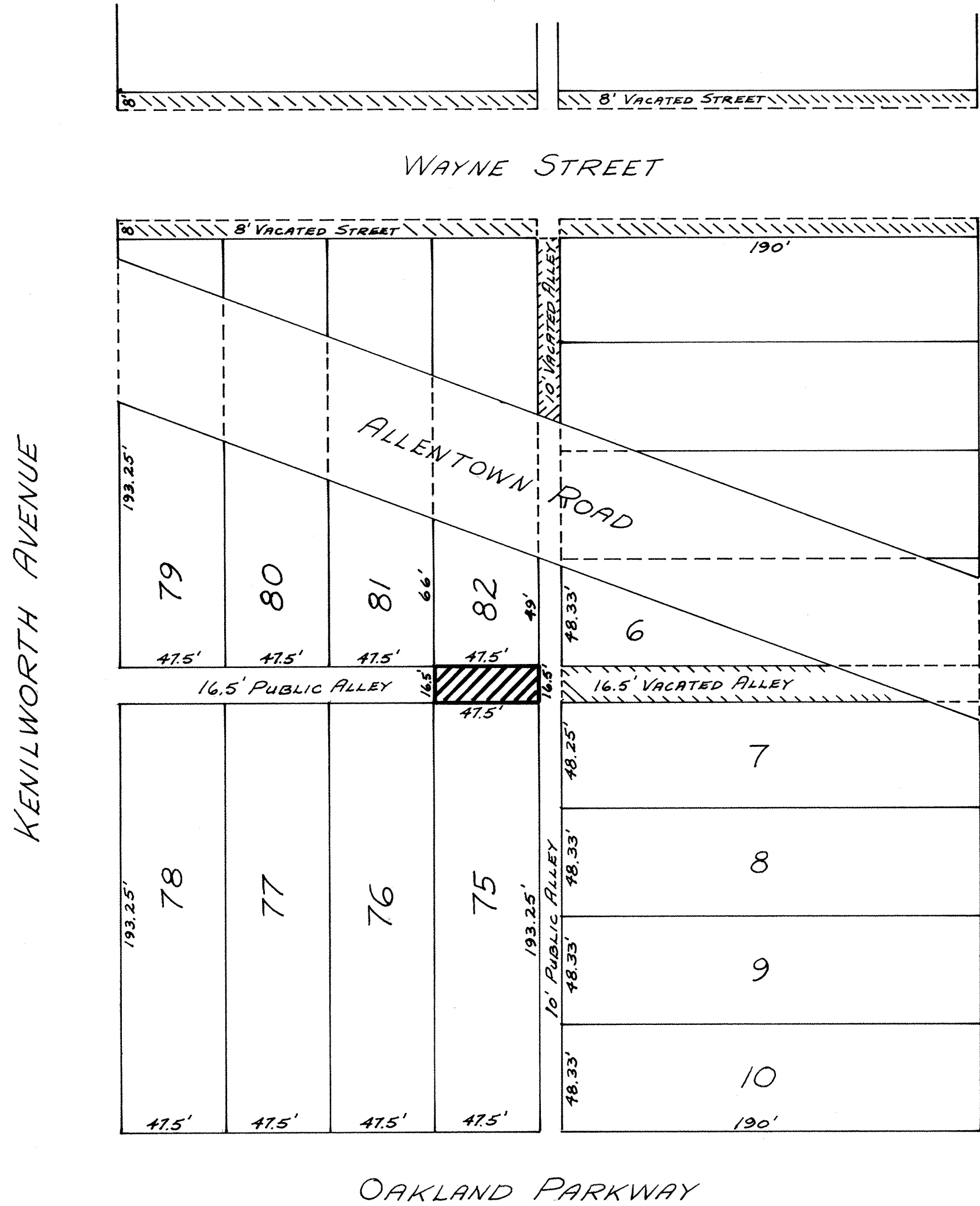
Theodore A. Metzger
Registered Surveyor No. 5514



589°49'00"E
285.00'
S.W. Corner of the
N.E. 1/4, Section 23
(Center of Section 23)
American Township
T-3-S, R-6-E

South Line of N.E. 1/4, Sec. 23

ALLEY VACATION IN THE CITY OF LIMA, OHIO

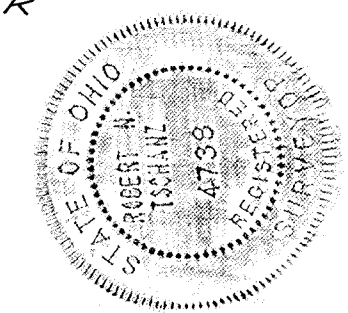


SURVEYOR'S CERTIFICATE

BEING A 16.5' ALLEY LYING SOUTH OF ALLENTOWN ROAD BETWEEN COLE STREET AND KENILWORTH AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT #82 OF THE SEINSHEIMER'S ADDITION OF CLIFTON TO THE CITY OF LIMA, OHIO; THENCE SOUTH, SIXTEEN AND FIVE TENTHS (16.5) FEET, TO THE NORTHEAST CORNER OF LOT #75 IN SAID ADDITION; THENCE WEST ALONG THE NORTH LINE OF SAID LOT #75, FORTY-SEVEN AND FIVE TENTHS (47.5) FEET, TO THE NORTHWEST CORNER OF SAID LOT #75; THENCE NORTH, SIXTEEN AND FIVE TENTHS (16.5) FEET, TO THE SOUTHWEST CORNER OF LOT #82 IN SAID ADDITION; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT #82, FORTY-SEVEN AND FIVE TENTHS (47.5) FEET, TO THE NORTHEAST CORNER OF SAID LOT #82 AND THE PLACE OF BEGINNING.

Robert N. Tschanz
 ROBERT N. TSCHANZ
 REGISTERED SURVEYOR
 OHIO # 4738



334533

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 2:02 O'CLOCK P. M.

MAR 9 1976

RECORDED Mar 9 1976
 Plat VOL 13 PAGE 201
Bernice Montague
 RECORDER
 Fee # 8.30 By Betty Kemble, Deputy

For Ordinance to Vacate Alley
 See Deed Vol. 574 Page 665.

#335163

Paul E. Scholfield
Mayor
103 E. Main
640-4551

VILLAGE OF ELIDA
200 West Main St.
Elida, Ohio 45807

Don Leis
Clerk-Treasurer
102 Roger
640-4713

March 13, 1976

Council Members
Helen Marie Fell
Ronald Joseph
A J. Keasler
John Leahy
Robert E. Willet
M.K. Zerkel

Mr. Ted W. Brown
Secretary of State
State Office Tower
Columbus, Ohio 43215

Mr. Richard L. Ditto
Allen County Auditor
Allen County Court House
Lima, Ohio 45801

Ms. Bernice Montague
Allen County Recorder
Allen County Court House
Lima, Ohio 45801

Dear Official:

On behalf of the Village of Elida, Ohio, I am submitting to your office all legal proceedings necessary for the annexation of a certain territory of property commonly referred to as "Glover Annexation".

Enclosed you will find copies of the ordinance accepting annexation, proceedings of the County Commissioners, the petition, map of area, legal notice, and other pertinent information.

Sincerely,

/s/ Don Leis

/t/ Don Leis
Clerk-Treasurer
Village of Elida

VILLAGE OF ELIDA
200 West Main St.
Elida, Ohio 45807

Paul E. Scholfield
Mayor
103 E. Main
640-4551
Don Leis
Clerk-Treasurer
102 Roger
640-4713

March 13, 1976

Council Members
Helen Marie Fell
Ronald Joseph
A.J. Keasler
John Leahy
Robert E. Willet
M.K. Zerkel

This is a certification that all of the enclosed material is an exact copy of the originals which are on file in the Clerk's Office, Village of Elida, Ohio. There are nine pieces of enclosed material relating to the annexation. Following is a brief description of the material:

1. Legal notice #772 July 22nd, 1975, Lima News
2. Ord. #332-76 passed by Elida Village Council 2-10-76
3. Legal Notice filed with Bd. of Cnty. Comm. a petition on 6-24-75 by James C. King
4. County Commissioners Res. #283-75- 8-20-75
5. County Commissioners Res. #244-75- 7-16-75
6. Letter of Clayton T. Bacon, Cnty. Eng. to the Allen Cnty. Bd. of Comm. - 7-7-75 regarding petition to Annex territory
7. Letter of Bd. of Cnty. Comm. to Clayton Bacon, Cnty. Eng. - 6-24-75 regarding validation of signatures
8. Affidavit making James C. King agent for petitioners
9. Petition for Annexation to Commissioners of Allen Cnty. received by Comm. 6-24-75, 9:30 A.M.

/s/ Don Leis
/t/ Don Leis
Clerk-Treasurer
Village of Elida

PETITION FOR ANNEXATION

To the Commissioners of Allen County, State of Ohio:

The undersigned, being the majority of the owners of the real estate within the following described territory, situate in American Township, Allen County, Ohio and adjacent to the Village of Elida, respectfully petition for the annexation of

the above described territory to the Village of Elida, Ohio,

PARCEL NO. 1: Being Lots Numbered 20231-20238 in Darbyshire's Subdivision to American Township, Allen County, Ohio, as the same are described in Plat Book 7 at page 106 in the office of the Allen County Recorder.'

PARCEL NO. 2: Being a tract of land in the southeast quarter of section seventeen (17) Town Three (3) South, Range Six (6) East, American Township, Allen County, Ohio, and being further described as follows:

Beginning at a point on the intersection of the centerlines of U.S. 30S (now known as State Route 309) and Baty Road, this point also being on the east line of section seventeen (17); thence south zero (0°) degrees, three (3) minutes and zero (0) seconds east along the centerline of Baty Road and the centerline of Baty Road for a distance of Six hundred Thirty-six and seventy hundredths (636.70) feet; thence N. 61° 43' W along the north line of the West Ohio Gas Company right-of-way for a distance of Seven Hundred fifty one (751) feet; thence northeasterly along the east line of lot number (20238) in Darbyshire Subdivision to American Township, a distance of two hundred sixteen (216) feet to a point; thence northwesterly and parallel to the centerline of U.S. Route 30 South (now known as State Route 309) a distance of one hundred (100) feet; thence northeasterly along the east line of lot number (20238) in Darbyshire Subdivision to American Township a distance of three hundred fifty (350) feet to a point in the centerline of U.S. 30 S (now known as State Route 309); thence south sixty (60) degrees, twenty-two (22) minutes and zero (0) seconds east along the centerline of U.S. 30 South (now known as State Route 309) a distance of five hundred fifteen and twenty hundredths (515.20) feet to the place of beginning.

Law Offices
of
Cory, Boesel,
Leonard & Witter
504 Colonial
Building
Lima, Ohio 45802
(419) 227-1013

An accurate map of said territory is attached hereto. There are nine owners of the real estate in the territory for which annexation is hereby sought.

James C. King, Attorney at Law, P.O. Box 58, Lima, Ohio is hereby authorized to act as agent for the petitioners in securing said annexation.

X

Pres., Western Ohio
Investment Co.

/s/ Russell K. Glover, Jr.
/t/ Russell K. Glover, Jr.

/s/ Donald H. Brown
/t/ Donald H. Brown

/s/ Alfred W. McNicoll
/t/ Alfred W. McNicoll

/s/ Arthur D. Shappell
/t/ Arthur D. Shappell

/s/ Roland P. Richie
/t/ Roland P. Richie

X
/t/ Harold A. Miller

/s/ James R. Michael
Mayor of Elida

X
/t/ Thelma Miller

ALLEN CO. COMMISSIONERS
Received
June 24 1975
Received
Lima, Ohio
9:30 A.M.

Law Offices of
Cory, Boesel,
Leonard & Witter
504 Colonial Building
Lima, Ohio 45802
(419) 227-1013

ORDINANCE NO. 332-76

AN ORDINANCE: TO ACCEPT THE APPLICATION FOR ANNEXATION OF CERTAIN TERRITORY CONTAINING 23.26 ACRES IN AMERICAN TOWNSHIP TO THE VILLAGE OF ELIDA, OHIO, AS HEREIN DESCRIBED.

WHEREAS, a petition for the annexation of certain territory in American Township was duly filed by James C. King as agent for the petitioners; and

WHEREAS, the petition was duly considered by the Board of County Commissioners of Allen County, Ohio, on August 20, 1975; and

WHEREAS, the Board of County Commissioners has approved the annexation of the territory to the Village of Elida as hereinafter described; and

WHEREAS, the Board of County Commissioners certified the transcript of proceedings in connection with the annexation with the map and petition required in connection therewith to the Clerk of the Village of Elida, Ohio, who received same on October 28, 1975.

WHEREAS, sixty days from the date of the filing have now elapsed in accordance with the provisions of O.R.C. Section 709.04; Now, Therefore,

BE IT ORDAINED BY THE COUNCIL OF THE VILLAGE OF ELIDA, OHIO:

Section 1. That the proposed annexation as applied for in the petition of James C. King as agent for the petitioners and a majority owners of real estate in the territory sought to be annexed and filed with the Board of County Commissioners of Allen County, Ohio on June 24, 1975, and which the petition prayed for annexation to the Village of Elida, Ohio, of certain territory adjacent thereto as hereinafter described, and which the petition was approved for annexation to the Village of Elida, Ohio, by the Board of County Commissioners on August 20, 1975, be and the same is hereby accepted. The territory is described as follows:

Being a tract of land located in the East Half of Section 17, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being further described as follows:

BEGINNING at the intersection of the centerline of State Route 309, also known as Elida Road, with the West line of the East half of the Northeast Quarter of Section 17, said point being on the existing Corporation line to the Village of Elida; thence Southeast along the centerline of Elida Road, Fifteen Hundred Fifty-Eight and Forty Hundredths (1558.40') feet to the intersection of said line with the East line of Section 17, also the centerline of Baty Road; thence South along the East line of said Section, also the centerline of Baty Road, Six Hundred Thirty-six and Seventy Hundredths (636.70') feet to a point on the North line of an Abandoned Traction Line; thence Northwest along said Traction Line, Fifteen Hundred Thirty-Five (1535.00') feet to the intersection of said line with the West line of the East Half of the Southeast Quarter of Section 17; thence North along said West line, also the West line of Darbyshire Subdivision, and the existing Corporation line of the Village of Elida, Six Hundred Seventy-Three and Twenty Hundredths (673.20') feet to the intersection of said line with the centerline of State Route 309 and THE PLACE OF BEGINNING.

Containing in all 23.26 acres more or less

The certified transcript of the proceedings for annexation with an accurate map of the territory, together with the petition for its annexation, and other papers relating to the proceedings thereto of the County Commissioners are all on file with the Clerk of the Village of Elida, Ohio, and have been for more than sixty days.

Section 2. That the Clerk of the Village of Elida, Ohio, be and he is hereby authorized and directed to make three copies of this ordinance to each of which shall be attached a copy of the map accompanying the petition for annexation, a copy of the transcript of proceedings of the Board of County Commissioners relating thereto and a certificate as to the correctness thereof. The Clerk shall then forthwith deliver one copy to the County Auditor, one copy to the County Recorder and one copy to the Secretary of State and shall file notice of this annexation with the Board of Elections within thirty days after it becomes effective, and the Clerk shall do all other things required by law.

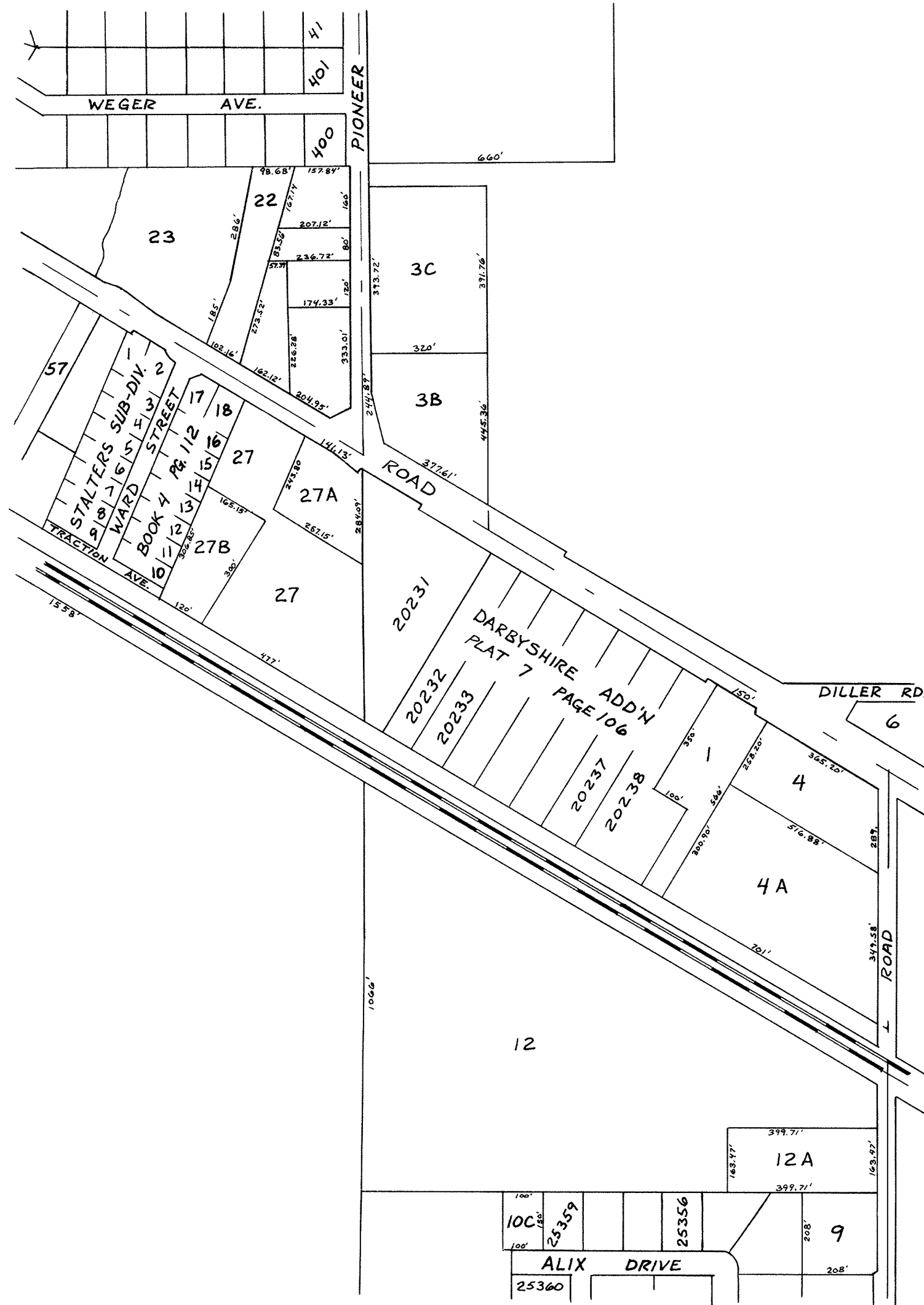
SECTION 3. That the Clerk of this Council be and hereby is authorized and directed to cause publication of this ordinance to be made in a manner as provided for according to law.

SECTION 4. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: Feb 10 1976

/s/ Paul E. Scholfield
Mayor

Attest: /s/ Don Leis
Clerk



Board of Commissioners
 Robert L. Townsend, Jr.
 President
 James T. Shafer
 Richard E. Thompson

COMMISSIONERS' OFFICE
 Allen County
 P.O. Box 1243
 Lima, Ohio 45802
 Phone (419) 229-9015

Mary L. Lucas
 Clerk of Board

Thurman H. Smith
 County Administrator

June 24, 1975

Mr. Clayton Bacon
 Allen County Engineer
 Box 1138
 Lima, Ohio 45802

Attn: Mr. Ralph Steiner

Gentlemen:

Enclosed is a copy of a Petition for Annexation with sketch attached concerning the proposed annexation of territory in

- Parcel #1 Lots Numbered 20231-20238 in Darbyshire's Subdivision to American Township, Allen County, Ohio as the same are described in Plat Book 7 at Page 106 in the Office of the Allen County Recorder
- Parcel #2 Being a tract of land in the southeast quarter of section seventeen (17) Town three (3) South, Range Six (6) East, American Township, Allen County, Ohio, and being further described in the petition,

to the village of Elida, Ohio, whereon James C. King, Attorney at Law, is authorized to act as agent for the petitioners.

Please check the validity of the signatures and verify the accuracy of the sketch of the territory and description set forth in said petition, as provided in Section 709.031 Ohio Revised Code.

Sincerely,

BOARD OF COUNTY COMMISSIONERS
 ALLEN COUNTY, OHIO

/s/ Mary L. Lucas

Mary L. Lucas
 Clerk of Board

Enc:
 cc: Clayton Bacon

ALLEN COUNTY ENGINEER
 P.O. Box 1138
 1501 North Sugar Street
 Lima, Ohio 45802
 419-228-3196

Clayton T. Bacon
 County Engineer

July 7, 1975

Allen County Board of Commissioners
 Allen County Court House
 Lima, Ohio 45801

Re: Your letter 6/24/75 Petition
 to Annex Territory to the Village
 of Elida.

Gentlemen:

In reply to your above mentioned letter we have reviewed the petition and now furnish you with the following information for your consideration.

1. Of the nine owners of real estate in the area sought for annexation, six individuals, including the Mayor of the Village Elida, have signed this petition.
2. Territory sought for annexation would adjoin the present corporation of Elida for some 700 ft between SR 309 and the Ohio Power Company land along the Penn. Central RR. right-of-way.

3. The description of territory to be annexed contains certain minor errors, however is sufficiently described for the purpose of petitioning. If petition is granted by your board; a plat for recording must be prepared containing proper description prepared by a surveyor or engineer with boundary being the centerlines of SR 309 as well as centerline of Baty Road.

Petition papers returned with this letter.

Yours very truly,

/s/ Clayton T. Bacon
 /t/ Clayton T. Bacon
 County Engineer

CTB/RES:js

cc:file
 James C. King, Atty.

Public Hearing Aug. 18, 1975

AFFIDAVIT

James C. King, being first duly sworn says that he is agent for Russell K. Glover, Jr. and Alfred W. McNicoll, Roland P. Richie, James R. Michael, Donald H. Brown and Arthur D. Shappell, owners of property located in American Township, who filed a petition for the annexation of said property on June 24, 1975 at 9:30 a.m. and that written notice of the filing of the petition with the board of county commissioners and the date of such filing were delivered to the Clerk of the Council of the Village of Elida, the municipal corporation to which annexation is sought, and to the Clerk of American Township, the township wherein the property sought to be annexed lies.

Affiant further says that delivery was made by registered mail return receipt requested on July 18, 1975 and that said return receipts were received by affiant, properly endorsed by the Clerk of the respective legislative authority.

Further affiant sayeth not.

/s/ James C. King
 /t/ James C. King

Sworn to before me and subscribed in my presence this 18th day of August, 1975.

/s/ Penny L. Trotta
 Notary Public

Penny L. Trotta, Notary Public Allen County Ohio
 My Commission Expires November 28th, 1978

Law Offices of
 Cory, Boesel,
 Leonard & Witter
 *04 Colonial Building
 Lima, Ohio 45802
 (419) 227-1013

LEGAL NOTICE

Notice is hereby given that on June 24, 1975, there was filed with the Board of County Commissioners a petition signed by the majority of the landowners of the following described territory, situated in American Township, Allen County, Ohio and adjacent to the Village of Elida:

PARCEL NO. 1: Being Lots Numbered 20231-20238 in Darbyshire's Subdivision to American Township Allen County, Ohio, as the same are described in Plat Book 7 at page 106 in the office of the Allen County Recorder.

PARCEL NO. 2: Being a tract of land in the southeast quarter of Section seventeen (17) Town Three (3) South, Range Six (6) East, American Township, Allen County, Ohio, and being further described as follows:

Beginning at a point on the intersection of the centerline of U.S. 30S (now known as State Route 309) and Baty Road, this point also being on the east line of section seventeen (17); thence south zero (0°) degrees, three (3) minutes and zero (0) seconds east along the centerline of Baty Road and the centerline of Baty Road for a distance of Six hundred Thirty-six and seventy hundredths (636.70) feet; thence N. 61° 43' W. along the north Line of the West Ohio Gas Company right-of-way for a distance of Seven Hundred fifty-one (751) feet; thence northeasterly along the east line of lot number (20238) in Darbyshire subdivision to American Township, a distance of two hundred sixteen (216) feet to a point; thence northwesterly and parallel to the centerline of U.S. Route 30 South (now known as State Route 309) a distance of one hundred (100) feet; thence northeasterly along the east line of lot number (20238) in Darbyshire Subdivision to American Township a distance of Three Hundred fifty (350) feet to a point in the

County Commissioners' Office
Allen County, Ohio
August 20, 1975 #283-75

RE: ORDER ON PETITION FOR ANNEXATION OF TERRITORY IN AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO. TO THE VILLAGE OF ELIDA, OHIO, JAMES C. KING, ATTORNEY AT LAW, AGENT FOR PETITIONERS.

The Board of County Commissioners of Allen County, Ohio, met in adjourned regular session on the 20th day of August, 1975 with the following members present: Robert L. Townsend, Jr; James T. Shafer and Richard E. Thompson.

Mr. Thompson moved the adoption of the following:

RESOLUTION

WHEREAS, on the 24th day of June, 1975, a petition for Annexation of Twenty Three and Twenty Six Hundredths acres of land in the East Half of Section 17, Township-3-South, Range-6-East, American Township, Allen County, Ohio, wherein James C. King is designated as agent for the petitioners, was presented to the Board of County Commissioners of Allen County, Ohio; and

WHEREAS, on the 2nd day of July, 1975, the Clerk of said Board did cause the said petition to be entered upon the record of proceedings of the Board and did cause said petition to be filed in the office of the County Auditor; and

WHEREAS, on the 16th day of July, 1975, in accordance with Section 709.031 Revised Code of Ohio, the Board of County Commissioners by Resolution #244-75 did set the 18th day of August, 1975 at 10:30 A.M., as the time and the County Commissioners' Office in the Allen County Court House, Lima, Ohio as the place for hearing the said petition; and

WHEREAS, said Board of County Commissioners did refer the description and plat of the territory sought to be annexed to the County Engineer for a report on the accuracy thereof and the County Engineer did make a report in writing to the Board upon his findings; and

WHEREAS, said agent for the petitioners did cause to be published the notice as required by Section 709.031 Ohio Revised Code, and did deliver copies of said notice as required by said section; and

WHEREAS, on the 18th day of August, 1975, at 10:30 A.M., being the date and time fixed for hearing on said petition, a public hearing was held in the office of the Allen County Commissioners. All parties present at said hearing were afforded full opportunity to present evidence on behalf of or opposed to said petition. The petitioners were represented by their agent, James C. King, Attorney at Law; and

WHEREAS, at the conclusion of said hearing, the Board finds that:

- (a) The petition contains all matter required in Section 709.02 of the Revised Code of Ohio.
- (b) Notice has been published as required in Section 709.031 of the Revised Code.
- (c) The persons whose names are subscribed to the petition are owners of real estate located in the territory in the petition; and as of the time the petition was filed with the Board of County Commissioners the number of valid signatures on the petition constituted a majority of the owners of real estate in the territory

JR 77 PAGE 132

Page 2
August 20, 1975
Res. #283-75

proposed to be annexed.

(d) The territory included in the annexation petition is not unreasonably large; the plat is accurate; and the general good of the territory sought to be annexed will be served if the annexation petition is granted; and

WHEREAS, at this point the Board of County Commissioners made a motion that the decision be reached upon the Annexation when the third Commissioner Richard E. Thompson was apprised of the proceedings; now

THEREFORE, BE IT RESOLVED, that on this day, August 20, 1975, after discussion involving all members of the Board of County Commissioners of Allen County, Ohio, that the petition presented to the Board on June 24, 1975, for the annexation of Twenty Three and Twenty Six Hundredths (23.26) Acres more or less of land in the East Half of Section 17, Township -3 South, Range -6-East, American Township, Allen County, Ohio, wherein James C. King is designated as agent for the petitioners, be and the prayer of the petition hereby is granted; and be it further

RESOLVED, that this Board does hereby order the lands described herein be annexed to the Village of Elida, Ohio, and become a part thereof, as provided by law:

Being a tract of land located in the East Half of Section 17, Township-3-South, Range-6-East, American Township, Allen County, Ohio, and being further described as follows:

BEGINNING at the intersection of the centerline of State Route 309, also known as Elida Road, with the West Line of the East Half of the Northeast Quarter of Section 17, said point being on the existing Corporation line to the Village of Elida; thence Southeast along the centerline of Elida Road, Fifteen Hundred Fifty-Eight and Forty Hundredths (1558.40') feet to the intersection of said line with the East line of Section 17, also the centerline of Baty Road; thence South along the East line of said Section, also the centerline of Baty Road, Six Hundred Thirty-Six and Seventy Hundredths (636.70') feet to a point on the North line of an Abandoned Traction Line; thence Northwest along said Traction Line, Fifteen Hundred Thirty-Five (1535.00) feet to the intersection of said line with the West line of the East Half of the Southeast Quarter of Section 17; thence North along said West line, also the West line of Darbyshire Subdivision, and the existing Corporation line of the Village of Elida, Six Hundred Seventy-Three and Twenty Hundredths (673.20') feet to the intersection of said line with the centerline of State Route 309 and THE PLACE OF BEGINNING.

Containing in all 23.26 acres more or less.

BE IT FURTHER RESOLVED, that this Board deposit with the Clerk of the Village of Elida, Ohio, the final transcript of these proceedings and the original petition above referred to, together with the accompanying plat for further proceedings as provided by law.

JR 77 PAGE 132

Page 3
Resolution #283-75
August 20, 1975

Mr. Shafer seconded the Resolution and roll being called upon its adoption the vote resulted as follows: Mr. Townsend, Yes; Mr. Shafer, Yes and Mr. Thompson, Yes.

Adopted this 20th day of August, 1975

BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO

/s/ Robert L. Townsend, Jr.
/t/ Robert L. Townsend, Jr.

/s/ James T. Shafer
/t/ James T. Shafer

/s/ Richard E. Thompson
/t/ Richard E. Thompson

/s/ Mary L. Lucas
/t/ Mary L. Lucas
Clerk of Board

JR 77 PAGE 132

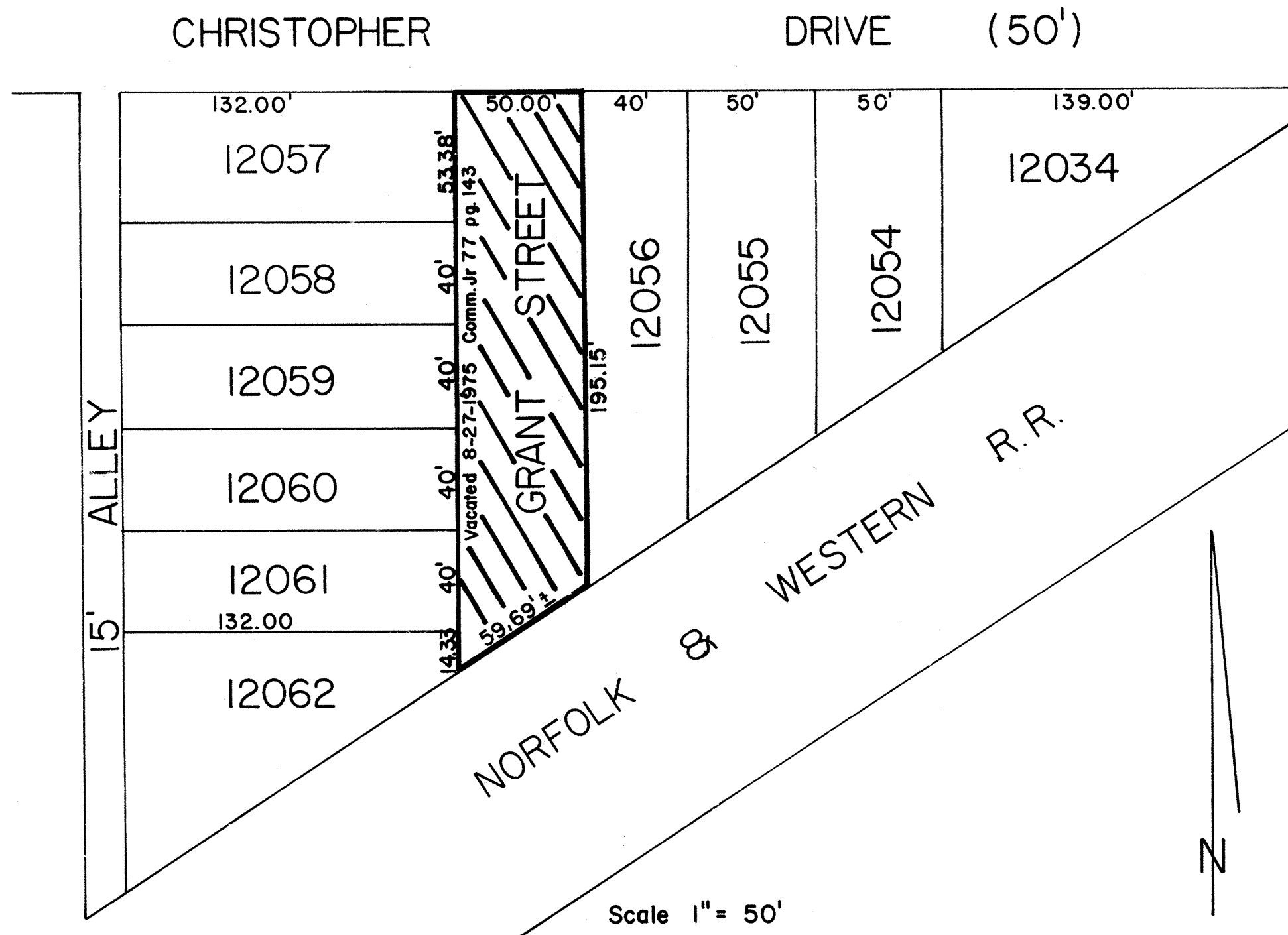
Received March 25, 1976
Recorded March 25, 1976
At 3:19 O'Clock P.M.
Fee \$27.30

Bernice Montague
Recorder
Sy Betty Kessella
Deputy

STREET VACATION - BATH TWP - ALLEN COUNTY, OHIO

208

ALLEN COUNTY ENGINEER'S GARAGE pt. S.E. 1/4, Sec.19 Bath twp.



SURVEYOR'S CERTIFICATE

Being a part of Grant Street in Belmont Extension, Lima, Ohio, located in the East half of the Northeast Quarter of Section 30, Township-3-South, Range-7-East, Bath Township, Allen County, Ohio, and more particularly described as follows:

BEGINNING at the Northeast corner of lot number 12057 in said extension; thence East on the South line of Christopher Drive, Fifty (50) feet to the Northwest corner of lot number 12056; thence South on the East line of Grant Street, One Hundred Ninety-five and Fifteen Hundredths (195.15) feet to the Southwest corner of lot 12056 and the Northwesterly right-of-way of the Norfolk and Western Railroad; thence Southwesterly along said right-of-way Fifty-Nine and Sixty-Nine Hundredths (59.69) feet to the Southeast corner of lot 12062 in said extension; thence North on the West right-of-way of Grant Street, Two Hundred Twenty-Seven and Seventy-One Hundredths (227.71) feet to the Northeast corner of lot 12057 and THE PLACE OF BEGINNING.

James D. Rex
 James D. Rex
 Registered Surveyor
 Ohio # 5646

*For Resolution to Vacate
 Pt. Grant Street See Deed Vol. 575, Page 772.*

335776

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 11:30 O'CLOCK A.M.

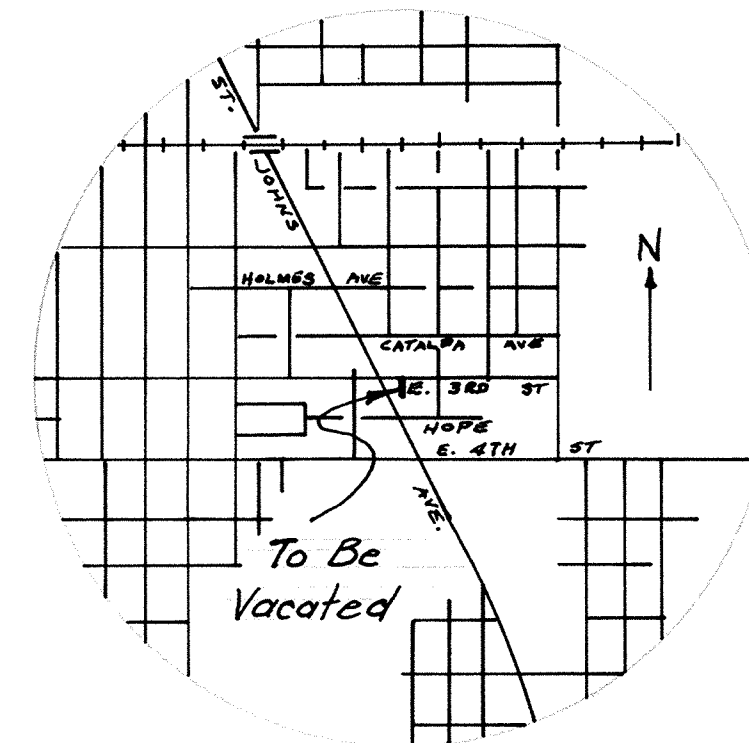
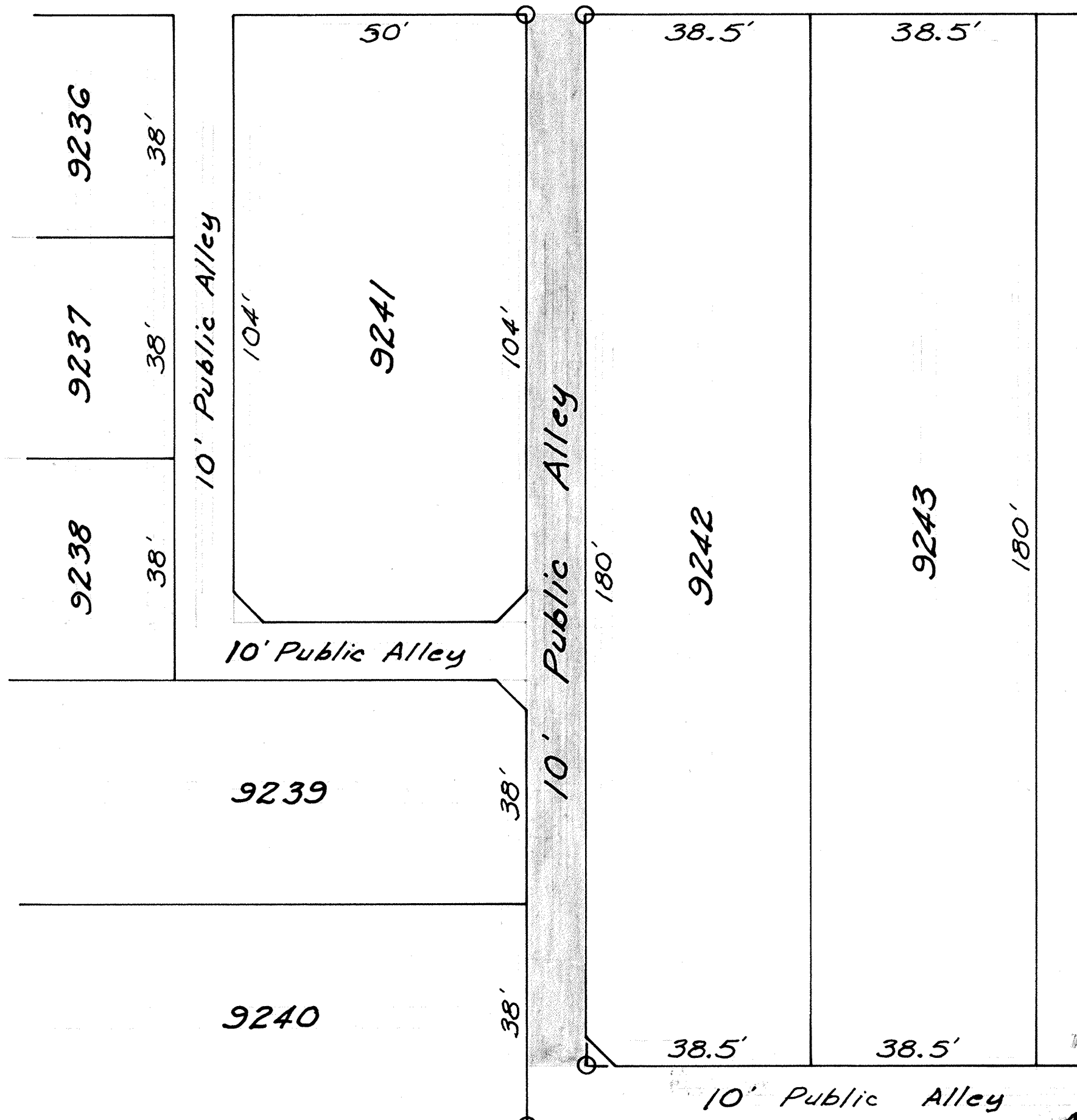
APR 9 1976

RECORDED April 9 1976
 Vol. 13 PAGE 208
Jessie Mastaglio
 RECORDER
 Fee - 8.30 *By B. Knutle Deputy*



ALLEY VACATION

THIRD ST. 50'



Vicinity Map
Scale: 1" = 1600'

Description

Situated in F.W. Holmes 3rd. Subdivision to Lima, Ohio as recorded in Plat Book 3, Page 281.

Beginning at an iron pin at the northwest corner of lot 9242; thence south along the west line of lot 9242 a distance of one hundred eighty (180) feet to an iron pin at the southwest corner of lot 9242; thence west, parallel to 3rd. Street, a distance of ten (10) feet to the east line of lot 9240; thence north along the east lines of lots 9240, 9239 and 9241 a distance of one hundred eighty (180) feet to an iron pin at the northeast corner of lot 9241; thence east along the south line of 3rd. Street a distance of ten (10) feet to the place of beginning.

335971

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 8:15 O'CLOCK A.M.

MA 15 1976

RECORDED APR 16 1976
VOL. 13 PAGE 209
Denise Montague
Recorder

Fee. 8.30
Sgt. B. Kimble
Deputy

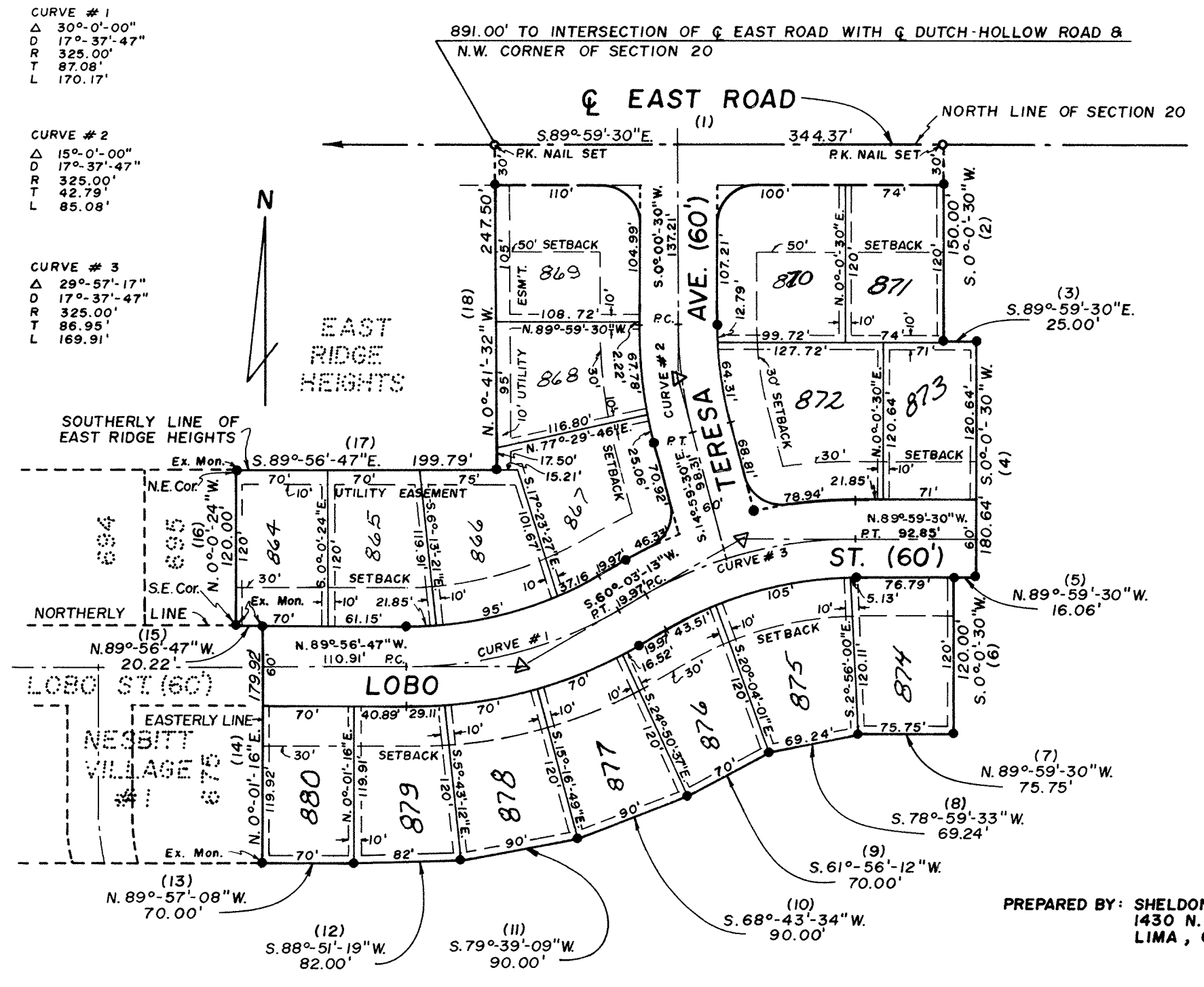
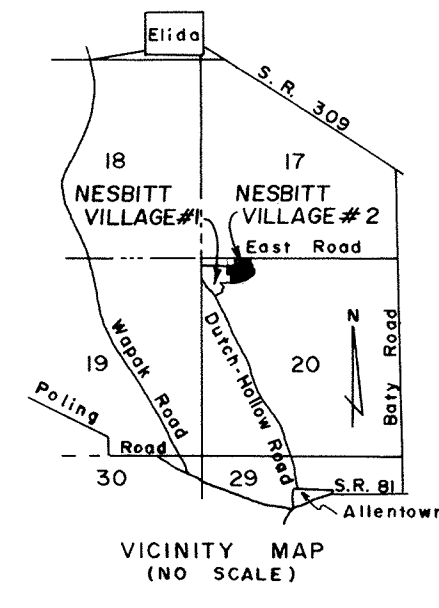
○ = Iron Pipe
Scale: 1" = 20'

For Ordinance to Vacate Alley
See Deed Vol. 576 Page 43.



George E. Woolley
George E. Woolley
Registered Surveyor No. 5772

NESBITT VILLAGE # 2 IN THE N.W. 1/4 OF SECTION 20, T3S-R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO



NOTE: ALL LOT CORNERS TO HAVE 30' RADII.
ALL EASEMENTS ARE FIVE (5) FEET UNLESS SHOWN OTHERWISE
NOTE: ● DENOTES CONC. MONUMENTS
NOTE: RESTRICTIONS AS RECORDED IN NESBITT VILLAGE #1 APPLY TO THIS PLAT.

DEDICATION
Being the sole owners of the above described premises, we hereby dedicate the streets to the public for their use forever, and utility easements as shown to the Ohio Power Co., the United Telephone Co. and the Marrk-V Water Co. signed this 2nd day of April, 1976.

Owners: BOBART INC.
By Robert J. Bobart, Pres.
Arthur J. Bobart, V. Pres.
Witness: Shirley Davis
Paul G. Stunk

ACKNOWLEDGEMENT
County of Allen, State of Ohio
Before me, A Notary Public in and for said County and State, did personally appear the above signed owners who acknowledged the signing of this document, to be their free act and deed, in testimony thereof I affix my hand and seal, this 2nd day of April, 1976 My Commission Expires May 26, 1977.

Norma Redick
Notary Public

APPROVAL OF CITY PLANNING COMMISSION
This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City and said Commission approve and accept this plat this 4 day of May, 1976.

Harry Moyer
Mayor & Chairman of Planning Commission

Filed for transfer this 4th day of May, 1976 at 3:49 o'clock
P.M. in the office of the Allen County Auditor.

R. L. Ditto
Allen County Auditor

SURVEYOR'S CERTIFICATE

I hereby certify that in February 1976, I surveyed the following described land in the northwest 1/4 of Section 20, T3S-R6E, American Township, Allen County, Ohio, and that stakes were placed at all lot corners and stone monuments were placed as shown, and that this plat was prepared in accordance with the platting code of the City of Lima, Ohio

Commencing for reference at the northwest corner of Section 20, this point also being the intersection of the centerline of Dutch-Hollow Road with the centerline of East Road -

Thence south 89°-59'-30" east along the centerline of East Road and the north line of Section 20 a distance of 891.00 feet to a P.K. nail set marking the place of beginning:

- (1) Thence from this place of beginning south 89°-59'-30" east along the centerline of East Road and the north line of Section 20 a distance of 344.37 feet to a P.K. nail set -
- (2) Thence south 0°-0'-30" west a distance of 150.00 feet to a concrete monument set, passing a conc. monument set at 30.00 feet -
- (3) Thence south 89°-59'-30" east a distance of 25.00 feet to a concrete monument set -
- (4) Thence south 0°-0'-30" west a distance of 180.64 feet to a concrete monument set -
- (5) Thence north 89°-59'-30" west a distance of 16.06 feet to a concrete monument set -
- (6) Thence south 0°-0'-30" west a distance of 120.00 feet to a concrete monument set -
- (7) Thence north 89°-59'-30" west a distance of 75.75 feet to a concrete monument set -
- (8) Thence south 78°-59'-33" west a distance of 69.24 feet to a concrete monument set -
- (9) Thence south 61°-56'-12" west a distance of 70.00 feet to a concrete monument set -
- (10) Thence south 68°-43'-34" west a distance of 90.00 feet to a concrete monument set -
- (11) Thence south 79°-39'-09" west a distance of 90.00 feet to a concrete monument set -
- (12) Thence south 88°-51'-19" west a distance of 82.00 feet to a concrete monument set -
- (13) Thence north 89°-57'-08" west a distance of 70.00 feet to an existing concrete monument marking the easterly line of Nesbitt Village #1 as recorded in plat book 12, page 140 in the Allen County Recorders Office -
- (14) Thence north 0°-01'-16" east along the easterly line of said Nesbitt Village #1 a distance of 179.92 feet to an existing concrete monument on the north line of Lobo Street -
- (15) Thence north 89°-56'-47" west along the north line of Lobo Street a distance of 20.22 feet to an existing concrete monument marking the southeast corner of Lot 695 as platted in Nesbitt Village #1 -
- (16) Thence north 0°-0'-24" west along the east line of said Lot 695 a distance of 120 feet to an existing concrete monument marking the northeast corner of Lot 695 and the southerly line of East Ridge Heights as recorded in plat book 13, page 45 in the Allen County Recorders Office -
- (17) Thence south 89°-56'-47" east along the southerly line of East Ridge Heights a distance of 199.79 feet to a concrete monument set.
- (18) Thence north 0°-41'-32" west a distance of 247.50 feet to the place of beginning.

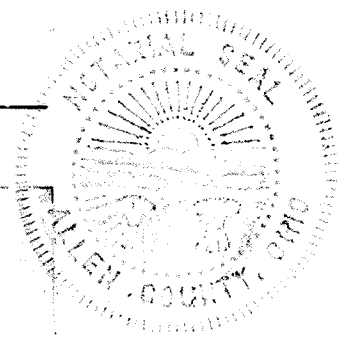
Containing in all 5.25 acres of land more or less.
Subject to all easements and rights-of-way of record.
Note: All bearings refer to the centerline of East Road and the north line of Section 20 as being south 89°-59'-30" east.

Thomas C. Hubbell
THOMAS C. HUBBELL
REG. SURVEYOR # 5044

No. 331777
Filed for record this 4th day of May, 1976 at 4:15 o'clock
P.M. in the office of the Allen County Recorder and recorded in Plat Book 12
Page 1
Fee 1.14

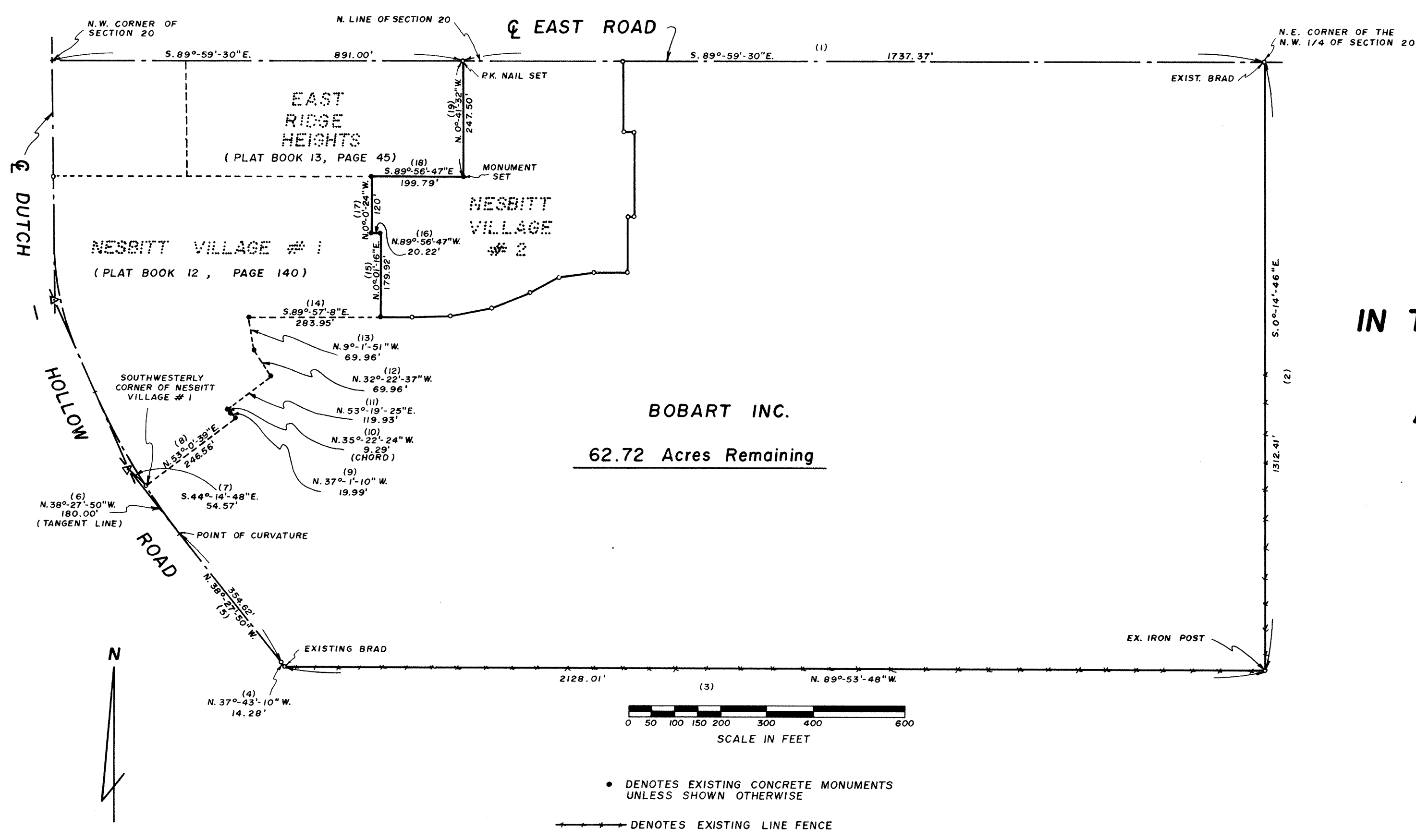
Bernice Montague
Allen County Recorder

Approval by County Engineer



REC'D GRR Date 5-4-1976

211



**PLAT OF A SURVEY
OF
DEDICATORS LAND
FOR
NESBITT VILLAGE #2
IN THE N.W. 1/4 OF SECTION 20,
T3S-R6E,
AMERICAN TOWNSHIP,
ALLEN COUNTY, OHIO**

CERTIFICATION

I hereby certify that in January 1972, a survey was made under my supervision of the following described land in the N.W. 1/4 of Section 20, T3S-R6E, American Township, Allen County, Ohio and that this plat was prepared in accordance with Senate Bill #347 effective September 30, 1974.

DESCRIPTION

Being a parcel of land situated in American Township, Allen County, Ohio in the N.W. 1/4 of Section 20, Township 3 South, Range 6 East being more particularly described as follows:

Commencing for reference at the N.W. corner of Section 20, this point also being the intersection of the centerline of Dutch-Hollow Road with the centerline of East Road -

Thence South 89°-59'-30" East along the centerline of East Road and the North line of Section 20 a distance of 891.00 feet to a P.K. nail set marking the place of beginning:

- (1) Thence South 89°-59'-30" East along the centerline of East Road and the North line of Section 20, a distance of 1737.37 feet to an existing brad marking the N.E. corner of the N.W. 1/4 of Section 20 -
- (2) Thence South 0°-14'-46" East a distance of 1312.41 feet to an existing iron post -
- (3) Thence North 89°-53'-48" West a distance of 2128.01 feet to an existing brad on the centerline of Dutch-Hollow Road -
- (4) Thence North 37°-43'-10" West along the centerline of Dutch-Hollow Road a distance of 14.28 feet -
- (5) Thence North 38°-27'-50" West along the centerline of Dutch-Hollow Road a distance of 354.62 feet to the point of curvature -
- (6) Thence continuing along the tangent line of Dutch-Hollow Road a distance of 180.00 feet -
- (7) Thence South 44°-14'-48" East a distance of 54.57 feet to a point on the curved centerline of Dutch-Hollow Road and also being the Southwesterly corner of Nesbitt Village #1 as platted in Plat Book 12, Page 140 in the Allen County Recorders Office -

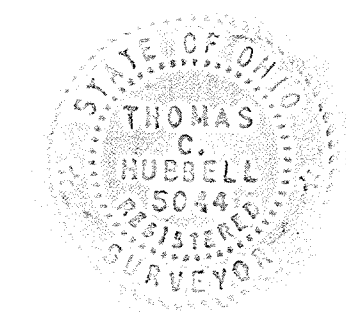
- Thence along Nesbitt Village #1 with the following courses:
- (8) North 53°-0'-39" East a distance of 246.56 feet to a concrete monument -
 - (9) North 37°-1'-10" West a distance of 19.99 feet to a concrete monument -
 - (10) North 35°-22'-24" West a distance of 9.29 feet to a concrete monument -
 - (11) North 53°-19'-25" East a distance of 119.93 feet to a concrete monument -
 - (12) North 32°-22'-37" West a distance of 69.96 feet to a concrete monument -
 - (13) North 9°-1'-51" West a distance of 69.96 feet to a concrete monument -
 - (14) South 89°-57'-8" East a distance of 283.95 feet to a concrete monument -
 - (15) North 0°-1'-16" East a distance of 179.92 feet to a concrete monument -
 - (16) North 89°-56'-47" West a distance of 20.22 feet to a concrete monument -
 - (17) North 0°-0'-24" West a distance of 120.00 feet to a concrete monument on the South line of East Ridge Heights as platted in Plat Book 13, Page 45 in the Allen County Recorders Office -
 - (18) Thence South 89°-56'-47" East along the Southerly line of East Ridge Heights a distance of 199.79 feet to a concrete monument set -
 - (19) Thence North 0°-41'-32" West a distance of 247.50 feet to the place of beginning.

Containing in all 62.72 acres of land more or less.
Subject to all easements and right-of-way of record.

Note: All bearings refer to the centerline of East Road and the North line of Section 20 as being South 89°-59'-30" East.

Thomas C. Hubbell
Thomas C. Hubbell
Registered Surveyor #5044

PREPARED BY: **SHELDON & ASSOCIATES**
1430 NORTH COLE ST.
LIMA, OHIO



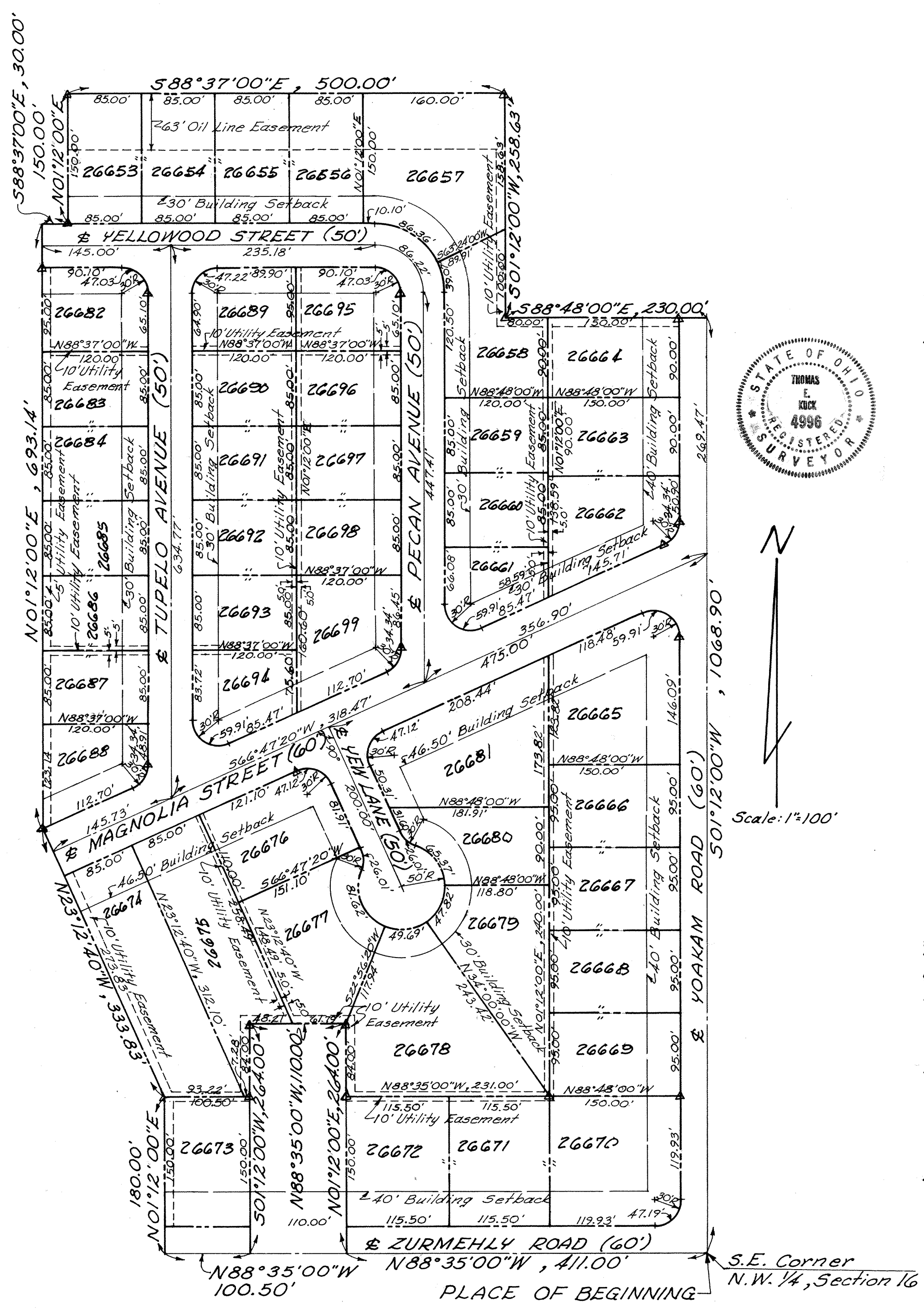
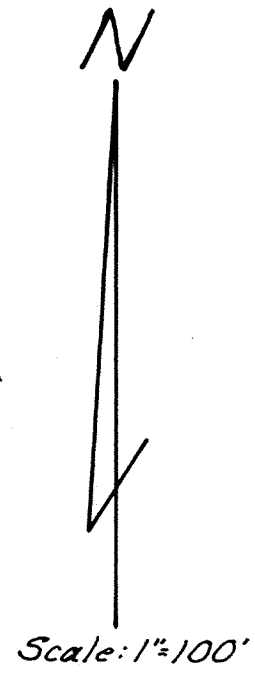
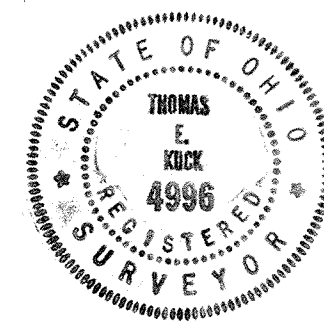
SHAWNEE MEADOWS No 5

For Affidavit to Correct Description See Deed B. 110 585 Page # 372.
 For Affidavit as to Buckeye Pipeline Easement
 See Deed Vol. # 594 Page # 430.

For Consent to File Shawnee Meadows #5 Plat See Deed Vol. # 594 Page # 424.

DESCRIPTION

Being a parcel of land situate in the southeast quarter of the northwest quarter of Section 16, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio and more particularly described as follows. Beginning at the southeast corner of the northwest quarter of said section 16, also the intersection of Yoakum Road and Zurmehly Road; thence N88°35'00"W with the south line of the northwest quarter of said section 16, also the centerline of Zurmehly Road, 411.00 feet; thence N01°12'00"E, 264.00 feet; thence N88°35'00"W, 110.00 feet; thence 501°12'00"W, 264.00 feet to the south line of the northwest quarter of said section 16, also the centerline of Zurmehly Road; thence N88°35'00"W with the south line of the northwest quarter of said section 16, also the centerline of Zurmehly Road; thence N01°12'00"E, 180.00 feet; thence N23°12'40"W, 333.83 feet; thence N01°12'00"E, 693.14 feet; thence 588°37'00"E, 30.00 feet; thence N01°12'00"E, 150.00 feet; thence 588°37'00"E, 500.00 feet; thence 501°12'00"W, 258.63 feet; thence 588°48'00"E, 230.00 feet to the east line of the northwest quarter of said section 16, also the centerline of Yoakum Road; thence 501°12'00"W with the east line of the northwest quarter of said section 16, also the centerline of Yoakum Road, 1068.90 feet to the PLACE OF BEGINNING, containing 19.97 Acres more or less, and subject to all legal highways and other easements of record.



Thomas E. Kuck 4996
 Registered Surveyor No.

Iron pipes have been placed at all lot corners and concrete monuments have been set as thus (Δ).

DEDICATION

Twin Lakes Subdivision, Inc. being the sole owner of the above described premises, hereby dedicates the streets and utility easements as shown to the public, for their use forever. Signed this 8th day of June 1976.

TWIN LAKES SUBDIVISION, INC. WITNESS
George T. Kocher
 George T. Kocher, President
Peggy J. Kocher
 Peggy J. Kocher, Secretary

Shirley A. Fortman
Olga K. May
Shirley A. Fortman
Olga K. May

Approved For Transfer
 Allen County Tax Map
 Office: PEL Date: 6/8/76

ACKNOWLEDGEMENT

County of Allen, State of Ohio
Before me, a notary public in and for said county and state, did personally appear the above signed owners who acknowledged this document to be their free act and deed, in testimony thereof I affix my hand and seal this 9th day of June 1976.

My commission expires _____
Shirley A. Fortman
Notary Public

SHIRLEY A. FORTMAN, Notary Public, Allen County, Ohio
My Commission Expires April 25, 1978

APPROVAL OF CITY PLANNING COMMISSION

Being the duly elected Mayor of the City of Lima, Ohio and Chairman of the Planning Commission, I hereby accept this plat for the city.

Larry Moore
Mayor and Chairman of the
Planning Commission

Filed for transfer this 9th day of June 1976 at 12:20 o'clock
P.M. in the office of the Allen County Auditor.
Fee \$2.50
Richard L. Ditto
Allen County Auditor By R.

No. 338307
Filed for record this 9th day of June 1976 at 12:24 o'clock
P.M. in the office of the Allen County Recorder and
recorded in Plat Book 13 Page 212.
Fee \$2.40
Bernice Montague
Allen County Recorder

PROTECTIVE COVENANTS

1. No lot shall be used except for residential purposes. No building shall be erected, altered placed, or permitted to remain on any lot other than one detached single-family dwelling not to exceed two and one half stories in height and a private garage for not more than two cars.

2. No one floor dwelling shall have a ground floor area of less than 1300 square feet. No two story dwelling shall be permitted on any lot in said subdivision the ground floor area of which is less than 750 square feet. For the purposes of this covenant the area of open porches and garages shall not be included.

3. Building Location: 30 feet to front lot line and 30 feet to side lot line; 7 1/2 feet to interior lot line except for garage 30 feet from setback line; 25 feet to rear lot line on interior lots.

4. No sign of any kind shall be displayed to the public view on any lot, other than one sign of not more than five square feet advertising the property for sale or rent, or signs used by a builder to advertise the the property during the construction and sales period.

5. Livestock and Poultry: No animals, livestock, or poultry of any kind shall be raised, bred or kept on any lot, except that dogs, cats, or other household pets may be kept provided that they are not kept, bred, or maintained for any commercial purposes.

6. No lot shall be used or maintained as a dumping ground for rubbish, trash, garbage, or other waste shall be kept in sanitary containers out of view of the adjacent property owners and the public. All incinerators or other equipment for the storage or disposal of such material shall be kept in a clean and sanitary condition.

7. Sight Distance at Intersection: No fence, wall, hedge or shrub planting which obstructs sight lines at elevations between 2 and 6 feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting them at points 25 feet from the intersection of the street lines or in case of a rounded property corner from the intersection of the street lines extended. The sight-line limitations shall apply on any lot within 10 feet from the intersection of a street property line with the edge of a driveway or alley pavement. No trees shall be permitted to remain within such distances of such intersections unless foliage line is maintained at sufficient height to prevent obstruction of such sight lines.

8. Easements and rights-of-way are reserved in and over such said lots as are shown on said plat, for the construction, operation and maintenance of poles, wires, conduits and the necessary and proper attachments in connection therewith for the transmission of electricity, for telephone, drainage facilities, and other purposes, also for the construction, operation and maintenance of drains, sewers and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished or performed in any method beneath the surface of the ground. Easements shown upon plat may also be used by utility companies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements.

9. No noxious or offensive activity shall be carried on or upon any lot nor shall anything be done thereon which may become an annoyance or nuisance to the neighborhood.

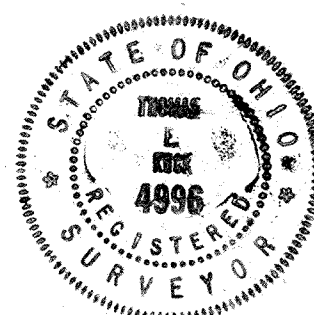
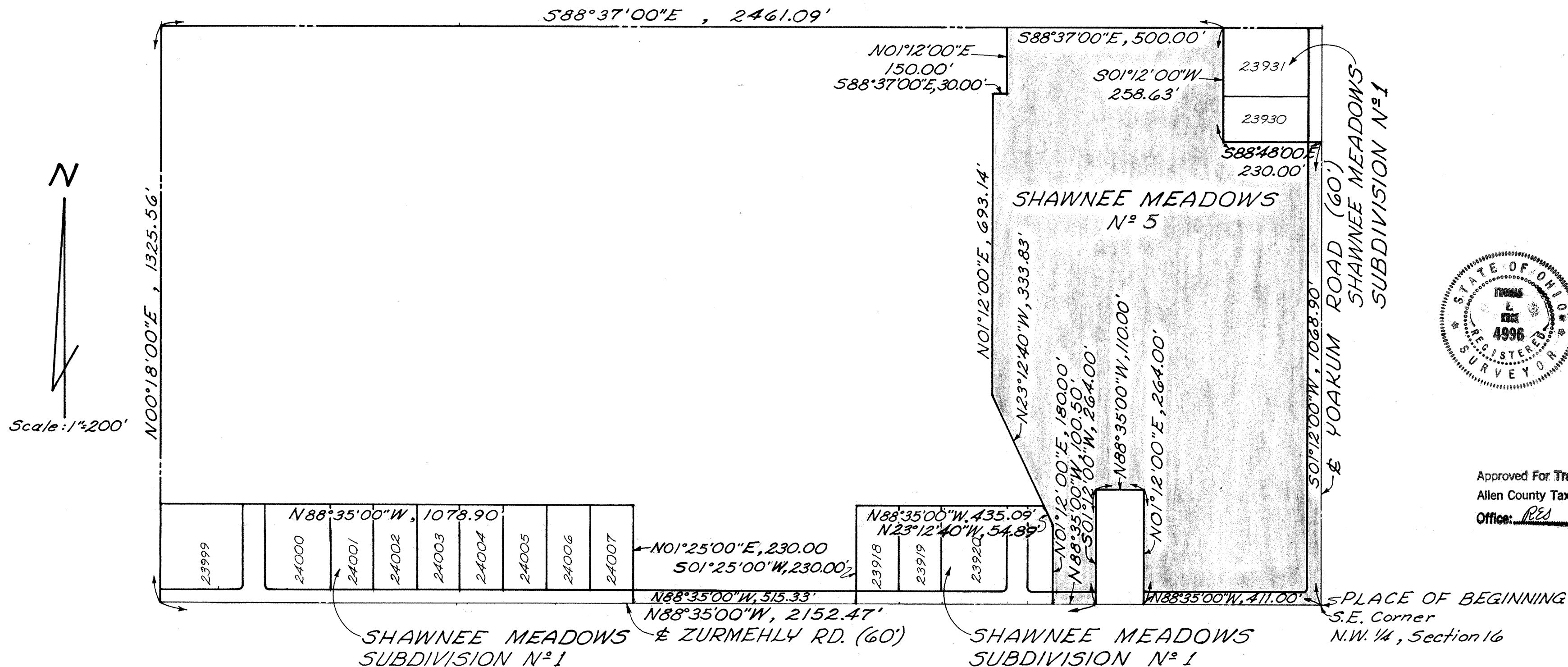
10. No structure of a temporary nature, trailer, basement, tent, shack, garage, barn or other outbuilding shall be used on any lot at any time as residence either temporary or permanently and the owner shall keep the premises free from weeds, trash and miscellaneous materials which might distract from the value of the surrounding premises.

11. These covenants are to run with the land and shall be binding on all parties and on all persons claiming under them for a period of twenty five years from the date these covenants are recorded, after which time said covenants shall automatically be extended for successive periods of ten years unless an instrument signed by a majority of the landowners of the lots has been recorded, agreeing to change said covenants in whole or in part.

12. These conditions, limitations, and restrictions set forth herein shall be considered part of any contract, deed, lease or instrument relating to any lot in Shawnee Meadows, without being incorporated therein, and the acceptance of any contract, deed, lease or instrument relating there shall operate as a covenant to use the premises in conformity with the conditions, limitations and restrictions herein set forth which are for the use and benefit of every person who shall or may become the owner of, or have any title to any lot or parcel of land situated in Shawnee Meadows Subdivision.

13. Enforcement shall be by proceeding at law or in equity against any persons violating or attempting to violate any covenant either to restrain violation or to recover damages, invalidation of any one of these covenants by judgement or court order shall in no wise affect any of the other provisions which shall remain in full force and effect.

SURVEY OF DEDICATORS LAND FOR SHAWNEE MEADOWS N^o 5



Approved For Transfer:
 Allen County Tax Map
 Office: REED Date: 6/19/76

DESCRIPTION

Being a parcel of land situate in the southeast quarter of the northwest quarter of section 16, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio and more particularly described as follows.

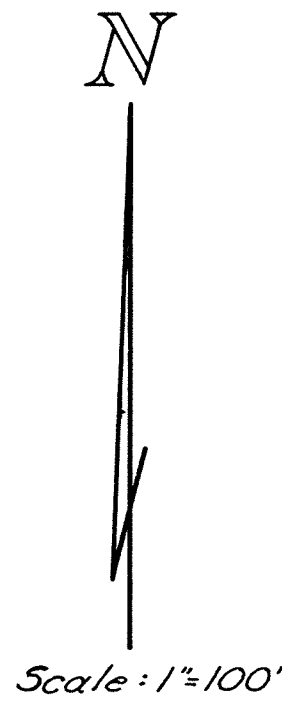
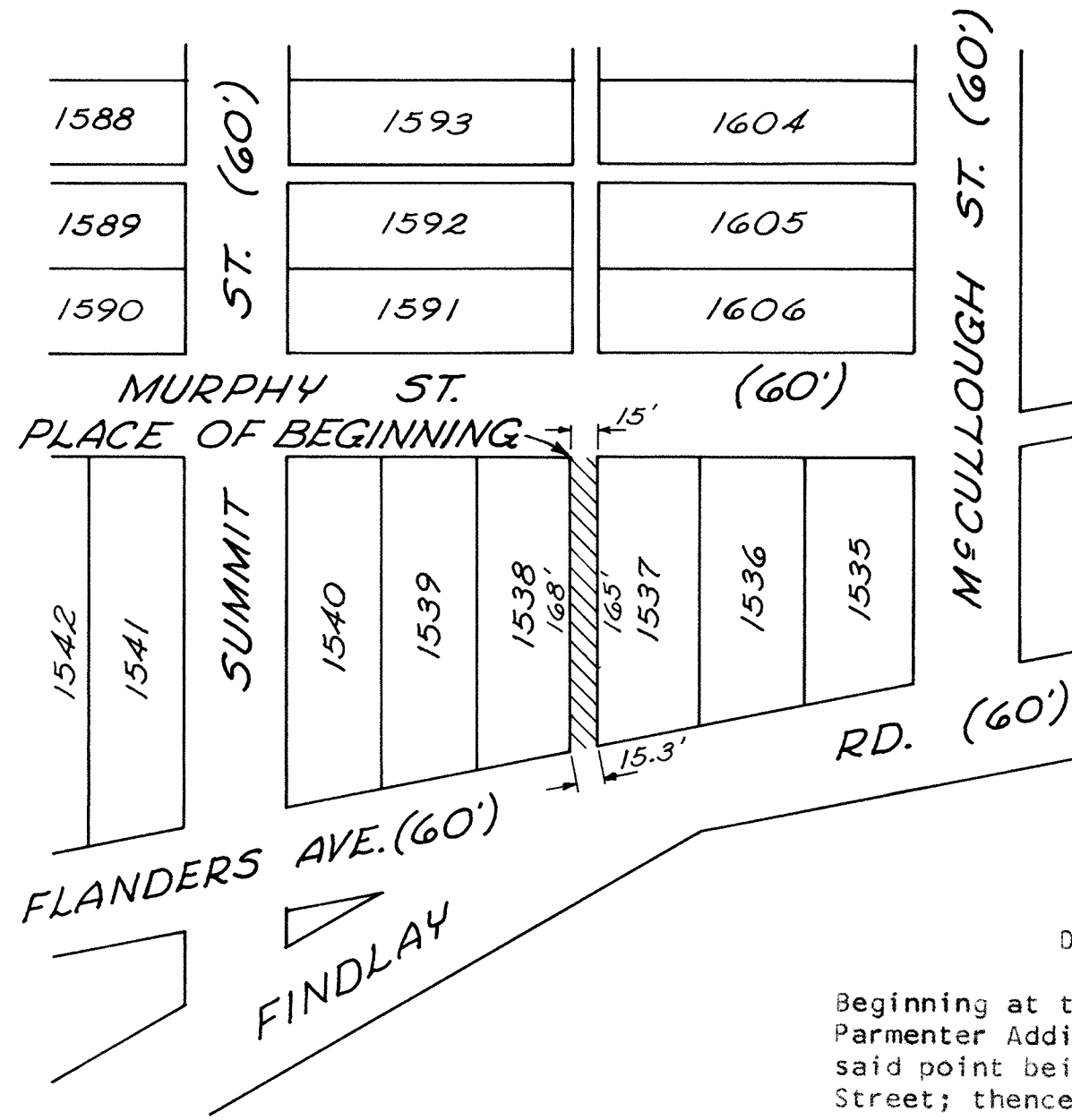
Beginning at the southeast corner of the northwest quarter of said section 16, also the intersection of Yoakum Road and Zurmehly Road; thence N88°35'00"W, with the south line of the northwest quarter of said section 16, also the centerline of Zurmehly Road 411.00 feet; thence N01°12'00"E, 264.00 feet; thence N88°35'00"W, 110.00 feet; thence S01°12'00"W, 264.00 feet to the south line of the northwest quarter of said section 16, also the centerline of Zurmehly Road; thence N88°35'00"W, with the south line of the northwest quarter of said section 16, 2152.47 feet;

thence N00°18'00"E, 1325.56 feet; thence 588°37'00"E, 2461.09 feet to the northwest corner of Lot N^o 23931 of Shawnee Meadows Subdivision N^o 1; thence S01°12'00"W along the west line of Lots N^o 23930 and 23931 of Shawnee Meadows Subdivision N^o 1, 258.63 to the southwest corner of said Lot N^o 23930; thence 588°48'00"E with the south line of said Lot N^o 23930, 230.00 feet to the east line of the northwest quarter of said section 16, also the centerline of Yoakum Road; thence S01°12'00"W with the east line of the northwest quarter of said section 16, also the centerline of Yoakum Road, 1068.90 feet to the PLACE OF BEGINNING, containing 79.54 acres more or less, 19.97 acres platted in Shawnee Meadows N^o 5.

Thomas E. Kuch 4996
 Registered Surveyor N^o

ALLEY VACATION

215



DESCRIPTION

Beginning at the northeast corner of Lot No. 1538 in Parmenter Addition to the City of Lima, Allen County, Ohio, said point being on the south right-of-way line of Murphy Street; thence east with the south right-of-way line of Murphy Street, 15.00 feet to the northwest corner of Lot No. 1537 in Parmenter Addition to the City of Lima, Allen County, Ohio; thence south with the west line of said Lot No. 1537, 165.00 feet to the southwest corner of said Lot No. 1537 and also the north right-of-way line of Flanders Avenue; thence southwesterly with the north right-of-way line of Flanders Avenue, 15.30 feet to the southeast corner of said Lot No. 1538; thence north with the east line of said Lot No. 1538, 168.00 feet to the PLACE OF BEGINNING.

Theodore A. Metzger
Registered Surveyor No. 5514

338460

RECORDER'S OFFICE
ALLEN COUNTY, OHIO
RECEIVED FOR RECORD
AT 4:02 O'CLOCK P.M.

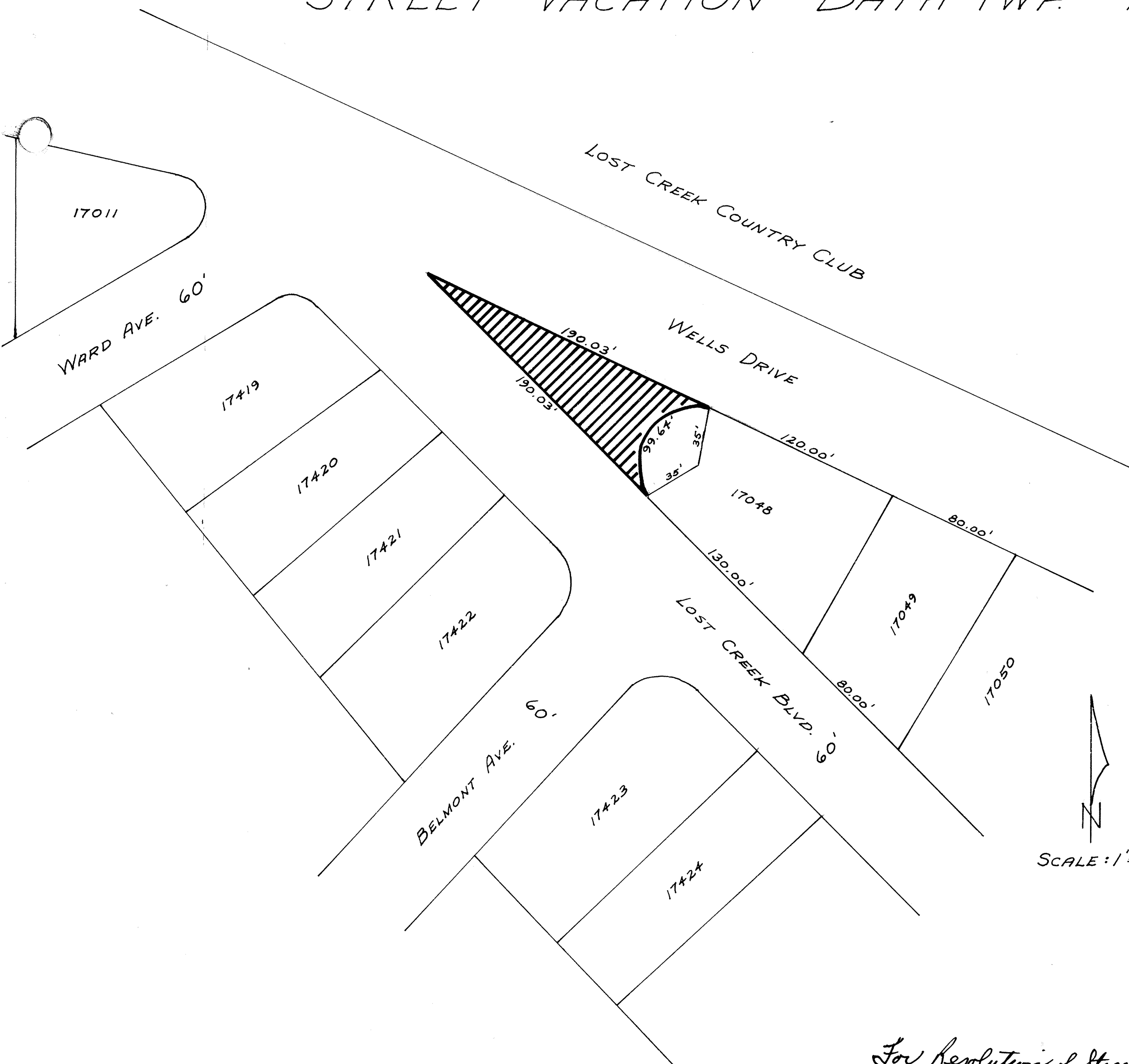
JUN 11 1976

RECORDED *June 11 1976*
Vol. 13 PAGE 215
Therese Montague
RECORDER
Free # 830 Kay B. Kinith
Deputy

*For Ordinance to vacate alley
See Deed Vol. 578 Page 239.*



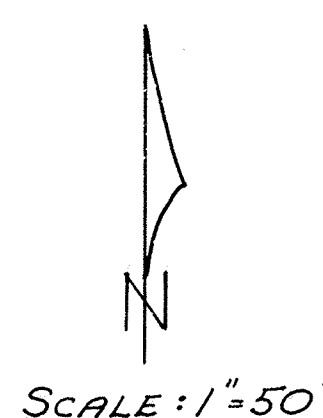
STREET VACATION - BATH TWP. - ALLEN COUNTY, OHIO



SURVEYOR'S CERTIFICATE

BEING A PARCEL AT THE INTERSECTION OF WELLS DRIVE AND LOST CREEK BOULEVARD IN THE LOST CREEK SUBDIVISION NO. 4 TO THE CITY OF LIMA, OHIO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT NO. 17048 IN SAID SUBDIVISION; THENCE NORTHWESTERLY ALONG THE SOUTH LINE OF SAID LOT, A DISTANCE OF ONE HUNDRED THIRTY (130) FEET TO A POINT AND THE PLACE OF BEGINNING; THENCE NORTHWESTERLY ALONG THE SOUTH LINE OF SAID LOT EXTENDED WEST, A DISTANCE OF ONE HUNDRED NINETY AND THREE HUNDREDTHS (190.03) FEET TO A POINT; THENCE SOUTHEASTERLY ALONG THE NORTH LINE OF SAID LOT EXTENDED WEST, A DISTANCE OF ONE HUNDRED NINETY AND THREE HUNDREDTHS (190.03) FEET TO A POINT; THENCE SOUTHWESTERLY ALONG A CURVE WITH A RADIUS OF THIRTY-FIVE (35) FEET, A DISTANCE OF NINETY-NINE AND SIXTY-FOUR HUNDREDTHS (99.64) FEET TO A POINT, AND THE PLACE OF BEGINNING.



Robert N. Tschanz
 ROBERT N. TSCHANZ
 REGISTERED SURVEYOR
 OHIO #4738

338681

For Resolution of Street Vacation
See Deed Vol. 518 Page 410.

RESTRICTIONS:

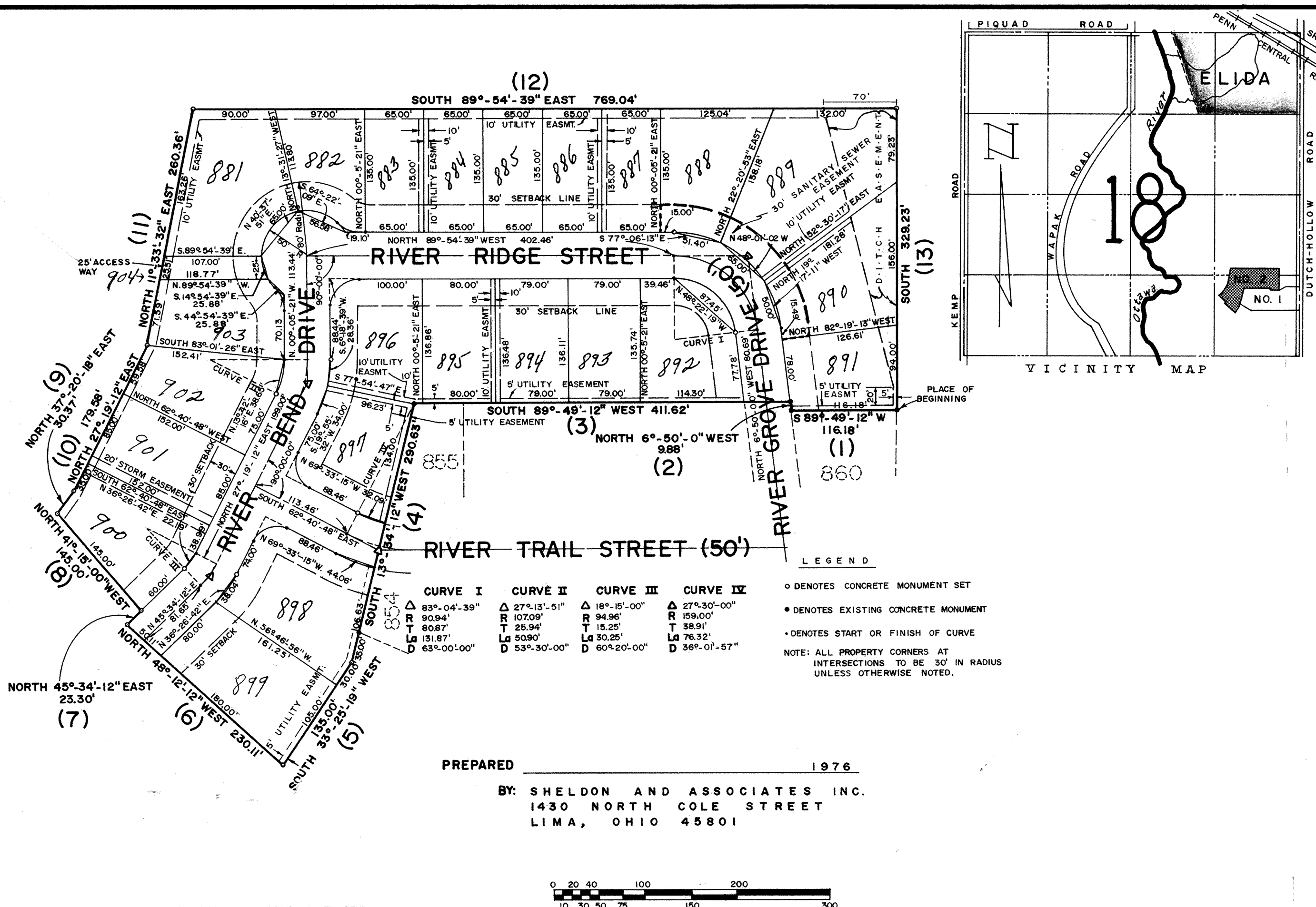
1. NO ADDITIONAL BUILDINGS OR STRUCTURES ARE TO BE CONSTRUCTED ON DESCRIBED VACATED WELLS AVENUE.
2. NO PLANTS OR VEGETATION SHALL BE PLANTED ON DESCRIBED VACATED WELLS AVENUE, SO AS TO CAUSE A TRAFFIC HAZARD.
3. ALLEN COUNTY RESERVES THE RIGHT FOR A PERPETUAL EASEMENT FOR DRAINAGE PURPOSES.

RECORDER'S OFFICE
 ALLEN COUNTY, OHIO
 RECEIVED FOR RECORD
 AT 1:00 O'CLOCK P.M.

JUN 17 1976

RECORDED June 17 1976
 Plat VOL 13 PAGE 216
Barbara Maitz
 RECORDER
 Fee 8.30
Sybil Kinzle
 Deputy





217

OTTAWA RIVER BEND
NO. 2
 IN THE
 SOUTH-EAST 1/4 OF SECTION 18
 T3S·R6E
 AMERICAN TOWNSHIP
 ALLEN COUNTY
 OHIO
CERTIFICATION BY SURVEYOR

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN 1976, AND ALL MARKERS ARE OR WILL BE SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE BY SIX (6) MONTHS FROM THE DATE OF RECORDING OF THE PLAT.

BEGINNING AT THE NORTH-EAST CORNER OF LOT 860 IN OTTAWA RIVER BEND NO. ONE (1) AS RECORDED IN PLAT BOOK 13, PAGE 164 IN THE ALLEN COUNTY RECORDERS OFFICE AND BEING MARKED BY AN EXISTING CONCRETE MONUMENT, THIS POINT BEING THE PRINCIPLE POINT OF BEGINNING:

- THENCE FROM SAID PLACE OF BEGINNING ALONG THE NORTHERLY LINE OF OTTAWA RIVER BEND NO. ONE (1) THE FOLLOWING COURSES:
- (1) THENCE SOUTH 89°-49'-12" WEST FOR A DISTANCE OF 116.18 FEET TO AN EXISTING CONCRETE MONUMENT—
 - (2) THENCE NORTH 6°-50'-00" WEST FOR A DISTANCE OF 9.88 FEET TO AN EXISTING CONCRETE MONUMENT—
 - (3) THENCE SOUTH 89°-49'-12" WEST FOR A DISTANCE OF 411.62 FEET TO THE NORTH-WEST CORNER OF LOT 855 IN OTTAWA RIVER BEND NO. (1) AND BEING MARKED BY AN EXISTING CONCRETE MONUMENT—
 - (4) THENCE SOUTH 13°-34'-12" WEST ALONG THE WESTERLY LINE OF OTTAWA RIVER BEND NO. (1) A DISTANCE OF 290.63 FEET TO A CONCRETE MONUMENT SET, PASSING AT 255.63 FEET AN EXISTING CONCRETE MONUMENT MARKING THE SOUTH-WEST CORNER OF LOT 854 IN OTTAWA RIVER BEND NO. (1).
 - (5) THENCE SOUTH 33°-25'-19" WEST FOR A DISTANCE OF 135.00 FEET TO A CONCRETE MONUMENT SET—
 - (6) THENCE NORTH 48°-12'-12" WEST FOR A DISTANCE OF 230.11 FEET TO A CONCRETE MONUMENT SET—
 - (7) THENCE NORTH 45°-34'-12" EAST FOR A DISTANCE OF 23.30 FEET TO A CONCRETE MONUMENT SET—
 - (8) THENCE NORTH 41°-15'-00" WEST FOR A DISTANCE OF 145.00 FEET TO A CONCRETE MONUMENT SET—
 - (9) THENCE NORTH 37°-20'-18" EAST FOR A DISTANCE OF 30.37 FEET TO A CONCRETE MONUMENT SET—
 - (10) THENCE NORTH 27°-19'-12" EAST FOR A DISTANCE OF 179.58 FEET TO A CONCRETE MONUMENT SET—
 - (11) THENCE NORTH 11°-33'-32" EAST FOR A DISTANCE OF 260.36 FEET TO A CONCRETE MONUMENT SET—
 - (12) THENCE SOUTH 89°-54'-39" EAST FOR A DISTANCE OF 769.04 FEET TO A CONCRETE MONUMENT SET—
 - (13) THENCE SOUTH PARALLEL WITH THE CENTERLINE OF DUTCH-HOLLOW ROAD AND EAST LINE OF SECTION 18 FOR A DISTANCE OF 329.23 FEET TO THE PLACE OF BEGINNING.
- CONTAINING IN ALL 8.20 ACRES OF LAND MORE OR LESS.
 SUBJECT TO ALL LEGAL HIGHWAYS AND EASEMENTS OF RECORD.
 NOTE: ALL BEARINGS REFER TO THE CENTERLINE OF DUTCH-HOLLOW ROAD AND THE EAST LINE OF SECTION 18 AS BEING SOUTH.

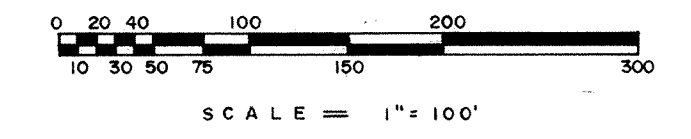
LEGEND

○	DENOTES CONCRETE MONUMENT SET
●	DENOTES EXISTING CONCRETE MONUMENT
—	DENOTES START OR FINISH OF CURVE

NOTE: ALL PROPERTY CORNERS AT INTERSECTIONS TO BE 30' IN RADIUS UNLESS OTHERWISE NOTED.

CURVE I	CURVE II	CURVE III	CURVE IV
Δ 83°-04'-39"	Δ 27°-13'-51"	Δ 18°-15'-00"	Δ 27°-30'-00"
R 107.09'	R 94.96'	R 94.96'	R 159.00'
T 25.94'	T 15.25'	T 15.25'	T 38.91'
Ls 50.90'	Ls 30.25'	Ls 30.25'	Ls 76.32'
D 53°-30'-00"	D 60°-20'-00"	D 60°-20'-00"	D 36°-01'-57"

PREPARED 1976
 BY: **SHELDON AND ASSOCIATES INC.**
 1430 NORTH COLE STREET
 LIMA, OHIO 45801



NOTE: RESTRICTIONS AS RECORDED IN OTTAWA RIVER BEND NO. (1) APPLY TO THIS PLAT.

OWNERS DEDICATION AND ACKNOWLEDGEMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AND 25' ACCESS WAY AS SHOWN HEREON COMPRISING A TOTAL OF 1.56 ACRES, TO THE PUBLIC USE FOREVER. EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, OR OTHER UTILITY LINES OR SERVICES, AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

WITNESS David P. Funk
Herman Bedick

OWNERS David W. Good
Anna M. Good

STATE OF OHIO
 S.S.
 ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS 16th DAY OF March 1976 PERSONALLY CAME THE SAID OWNERS, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Sheldon Davis
 NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO
 MY COMMISSION EXPIRES April 6, 1976

APPROVAL BY THE PLANNING COMMISSION
 I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE LIMA-ALLEN COUNTY REGIONAL PLANNING COMMISSION ON _____ THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS.

CERTIFIED Robert E. Stinson
 DIRECTOR LIMA-ALLEN COUNTY
 REGIONAL PLANNING COMMISSION

LIMA-ALLEN COUNTY GENERAL HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE LIMA-ALLEN COUNTY GENERAL HEALTH DISTRICT

Lowell Welker
 DIRECTOR, LIMA-ALLEN COUNTY GENERAL HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS TRANSFERRED ON June 22 1976

Richard S. Ditts by Kay Schronova, Deputy
 ALLEN COUNTY AUDITOR

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON June 22, 1976 at 1:35 O'CLOCK P.M. AND THAT IT WAS RECORDED ON June 22 1976 IN VOL. 13, PAGE 217, PLAT RECORDS OF ALLEN COUNTY, OHIO
 Fee 16.60

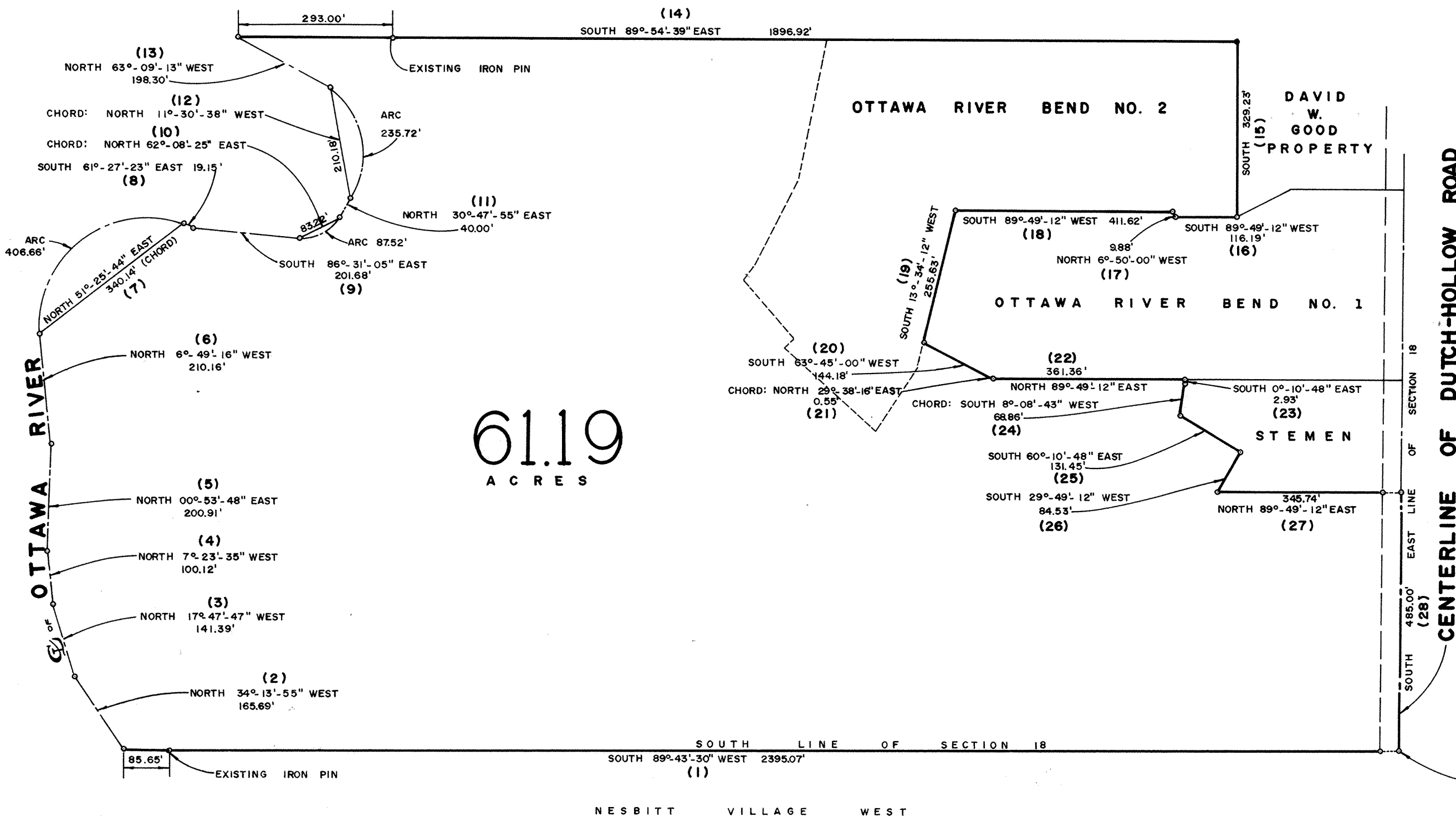
Bernice Montague
 ALLEN COUNTY RECORDER
by Betty Kinzle, Deputy

ACCEPTANCE BY COUNTY ENGINEER

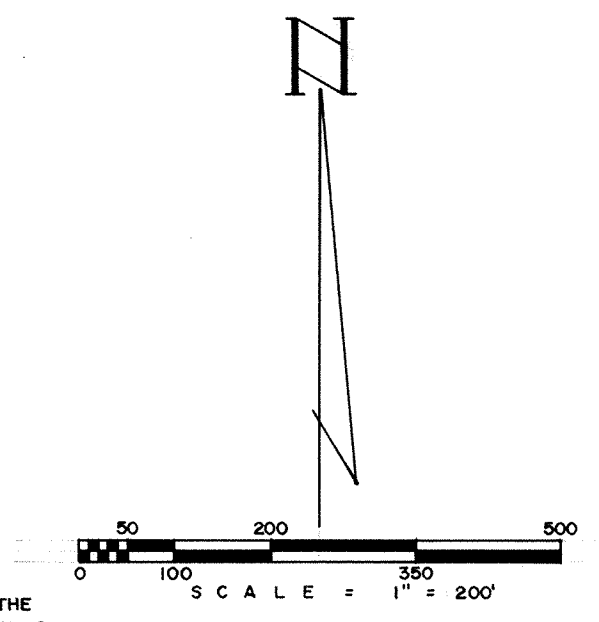
DEDICATION OF THE LAND SHOWN ON THIS PLAT FOR STREETS, ROADS, OR OTHER PUBLIC PURPOSES IS HEREBY ACCEPTED AS OF _____, 19____.

ALLEN COUNTY ENGINEER

Approved For Transfer
 Allen County Tax Map
 Office: CRS Date 2/22/76



PLAT OF A SURVEY
OF
DEDICATORS LAND
FOR
OTTAWA RIVER BEND
NO. 2
IN THE
SOUTH-EAST 1/4 OF SECTION 18
T3S-R6E
AMERICAN TOWNSHIP
ALLEN COUNTY
OHIO



EXISTING P.K. NAIL MARKING THE
SOUTH-EAST CORNER OF SECTION 18
AND THE PLACE OF BEGINNING

PREPARED BY: SHELDON & ASSOCIATES INC.
1430 NORTH COLE STREET
LIMA, OHIO 45801
DATE: FEBRUARY 17, 1976

CERTIFICATION

I hereby certify that in March 1974, I surveyed the following described land in the Southeast 1/4 of Section 18, Township 3 South, Range 6 East, American Township, Allen County, Ohio and that this plat was prepared in accordance with Senate Bill #347 effective September 30, 1974.

DESCRIPTION

Commencing for reference at an existing P.K. nail marking the Southeast corner of Section 18, the centerline of Dutch-Hollow Road and the place of beginning:

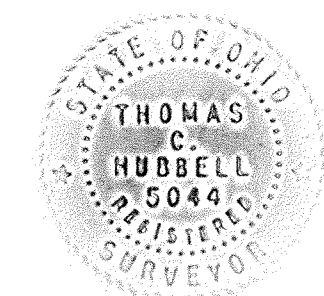
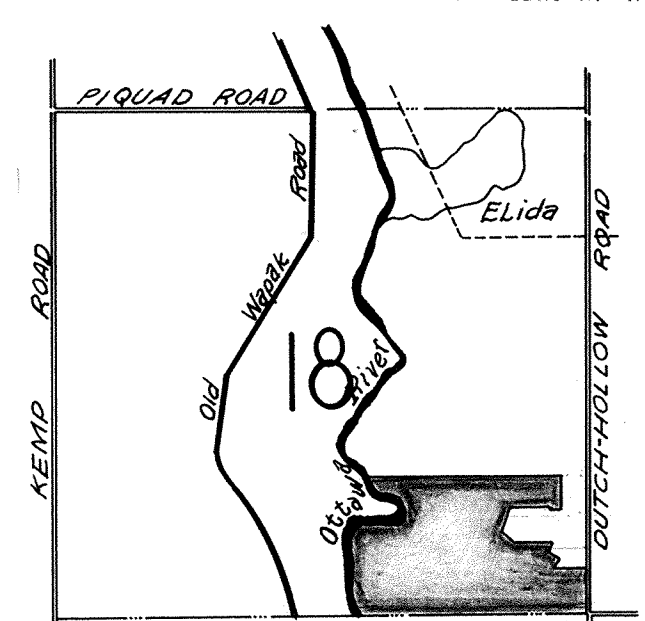
- (1) Thence from this place of beginning south 89°-43'-30" west, along the south line of Section 18, 2395.07 feet to the centerline of the Ottawa River -
- Thence along the centerline of the Ottawa River with the following courses -
- (2) north 34°-13'-55" west, 165.69 feet -
- (3) north 17°-47'-47" west, 141.39 feet -
- (4) north 7°-23'-35" west, 100.12 feet -
- (5) north 0°-53'-48" east, 200.91 feet -
- (6) north 6°-49'-16" west, 210.16 feet -
- (7) Along a curve to the right with a radius of 200.00 feet and an arc length of 406.66 feet the chord of which is north 51°-25'-44" east, 340.14 feet -
- (8) south 61°-27'-23" east, 19.15 feet -
- (9) south 86°-31'-05" east, 201.68 feet -
- (10) Along a curve to the left with a radius of 80.00 feet and an arc length of 87.52 feet the chord of which is north 62°-08'-25" east, 83.22 feet -
- (11) north 30°-47'-55" east, 40.00 feet -
- (12) Along a curve to the left with a radius of 143.75 feet and an arc length of 235.72 feet the chord of which is north 11°-30'-38" west, 210.18 feet -
- (13) north 63°-09'-13" west, 198.30 feet -
- (14) Thence south 89°-54'-39" east, 1896.92 feet -
- (15) Thence south, 329.23 feet -
- (16) Thence south 89°-49'-12" west, 116.19 feet -
- (17) Thence north 6°-50'-00" west, 9.88 feet -
- (18) Thence south 89°-49'-12" west, 411.62 feet -
- (19) Thence south 13°-34'-12" west, 255.63 feet -

- (20) Thence south 63°-45'-00" west, 144.18 feet -
- (21) Thence along a curve to the left with a radius of 86.96 feet, the chord of which is north 29°-38'-16" east, 0.55 feet -
- (22) Thence north 89°-49'-12" east, 361.36 feet -
- (23) Thence south 0°-10'-48" east, 2.93 feet -
- (24) Thence along a curve to the right with a radius of 213.00 feet the chord of which is south 8°-08'-43" west, 68.86 feet -
- (25) Thence south 60°-10'-48" east, 131.45 feet -
- (26) Thence south 29°-49'-12" west, 84.53 feet -
- (27) Thence north 89°-49'-12" east, 345.74 feet to the east line of section 18 and the centerline of Dutch-Hollow Road -
- (28) Thence south, along the east line of Section 18 and the centerline of Dutch-Hollow Road 485.00 feet to the place of beginning.

Containing in all 61.19 acres more or less.

Note: All bearings refer to the east line of Section 18 and the centerline of Dutch-Hollow Road as being south.

Thomas C. Hubbell
Thomas C. Hubbell
Reg. Surveyor #5044



Approved For Transfer
Allen County Tax Map
Office: RCL Date: 4/22/76